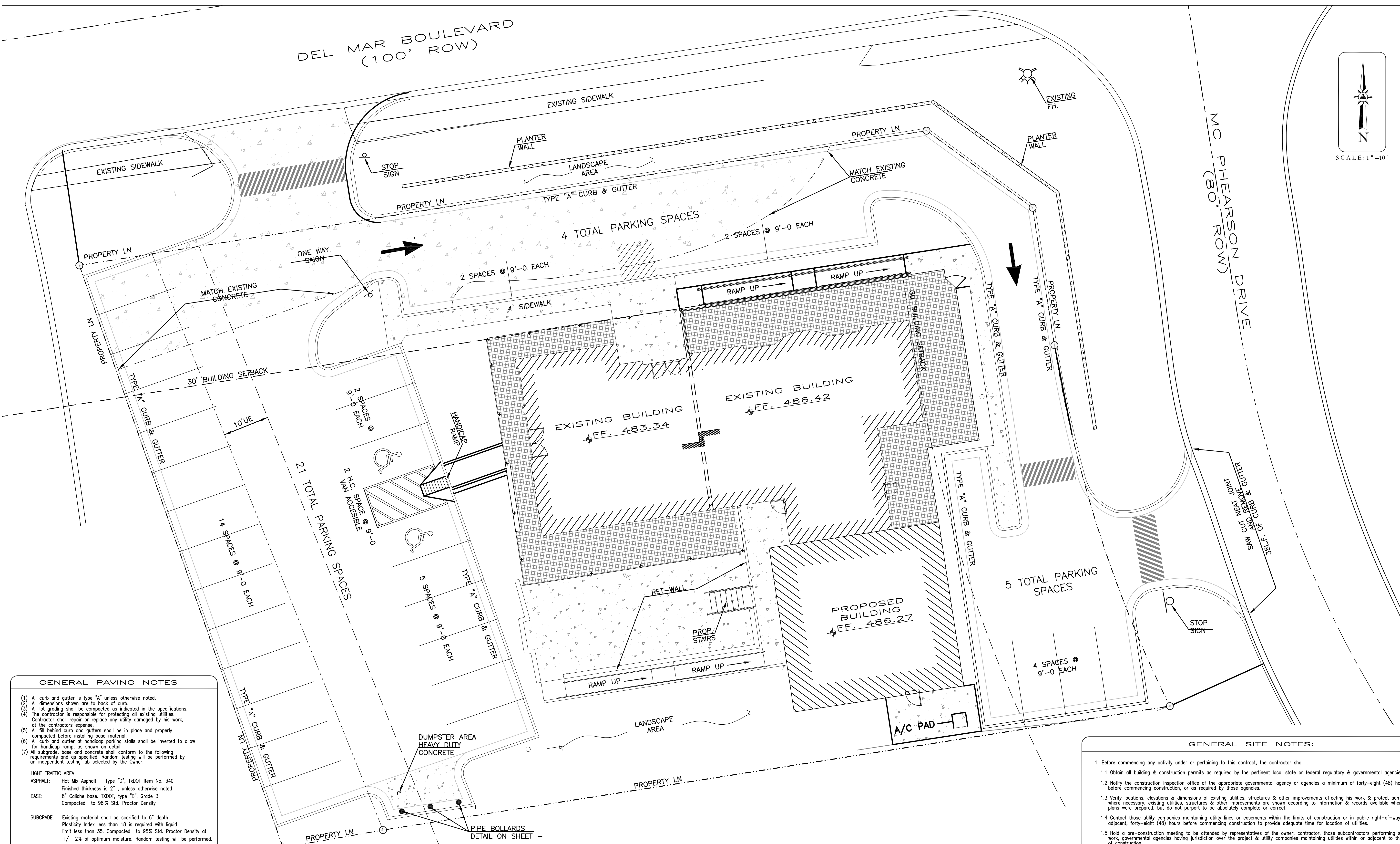
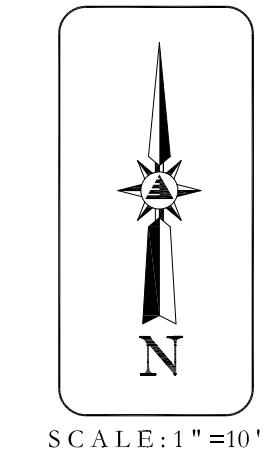


