



INSTITUTIONAL CAMPUS OPPORTUNITY

430 Center St., Jupiter, FL 33458



Contact

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LLC*

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Institutional Campus Opportunity

430 Center St., Jupiter, FL 33458



PROPERTY INFORMATION

Call for Price

Property Address
430 Center St.
Jupiter, FL 33458

Property Size
19,568 Sq. Ft.

Land Size
3.97 Acres

INSTITUTIONAL CAMPUS OPPORTUNITY

Company Disclaimer

This information has been obtained from sources believed reliable. We have not verified it and make no guarantee, warranty or representation about it. Any projections, opinions, assumptions or estimates used are for example only and do not represent the current or future performance of the property. You and your advisors should conduct a careful, independent investigation of the property to determine to your satisfaction the suitability of the property for your needs. Photos herein are the property of their respective owners and use of these images without the express written consent of the owner is prohibited. .

A large, white, two-story building with a red-tiled roof and arched windows, surrounded by lush greenery and palm trees. The building has a Mediterranean or Spanish architectural style. In the foreground, there are some trees and a string of lights.

INSTITUTIONAL CAMPUS OPPORTUNITY

430 Center St., Jupiter, FL 33458

PROPERTY OVERVIEW

Gator Commercial Real Estate is pleased to present for sale a unique institutional and redevelopment opportunity located at 430 Center Street in the heart of Jupiter, Florida. The offering consists of approximately 19,568 SF of recently improved existing facilities situated on the ± 2.44 -acre Main Property, with the opportunity to acquire up to ± 3.97 acres through the inclusion of the adjacent ± 1.31 -acre North Lot and ± 0.22 -acre East Lot. The additional parcels may be available separately or in combination with the Main Property, providing flexibility based on purchaser requirements.

Call for pricing and additional offering details. Property is currently occupied. Please do not disturb the occupant. Tours by appointment only.

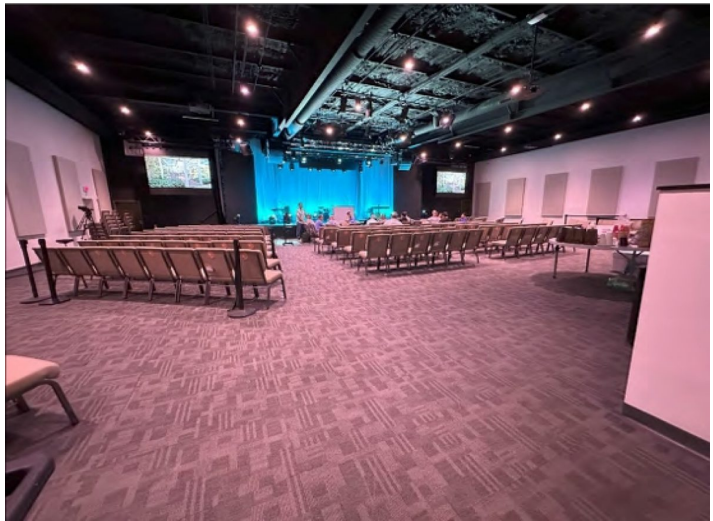
Currently operating as Generation Church, the Main Property features a functional mix of auditorium and gathering spaces, classrooms and children's areas, offices, meeting rooms and supporting facilities, together with substantial on-site parking and multiple access points. The existing improvements provide an established campus environment that may accommodate continued institutional use or adaptation for a variety of owner-user requirements.

The property's configuration is a distinguishing feature of the offering. In addition to the ± 2.44 -acre Main Property, the adjacent ± 1.31 -acre North Lot and ± 0.22 -acre East Lot create the opportunity to acquire up to ± 3.97 acres. This multi-parcel configuration provides flexibility for buyers considering additional land, future expansion, phased development or longer-term redevelopment, subject to applicable zoning, land-use and governmental approvals.

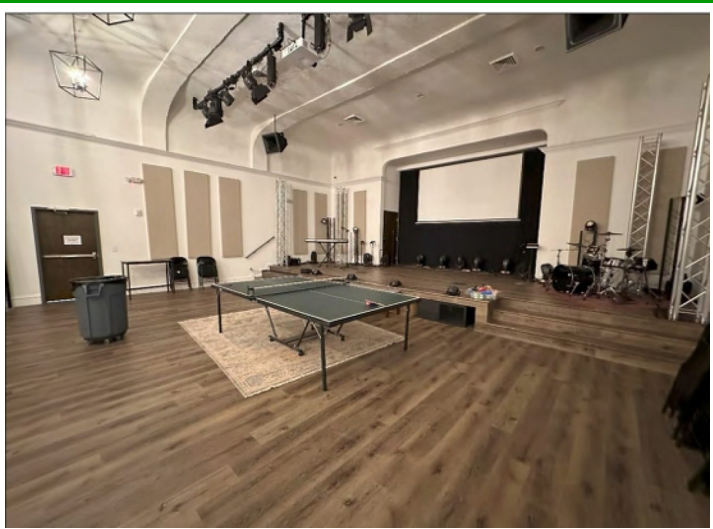
The property may appeal to a variety of institutional, educational, nonprofit, professional and community-oriented users, as well as purchasers evaluating adaptive reuse or redevelopment opportunities. The combination of existing improvements and additional land provides multiple paths for both near-term occupancy and longer-term planning.

Located along Center Street in the heart of Jupiter, the property is surrounded by established residential neighborhoods and benefits from convenient access to area schools, healthcare, shopping, dining and recreation. The surrounding Jupiter market features strong household incomes, home values and residential demographics, supporting a wide range of potential institutional and owner-user applications. The property is minutes from Abacoa and the beaches and convenient to both I-95 and Florida's Turnpike.

