



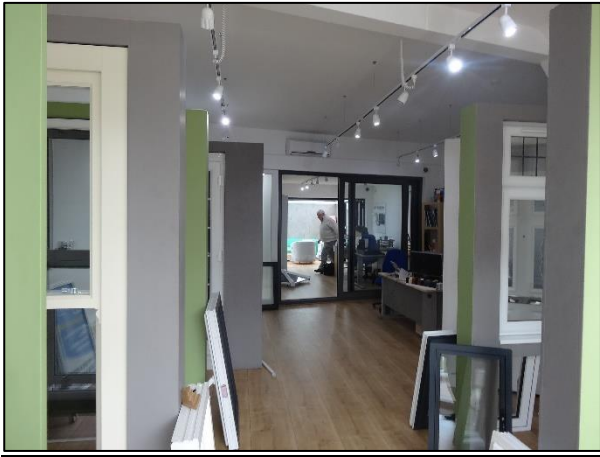
SHOP TO LET (MAY SELL)

**71 ST HELIER AVENUE
MORDEN
SM4 6JD**



842 SQ. FT. (78.20 SQ. M.)

WITH PARKING FOR 1 CAR



LOCATION

The property is located just over ½ a mile from Morden Underground station (Northern Line), with its regular services to the West End and City. Wimbledon town centre is just over 2 miles to the north whilst Sutton town centre is 3 miles to the south.

The property is located close to the junction of St Helier Avenue (A297) and Arras Avenue.

DESCRIPTION

The property comprises a mid-terraced ground floor retail unit. It has a rear conservatory and single WC. There is rear parking for 1 car.

AMENITIES

- Short walk to Morden station (Northern Line)
- A1 use. Potential for other uses subject to PD.
- Prominent location.
- WC with shower
- High traffic flow passing the property
- Car parking available

TENURE

Available on a new lease, on terms to be agreed.

The freehold may be available, to include a 2 bed flat over, currently let on an Assured Shorthold Tenancy at £1,000 per calendar month.

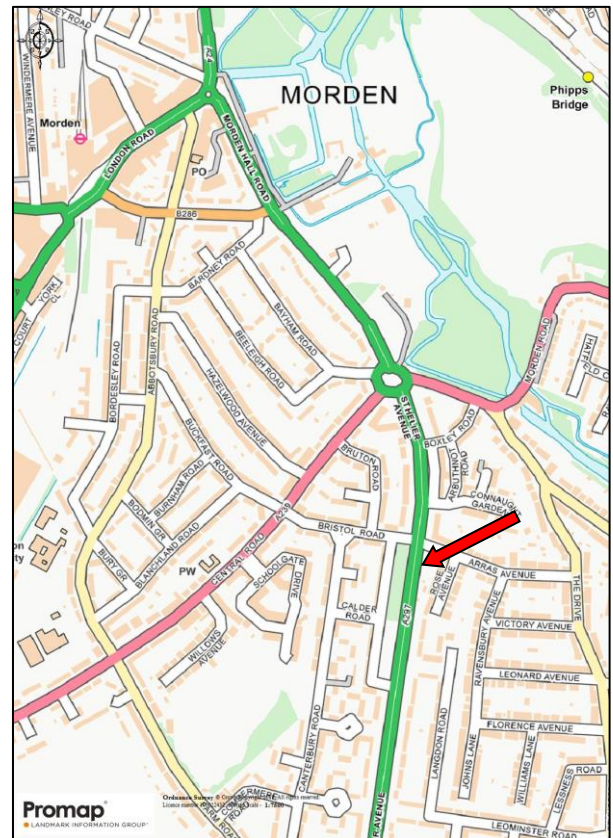
Further details on request.

ACCOMMODATION

Ground Floor Retail: 658 sq. ft. (61.16 sq. m.)
 Kitchen: 41 sq. ft. (3.81 sq. m.)
 Conservatory: 142 sq. ft. (13.23 sq. m.)
TOTAL: 841 sq. ft. (78.20 sq. m.)

USE

Currently used as Class A1.
 Other uses available under permitted development.



RENT

£22,000 per annum exclusive.

VAT

The property is not elected for VAT.

EPC RATING

Band C (71).

RATES

Rateable value: £5,000

The 2019/20 UBR is 49.1p in the £.

Small Business Rates Relief may be available. Interested parties are recommended to make their own enquiries with Merton Council.

LEGAL COSTS

Each party is to bear their own legal costs incurred in this transaction.

VIEWING

Strictly by appointment:-

**ANDREW SCOTT ROBERTSON
 COMMERCIAL DEPARTMENT
 24 HIGH STREET
 WIMBLEDON
 LONDON SW19 5DX**

Contact: Stewart Rolfe

Tel: 020 8971 4999

Email: commercial@as-r.co.uk

AR & QS Holdings Limited T/A andrew scott robertson for itself and for the vendors or lessor of this property whose agents they are give notice that:

- VAT may be applicable.
- the particulars are set out as a general outline only for the guidance of intending purchasers or lessees, and do not constitute, nor constitute part of, an offer or contract
- all descriptions, dimensions, references to condition and necessary permissions for use and occupation, and other details are given in good faith and are believed to be correct but any intending purchasers or tenants should not rely on them as statements or representations of fact but must satisfy themselves by inspection or otherwise as to the correctness of each of them;
- no person in the employment of andrew scott robertson has any authority to make or give any representation or warranty whatsoever in relation to this property

June 2019

Energy Performance Certificate

Non-Domestic Building



71 St. Heller Avenue
MORDEN
SM4 6JD

Certificate Reference Number:
0960-4955-0371-0970-8040

This certificate shows the energy rating of this building. It indicates the energy efficiency of the building fabric and the heating, ventilation, cooling and lighting systems. The rating is compared to two benchmarks for this type of building: one appropriate for new buildings and one appropriate for existing buildings. There is more advice on how to interpret this information in the guidance document *Energy Performance Certificates for the construction, sale and let of non-dwellings* available on the Government's website at www.gov.uk/government/collections/energy-performance-certificates.

Energy Performance Asset Rating

More energy efficient



Net zero CO₂ emissions

A 0-25

B 26-50

C 51-75

71

This is how energy efficient the building is.

D 76-100

E 101-125

F 126-150

G Over 150

Less energy efficient

Technical Information

Main heating fuel:	Grid Supplied Electricity
Building environment:	Air Conditioning
Total useful floor area (m ²):	84
Assessment Level:	3
Building emission rate (kgCO ₂ /m ² per year):	97.82
Primary energy use (kWh/m ² per year):	578.46

Benchmarks

Buildings similar to this one could have ratings as follows:

26	If newly built
76	If typical of the existing stock

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