

# TO LET



**SMALL CHARACTER OFFICE SUITE ON 2ND FLOOR  
ORCHARD HOUSE  
HOPCRAFT LANE  
DEDDINGTON  
OXFORD OX15 0TD**



- 260 sq ft (24.15 sq m)
- Substantial car parking
- Rent inclusive of shared facilities and central heating
- Attractive village setting with amenities
- Good access to Banbury, Oxford, M40 and A43

**01636 815808**

**[www.mathiasperry.co.uk](http://www.mathiasperry.co.uk)**

North Muskham Prebend, Church Street, Southwell, Nottinghamshire, NG25 0HQ

SITUATION

Situated in the centre of Deddington off the A4260 approximately 6 miles south of Banbury and 23 miles north of Oxford.

Deddington is an attractive village with a range of local shops, cafes, restaurants and public houses.

DESCRIPTION

Orchard House provides character offices within a part 17th century stone built and slate Grade II listed building with more recent addition that has been established as a business centre over many years.

Suite 3c is on the second floor with restricted access via a spiral staircase.

The main features are:

- Gas fired central heating
- Good natural light
- Infinity Broadband available in Deddington
- Building alarm system
- Extensive car parking on site
- Shared meeting room, kitchen and WCs
- Key pad entry system

ACCOMMODATION

Suite 3c: 260 sq ft (24.15 sq m)

RENT

£6,850 per annum inclusive of a service charge that covers electric consumption, heating, cleaning of common areas, repairs of exterior and common areas but excluding business rates.

One quarter’s rent will be held as a deposit during the lease term.

VAT

VAT is charged in addition to the rent at the prevailing rate.

LEASE

Available on a new lease contracted out of the Landlord & Tenant Act to expire 31st March 2021 with a landlord break October 2019 subject to not less than 6 months notice and a rolling tenant break on 4 months notice from the first anniversary of the lease onwards. Alternative lease structures may be available by request.

OUTGOINGS

To be assessed.

LEGAL COSTS

Each party are to be responsible for their own legal costs incurred in the transaction, however the ingoing occupier is to provide an undertaking of £500.00 plus VAT to the landlords solicitors which will be returned to the tenant upon completion of the lease. Should the lease not complete the undertaking will be used to reimburse the landlord against abortive legal costs.

ANTI-MONEY LAUNDERING LEGISLATION

The Money Laundering Regulations require us to formally identify parties to a transaction. Interested parties will be required to provide proof of identity and address, normally a photocard driving licence or passport and recent utility bill.

EPC

EPC Exempt (Grade II Listed Building).

VIEWING & FURTHER INFORMATION

Viewing strictly by prior appointment with the joint agents:

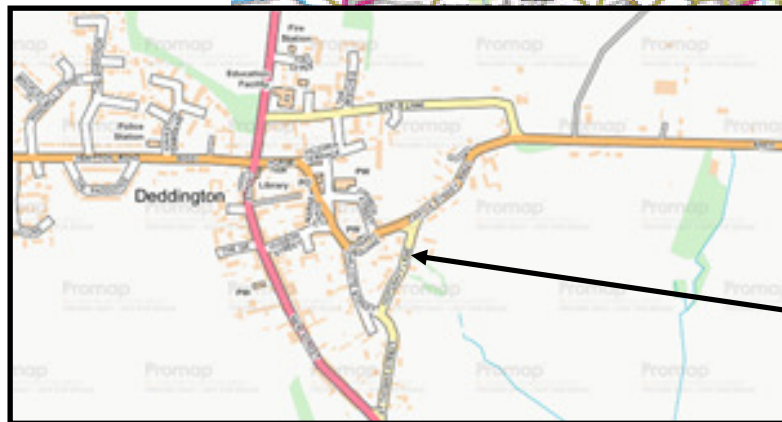
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MISREPRESENTATION ACT

Mathias Perry for themselves and for the vendors/lessors of this property whose agents they are take no responsibility for any error, mis-statement or omission in these details. Measurements are approximate and are for guidance only. These particulars do not constitute an offer or contract and members of the agents firm have no authority to make any representation or warranty in relation to the property. All prices and/or rents are quoted exclusive of VAT, rates and other outgoings.



Orchard House



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