PROPERTY PHOTOS



PROPERTY PHOTOS



PROPERTY PHOTOS

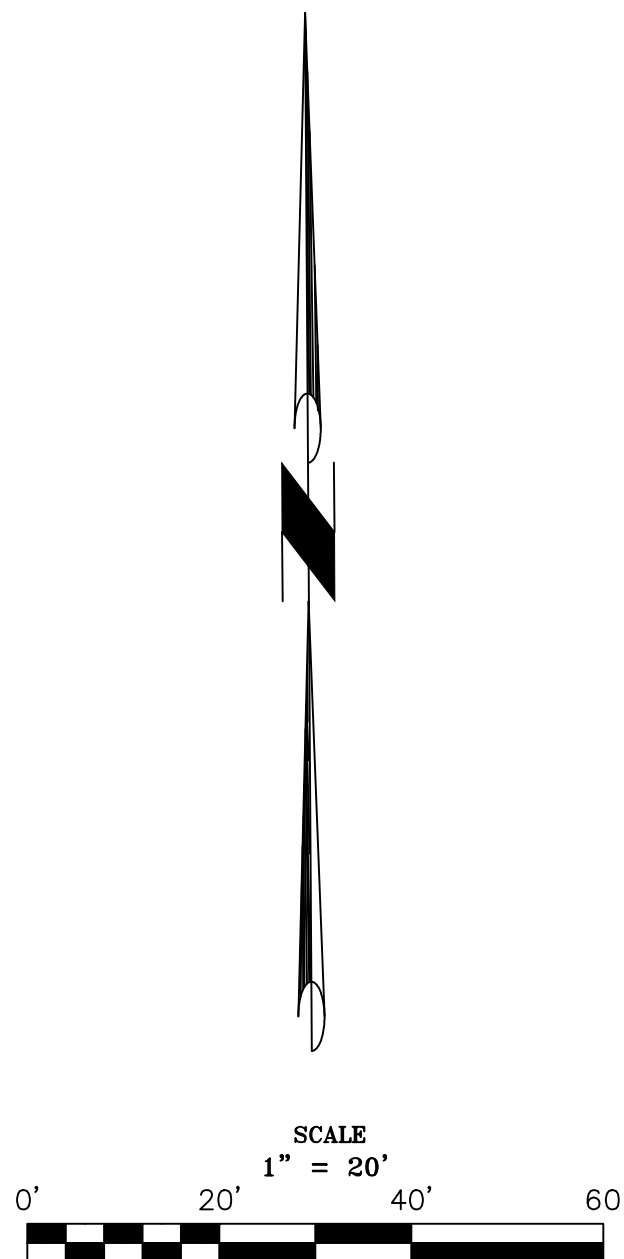


PROPERTY PHOTOS



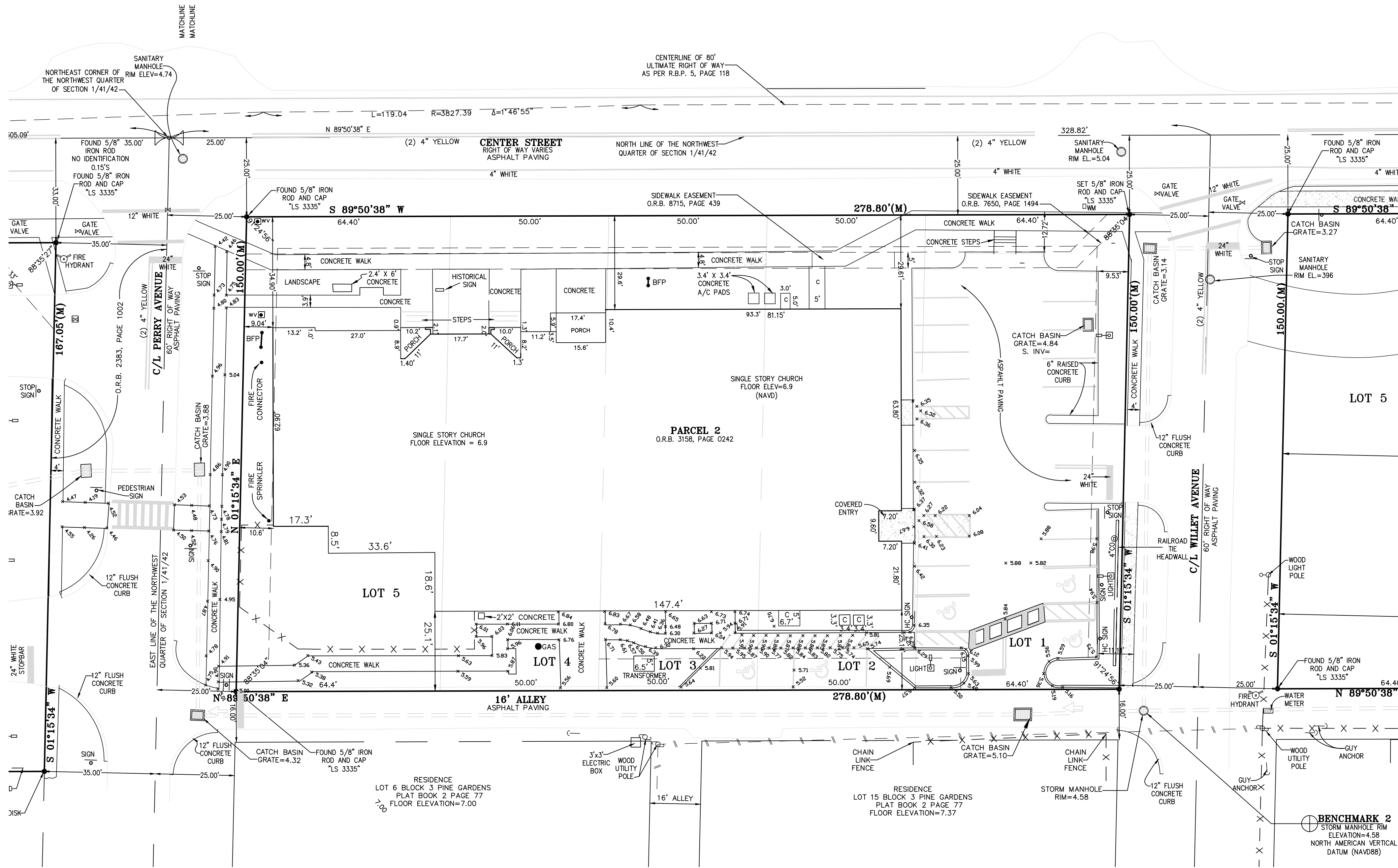
INSTITUTIONAL CAMPUS OPPORTUNITY

430 Center St., Jupiter, FL 33458



DESCRIPTION:

Lots 1 through 5, inclusive, Block 4, PINE GARDENS, according to the Plat thereof on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 2, Page 77.
PCN: 30-42-41-01-07-004-0010