DEL MAR BOULEVARD
(100' ROW)



GENERAL PAVING NOTES

- (1) All curb and gutter is type "A" unless otherwise noted.
 - (2) All dimensions shown are to back of curb.
 - (3) All lot grading shall be compacted as indicated in the specifications.
 - (4) The contractor is responsible for protecting all existing utilities. Contractor shall repair or replace any utility damaged by his work, at the contractor's expense.
 - (5) All fill behind curbs and gutters shall be in place and properly compacted before installing base material.
 - (6) All curb and gutter at handicap parking stalls shall be inverted to allow for handicap ramp, as shown on detail.
 - (7) All subgrade, base and concrete shall conform to the following requirements and as specified. Random testing will be performed by an independent testing lab selected by the Owner.
- LIGHT TRAFFIC AREA**
 ASPHALT: Hot Mix Asphalt - Type "D", TxDOT Item No. 340
 Finished thickness is 2", unless otherwise noted
 BASE: 8" Caliche base, TxDOT, type "B", Grade 3
 Compacted to 98% Std. Proctor Density
- SUBGRADE:** Existing material shall be scarified to 6" depth.
 Plasticity Index less than 18 is required with liquid limit less than 35. Compacted to 95% Std. Proctor Density at +/- 2% of optimum moisture. Random testing will be performed.
- HEAVY TRAFFIC AREA**
 ASPHALT: Hot Mix Asphalt - Type "D", TxDOT Item No. 340
 Finished thickness is 2 1/2", unless otherwise noted
 BASE: 10" Caliche, TxDOT Type "B" Grade 3.
 Compacted to 98% Std. Proctor Density
- SUBGRADE:** Existing material scarified 6" depth.
 Plasticity Index less than 18 is required with liquid limit less than 35.
- CONCRETE PAVEMENT:**
 5.5" Thick Concrete (LIGHT DUTY) 4000 psi @ 28 days.
 6.5" Thick Concrete (HEAVY DUTY) 4000 psi @ 28 days.
 Moisture Conditioned Subgrade - Scarified to depth of (6) inches & moisture condition between optimum and plus 4% compacted to at least 95% Proctor Density.
- (8) Neat sawcuts shall be made at all connections to existing pavements as shown on the details.
 - (9) If removal of existing asphalt is required the contractor is also responsible for removing existing base material. This work shall be considered subsidiary to excavation.
 - (10) Prior to preparation of subgrade the contractor is required to test the existing subgrade. If the existing subgrade possess a Plasticity Index greater than 18, the contractor will be required to stabilize the subgrade, as directed by the Engineer.
 - (11) Contractor shall submit mix designs and test reports for concrete and base material for approval by the Engineer.
 - (12) All sidewalks shall be sloped away from building with a minimum 1/8" and maximum 1/4" per foot.

GENERAL SITE NOTES:

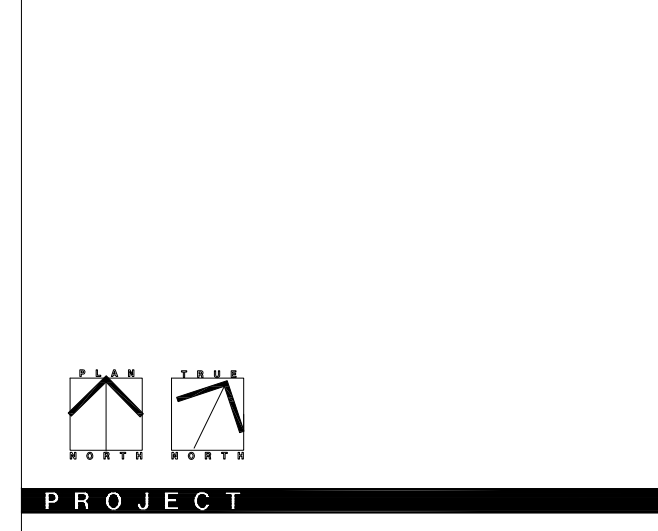
1. Before commencing any activity under or pertaining to this contract, the contractor shall :
 - 1.1 Obtain all building & construction permits as required by the pertinent local state or federal regulatory & governmental agencies.
 - 1.2 Notify the construction inspection office of the appropriate governmental agency or agencies a minimum of forty-eight (48) hours before commencing construction, or as required by those agencies.
 - 1.3 Verify locations, elevations & dimensions of existing utilities, structures & other improvements affecting his work & protect same where necessary, existing utilities, structures & other improvements are shown according to information & records available when these plans were prepared, but do not purport to be absolutely complete or correct.
 - 1.4 Contact those utility companies maintaining utility lines or easements within the limits of construction or in public right-of-way adjacent, forty-eight (48) hours before commencing construction to provide adequate time for location of utilities.
 - 1.5 Hold a pre-construction meeting to be attended by representatives of the owner, contractor, those subcontractors performing site work, governmental agencies having jurisdiction over the project & utility companies maintaining utilities within or adjacent to the limits of construction.
 - 1.6 Submit to the contracting officer for review all project schedules, shop drawings, material schedules & other required submittals.
2. The contractor shall notify the contracting officer at once if any conflict is discovered between actual field conditions & the construction plans.
3. The contractor shall assume all responsibility for any damage to any existing or newly constructed building pavement sidewalk, curb & gutter, landscaping, fencing, utilities, storm drainage water, sanitary, irrigation, electric, gas, cable tv, telephone, etc.) Or any other publicly or privately owned improvement, & shall repair, replace or otherwise provide for restoration of same to its original condition at no cost to the owner. The contractor shall accurately locate & mark construction limits & property lines, & shall limit all construction activities to whichever applicable.
4. The contractor shall maintain at the job site a set of the construction plans wherein an accurate record shall be kept of as-constructed information on all site improvements. This plan set shall be submitted to the Architect at the completion of construction for use in the preparation of record drawings. The contractor shall also at all times maintain at the project site a complete reference set of approved plans, specifications, shop drawings & other supplemental construction documents.
5. The contractor shall schedule all inspections & tests a minimum of forty-eight (48) hours in advance. At the completion of construction, a final inspection shall verify completion of all site improvements in adherence with plans, specifications & standards.
6. The contractor at no time shall encroach upon or cause disruption to traffic flow on adjacent public or private roads or right-of-way without securing the proper permits prior to commencing operations. Maintenance of traffic shall be per Texas Department of Transportation Manual on Uniform Traffic Control Devices, 1980, or latest edition.
7. All erosion control devices shall remain in place & functional until project completion or until contributing drainage areas have been fully stabilized. All areas with slopes steeper than 4:1 shall be seeded or sodded in accordance with architectural plans.
8. All disturbed areas shall be graded to drain as indicated on the plans & upon completion of construction, no drainage shall be dammed or trapped unless specifically directed by the plans.
9. All subsurface improvements shall be in place & complete prior to subgrade compaction & pavement construction. All signage & pavement marking shall conform to the latest edition of the Texas Manual on Uniform Traffic Control Devices. All dimensions shown on the plans are to the face of curb or building, unless otherwise noted. Paving, excavation & grading operation shall be performed in accordance with specifications.
10. All sidewalks shall be sloped away from buildings with a minimum 1/8" and maximum 1/4" per foot.

FRANK ARCHITECTS, INC.
ARCHITECTURE & URBAN DESIGN

INTERIM REVIEW ONLY
 Document Incomplete:
 Not for regulatory approval,
 permitting or construction.



KEY PLAN



PROJECT

Del Mar Offices
 219 Del Mar Blvd.,
 Laredo, Texas 78041

OWNER

FRANK GROUP, LTD
 901 Victoria St. Suite
 Laredo, Texas 78040

REVISIONS

NO.	DATE	DESCRIPTION

TITLE

SITE PLAN

DATA

PROJECT NUMBER
6573-13

DRAWN BY
FB

CHECKED BY

DATE
10-24-2012

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