MAP OF FINAL ASBUILT (RECORD) SURVEY

SURVEY REPORT

- 1.) NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
- 2.) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 3.) ONLY VISIBLE ENCROACHMENTS AND IMPROVEMENTS, IF ANY, ARE SHOWN HEREON UNLESS OTHERWISE NOTED.
- 4.) DESCRIPTION FURNISHED BY CLIENT.
- 5.) PARCEL SUBJECT TO ALL EASEMENTS, RESERVATIONS, RESTRICTIONS, AND RIGHTS OF WAY.
- 6.) ALL LOT DIMENSIONS ARE PLAT AND MEASURED, UNLESS OTHERWISE NOTED
- 7.) PROPOSED SITE PLAN SUBJECT TO APPROVAL BY GOVERNING AGENCIES.
- 9.) STREET ADDRESS: 430 CENTER STREET

- 10.) PARCEL GRAPHICALLY LOCATED IN FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) ZONE X AND AE(EL 5) , COMMUNITY PANEL No. 12099C0178F.
- 11.) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- 12.) THIS SURVEY FALLS WITHIN THE SUBURBAN CATEGORY AS CLASSIFIED IN CHAPTER 61617-6.003, FLORIDA ADMINISTRATIVE CODE. ALL FIELD MEASURED CONTROL MEASUREMENTS EXCEEDED THE ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION.
- 13.) BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N 89°51'01" E ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 1/14/42
- 14.) THIS SURVEY REMAINS THE PROPERTY OF MIXON LAND SURVEYING, INC.
- 15.) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CERTIFIED TO:

Generation Church
International, Inc.

REVISIONS:

LEGEND:

UP = WOOD UTILITY POLE
↓ = GUY ANCHOR
— = OVERHEAD UTILITY
X— = FENCELINE
TV = CABLE RISER

FH = FIRE HYDRANT
PH = PHONE
SS = SEWER SERVICE
WM = WATER METER
⊙ = WELL
WV = WATER VALVE

(PR) = PRO-RATED
(D) = DEED
(P) = PLAT
(M) = MEASURED
(C) = CALCULATED
ELEV. = ELEVATION

POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
ORB = OFFICIAL RECORD BOOK
R = RADIUS
L = ARC LENGTH
Δ = DELTA ANGLE
C/L = CENTERLINE

R/W = RIGHT OF WAY
D.E. = DRAINAGE EASEMENT
U.E. = UTILITY EASEMENT
X.O. = EXISTING ELEVATION
P.O. = PROPOSED ELEVATION
TOB = TOP OF BANK

C = CONCRETE
CB = CATCH BASIN
MES = MITERED END SECTION
CMP = CORRUGATED METAL PIPE
BFP = BACKFLOW PREVENTOR
SMH = SEWER MANHOLE
DMH = DRAINAGE MANHOLE

DATE:

BY:

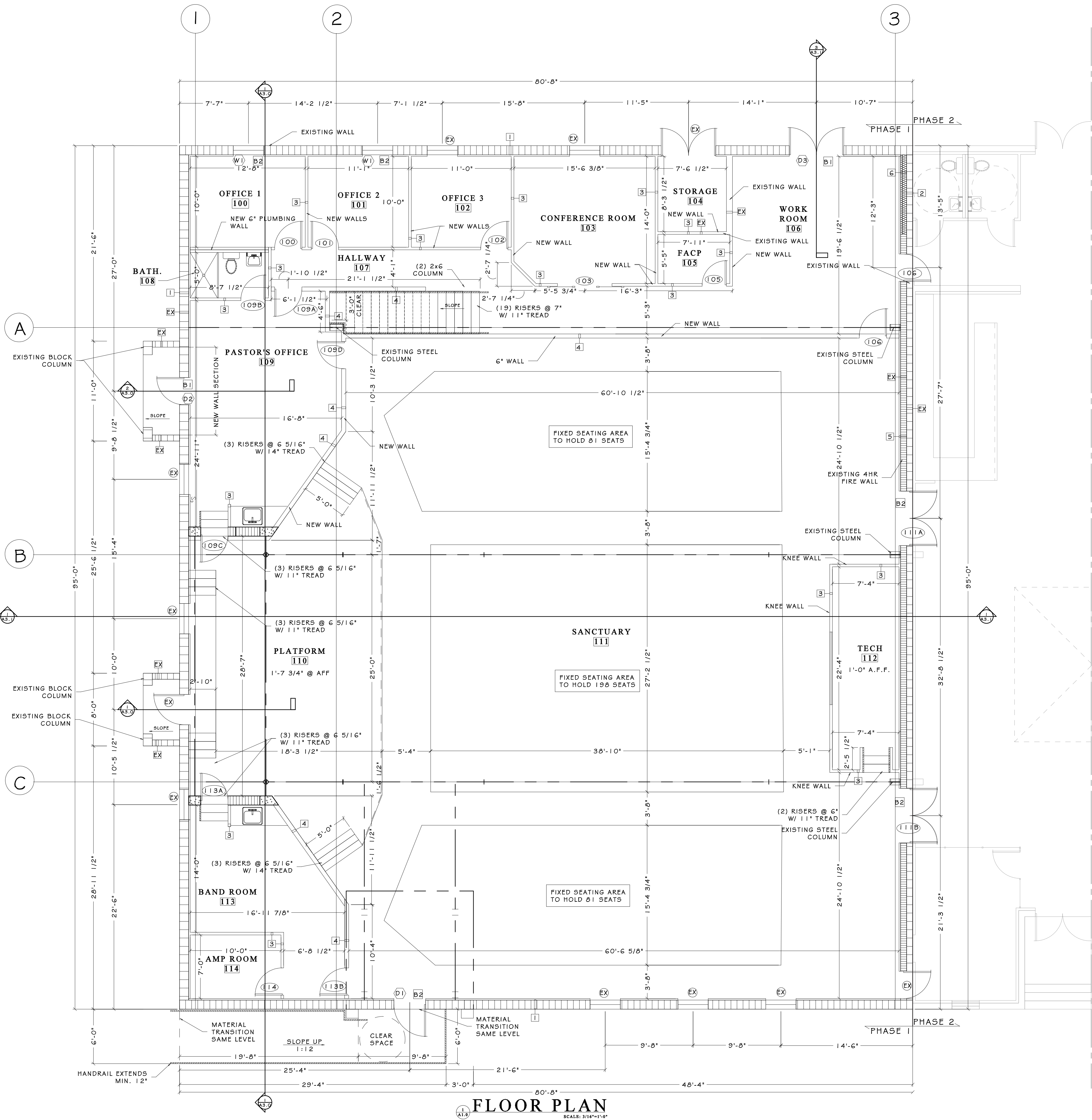
MIXON LAND SURVEYING, INC.

12450 NE 26TH AVENUE
OKEECHOBEE, FLORIDA 34972
772 260 5302 RAMIXON@GMAIL.COM
STATE OF FLORIDA CERTIFICATE NO.'LB4199'



RICHARD A. MIXON
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA CERTIFICATE NO. 'L.S. 3335'

JOB NO. 18-035
CADD FILE:
18-035
BY: JEK/RM
SURVEY DATE:
5/4/2020
SHEET 1 OF 1



WINDOW & EXTERIOR DOOR SCHEDULE									
LABEL	UNIT SIZE (NOMINAL)	TYPE	HEADER HGT. AFF	PRODUCT	MANUFACTURER	GLASS	ATTACHMENT	NOA NO.	REMARKS
(W1)	6'-0"x3'-0"	FIXED	6'-8"		PGT	MATCH EXISTING	PER NOA	18-0430.03	
(W2)	2'-2"x3'-0"	FIXED	9'-4"		PGT	MATCH EXISTING	PER NOA	18-0430.05	TRANSOM
(D1)	3'-0"	L-H SWING	7'-0"	EMBOSSED DOOR	DAYBAR	N	PER NOA	17-0829.08	INCLUDE CLOSER & PANIC DEVICE
(D2)	3'-0"	R-H SWING	7'-0"		PGT	Y	PER NOA	17-0504.04	
(D3)	3'-0"	PAIR	7'-0"		PGT	Y	PER NOA	17-0504.04	

ROOM LEGEND	
ROOM NO.	ROOM NAME
100	OFFICE 1
101	OFFICE 2
102	OFFICE 3
103	CONFERENCE ROOM
104	STORAGE
105	FACP
106	WORK ROOM
107	HALLWAY
108	BATHROOM
109	PASTOR'S OFFICE
110	PLATFORM
111	SANCTUARY
112	TECH
113	BAND ROOM
114	AMP ROOM

WALL TYPES	
LABEL	DESCRIPTION
1	12" EXISTING CONCRETE BLOCK EXTERIOR WALL W/ 1x2 P.T. FURRINGS @ 16" O.C. AND 3/4" JOHNS MANSVILLE INSULATION W/ TYPE X 5/8" MOLD AND MILDEW RESISTANT DRYWALL.
2	8" CONCRETE BLOCK WALL W/ 1x2 P.T. FURRINGS @ 16" O.C. AND 3/4" JOHN MANSVILLE INSULATION W/ TYPE X 5/8" MOLD AND MILDEW RESISTANT DRYWALL.
3	25GA. 3 1/2" METAL STUDS @ 16" O.C. W/ 5/8" TYPE X MOLD AND MILDEW RESISTANT DRYWALL.
4	BEARING WALL W/ 2x6 SOUTHERN YELLOW PINE STUDS @ 16" O.C. W/ 5/8" TYPE X MOLD AND MILDEW RESISTANT DRYWALL W/ (2) 2x6 S.Y.P. TOP PLATE AND (1) 2x6 P.T. BOTTOM PLATE R19 SOUND BATTS FLOOR TO STRUCTURE.
5	8" EXISTING FIRE WALL W/ 1x2 P.T. FURRINGS @ 16" O.C. AND 3/4" JOHNS MANSVILLE INSULATION W/ TYPE X 5/8" MOLD AND MILDEW RESISTANT DRYWALL.
6	20GA 6" METAL STUDS @ 16" O.C. W/ 5/8" TYPE X 5/8" MOLD AND MILDEW RESISTANT DRYWALL.

JON D. OLSON

ARCHITECT

NCARB - LEED AP

221 Colony Way West

Jupiter, FL 33458

SDG

SEAL:

STATE OF FLORIDA

JON D. OLSON

ARCHITECT

18137

REGISTERED ARCHITECT

REVISIONS:

▲

MAIN FLOOR PLAN

Sheet No.

A1.0

PRJT

GENCHURCHV9

DRWN BY

EJO

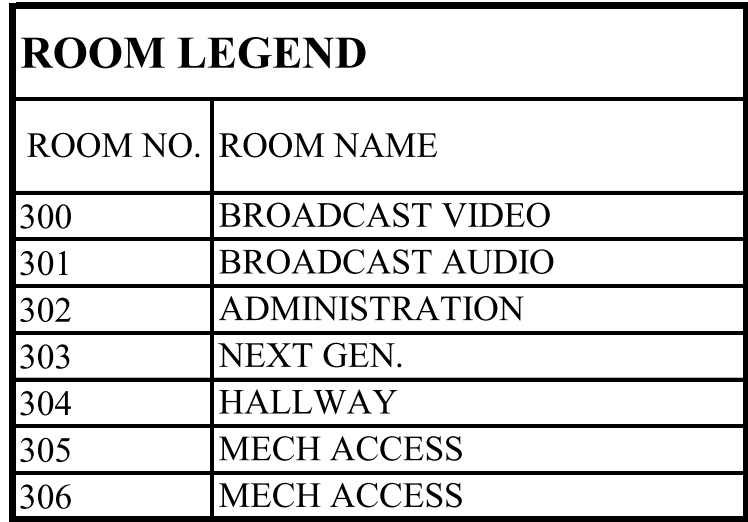
DATE

10-8-2018

CHKD BY

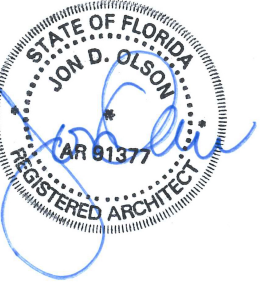
JDO

Scale: 1/4"=1'-0"



GENERATION CHURCH
430 CENTER ST, JUPITER, FL
33458

SEAL:



REVISIONS:

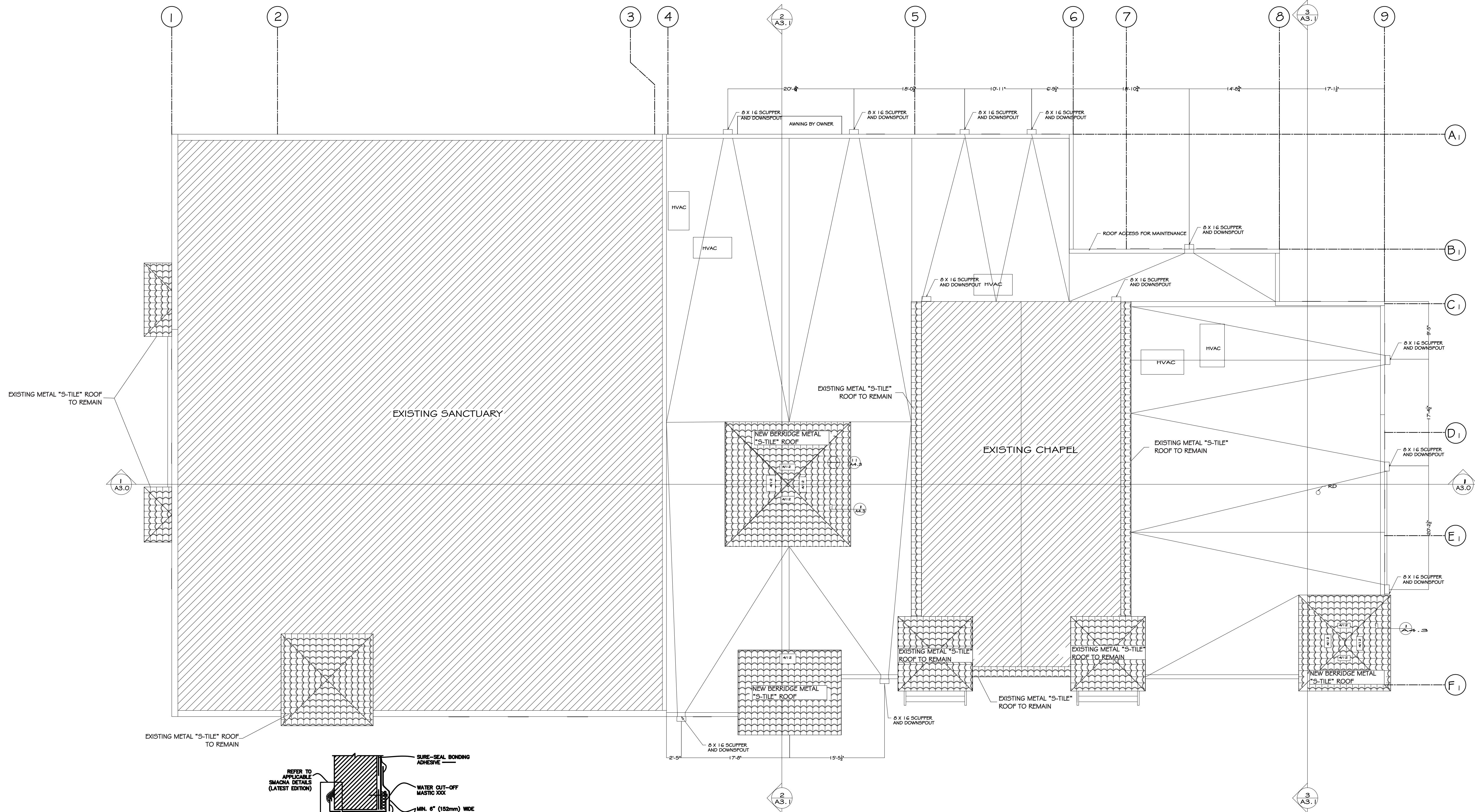
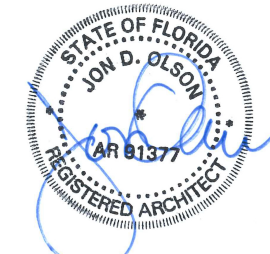


MEZZANINE
FLOOR
PLAN

Sheet No.

A1.1

PRJT	DATE
GENCHURCHV9	10-8-2018
DRWN BY	CHCK BY
EJO	JDO
Scale: 3/16"=1'-0"	



ROOF PLAN

SCALE: 1/8" = 1'-0"

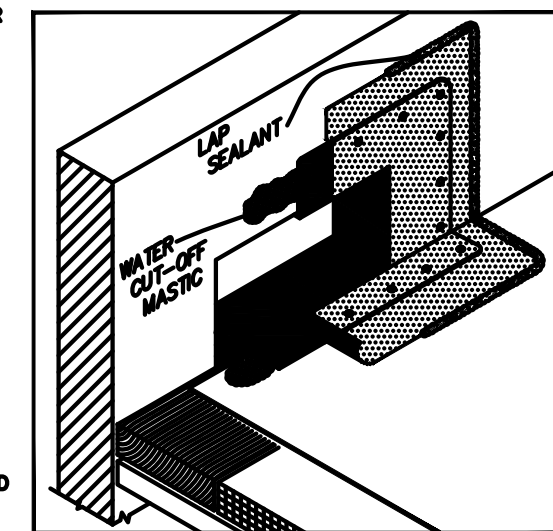
NOTE: ALL NEW BARREL TILE TO MATCH EXISTING ROOF TILES

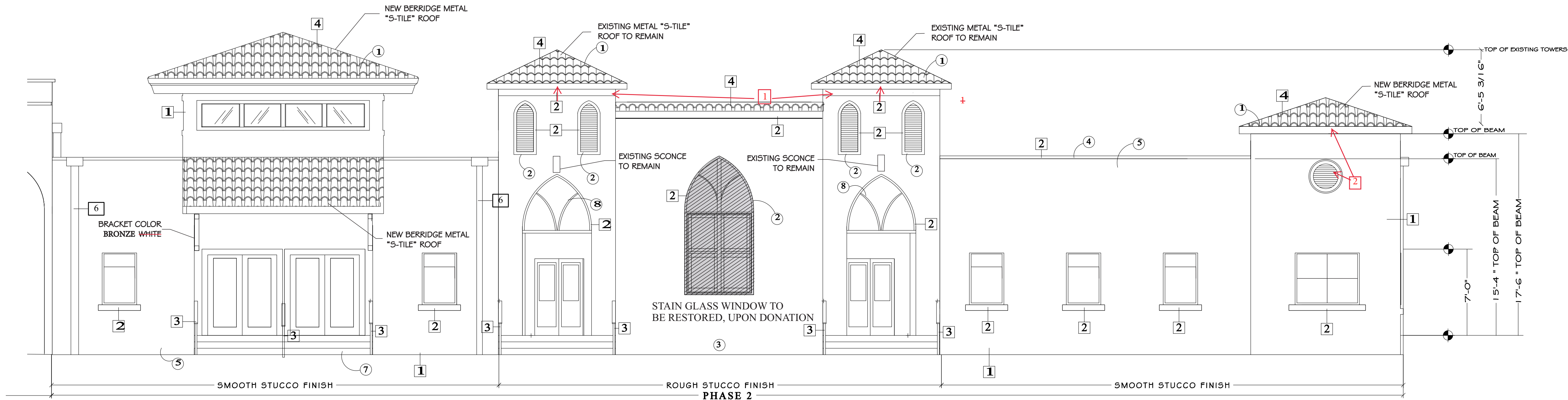
EXISTING ROOF TO REMAIN

- ROOF NOTES:
1. EAVE OVERHANGS SHALL BE 1'-2" U.N.O. CLERESTORY EAVE SHALL BE 2'-6"
 2. GABLE OVERHANGS SHALL BE 0"
 3. ROOF PITCHES SHALL BE 4:12
 4. TRUSS SHOP DRAWINGS SHALL BE PROVIDED BY MANUFACTURER.
 5. ANY CHANGES TO THIS PLAN SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.
 6. ALL TRUSS TO TRUSS CONNECTIONS SHALL BE SPECIFIED BY TRUSS MANUFACTURER.
 7. ARCHITECT SHALL REVIEW TRUSS SHOP DRAWINGS PRIOR TO CONSTRUCTION FOR LAYOUT AND UPLIFT VERIFICATION.
 8. CONTRACTOR SHALL PROVIDE FOR FORM BOARD SURVEY AND TO PROVIDE FORM BOARD SURVEY TO TRUSS MANUFACTURER PRIOR TO TRUSS CONSTRUCTION.
 9. CONTRACTOR SHALL VERIFY ALL ROOF PITCHES PRIOR TO TRUSS ORDER.
 10. CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH TRUSS SHOP DRAWINGS INCLUDING ALL TRUSS CUT SHEETS SHOWING ALL TRUSS REACTIONS PRIOR TO START OF FOUNDATION WORK FOR STRAP AND FOOTING VERIFICATION.
 11. TRUSS DEFLECTION SHALL NOT EXCEED 0.5" ON ANY TRUSS.
 12. 3/4" PLYWOOD SHEATHING OVER ALL NEW ROOF AREAS

NOTES:

1. WOOD NAILERS ARE INSTALLED ONLY AT SCUPPERS TO SECURE METAL SLEEVE AND MUST EXTEND PAST THE WIDTH OF METAL SLEEVE FLANGE.
2. INSTALL WALL FLASHING PRIOR TO SCUPPER INSTALLATION.
3. METAL SCUPPER BOX MUST HAVE CONTINUOUS FLANGES WITH ROUNDED CORNERS. SOLDER ALL SCUPPER SEAMS WATER-TIGHT.
4. WATER CUT-OFF MASTIC UNDER SCUPPER FLANGE MUST BE UNDER CONSTANT COMPRESSION.
5. SCUPPER FLANGES MUST BE TOTALLY COVERED BY PRESSURE-SENSITIVE ELASTOFORM FLASHING WITH MINIMUM 2" (51mm) COVERAGE PAST NAIL HEADS.
6. TO REMOVE FINISHING OILS, SCRUB METAL FLANGE WITH HEAVY-DUTY MEMBRANE CLEANER; ALLOW TO DRY PRIOR TO APPLYING EPDM PRIMER.
7. APPLY EPDM PRIMER TO METAL FLANGE AND MEMBRANE SURFACE PRIOR TO INSTALLING PRESSURE-SENSITIVE FLASHING.





NOTE: NIGHTTIME ACCENT LIGHTING TO BE PROVIDED ON THE HISTORIC ELEVATION

NORTH ELEVATION

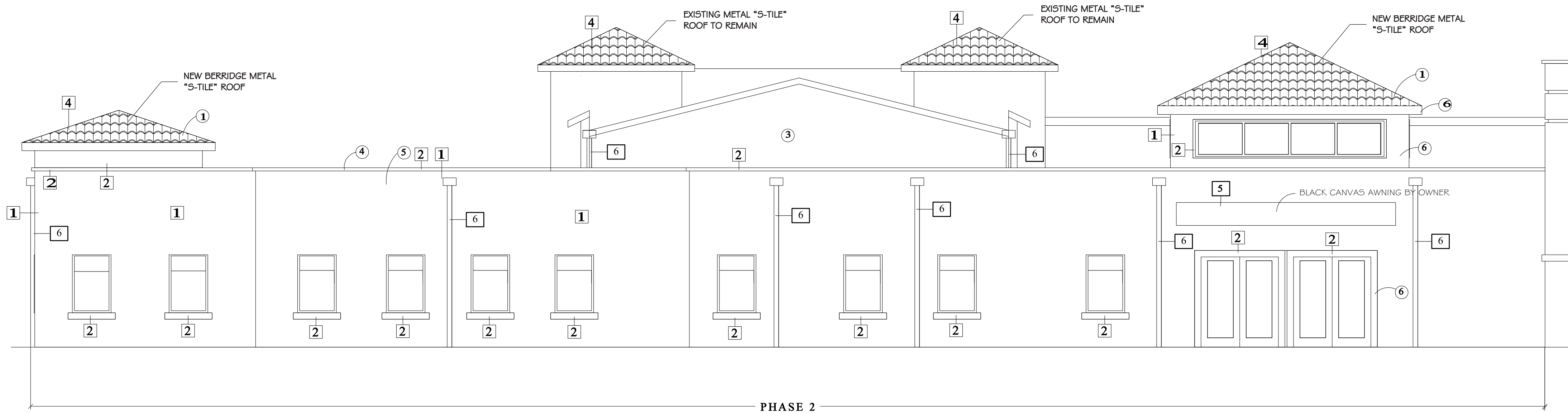
SCALE: 3/16" = 1'-0"

KEYNOTES

1	BERRIDGE STEEL "S-TILE" ROOF TO MATCH EXISTING
2	EXISTING DETAIL TO REMAIN
3	ROUGH STUCCO PER TOJ REQUEST
4	METAL PARAPIT TRIM
5	STUCCO WITH BONDING AGENT AND PAINT
6	STUCCO TRIM
7	CONC. STAIRS
8	METAL ARCH TRIM DETAIL

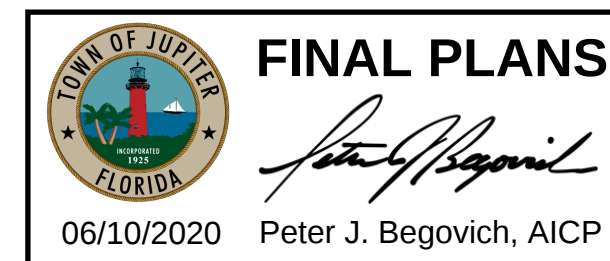
MATERIAL SCHEDULE

	MATERIAL	COLOR	FINISH	SKU
1	STUCCO	PURE WHITE	EGGSHELL	
2	TRIM	COLOR MATCHED BRONZE	EGGSHELL	
3	METAL RAILING	BRONZE	ANODIZED	
4	BERRIDGE STEEL "S-TILE"	TERRA-COTTA		
5	CANVAS AWNING	BLACK CANVAS	SATIN	
6	BRASS SCUPPERS AND DOWNSPOUTS	ANODIZED BRONZE		



SOUTH ELEVATION

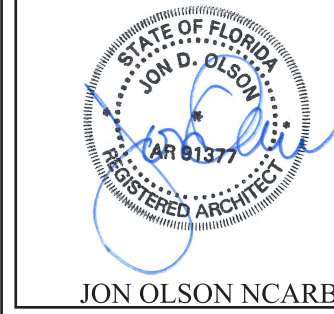
SCALE: 3/16" = 1'-0"



FINAL PLANS 5-5-2020
RESOLUTION R-35-20

GENERATION CHURCH
430 CENTER ST, JUPITER, FL
33458

SEAL:



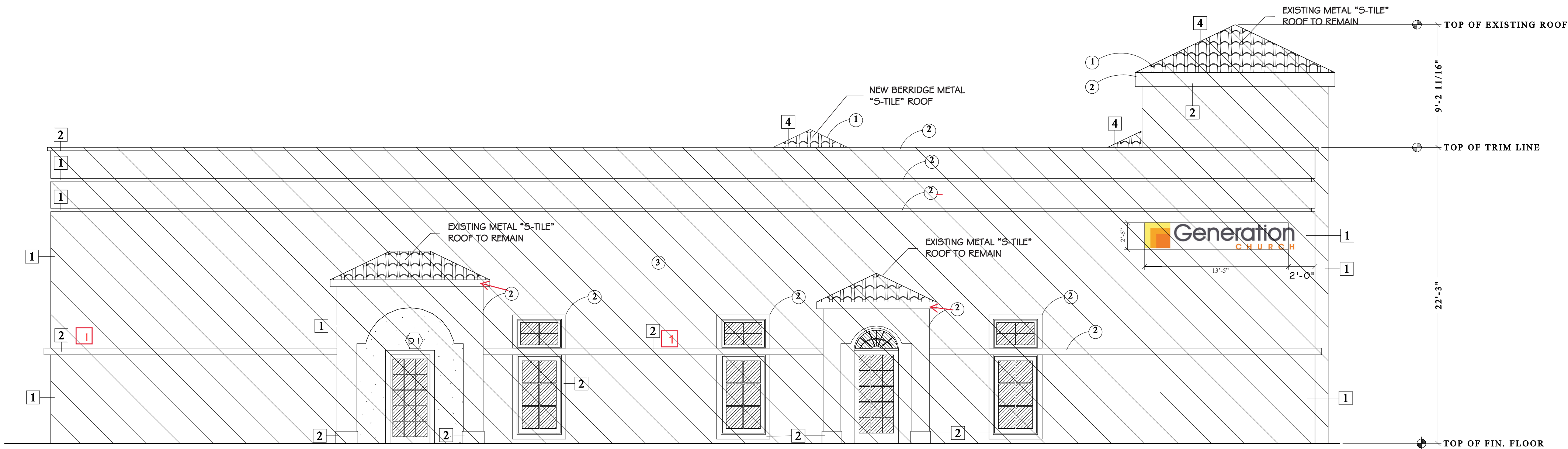
REVISIONS:

ELEVATIONS

Sheet No.

A2.0

PRJT	DATE
GENERATION	5-5-20
DRWN BY	CHCK BY
EJO	JDO



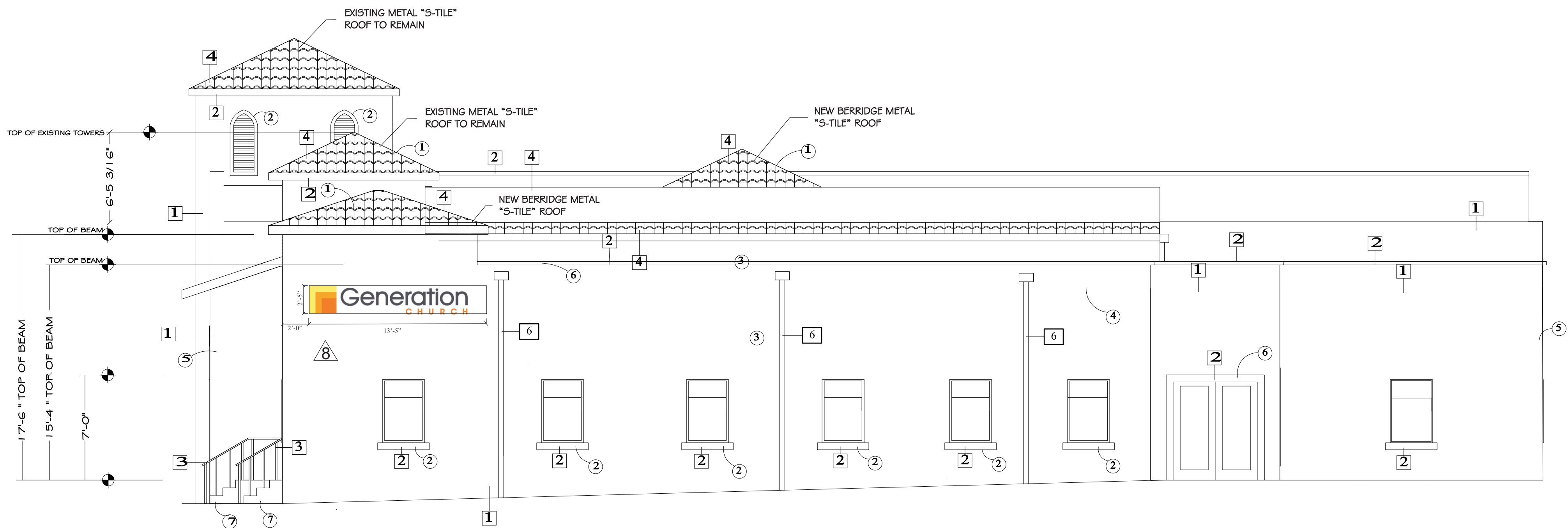
EAST ELEVATION
SCALE: 3/16"=1'-0"

KEYNOTES

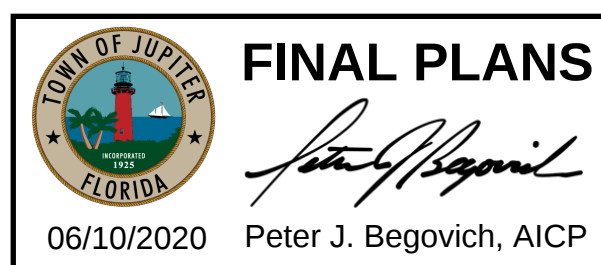
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5	CANVAS AWNING	BLACK CANVAS	SATIN	
6	BRASS SCUPPERS AND DOWNSPOUTS	ANODIZED BRONZE		



WEST ELEVATION
SCALE: 3/16"=1'-0"

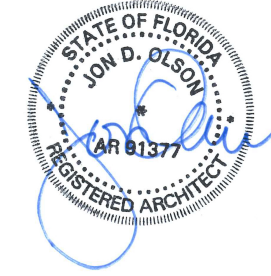


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RESOLUTION R-35-20

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NCARB - LEED AP
ARCHITECT
221 Colony Way West
Jupiter, FL 33458

GENERATION CHURCH
430 CENTER ST, JUPITER, FL
33458

SEAL:



A91377

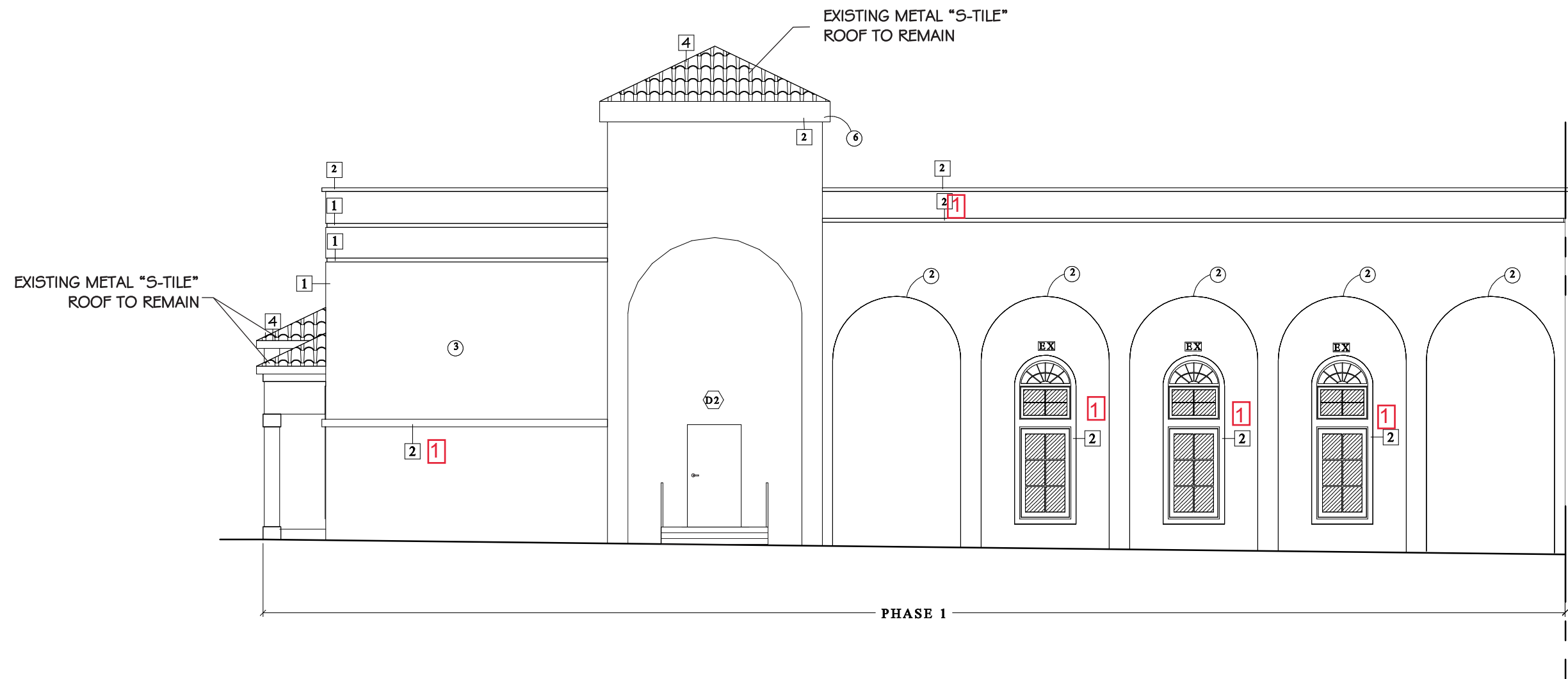
REVISIONS:

ELEVATIONS

Sheet No.

A2.1

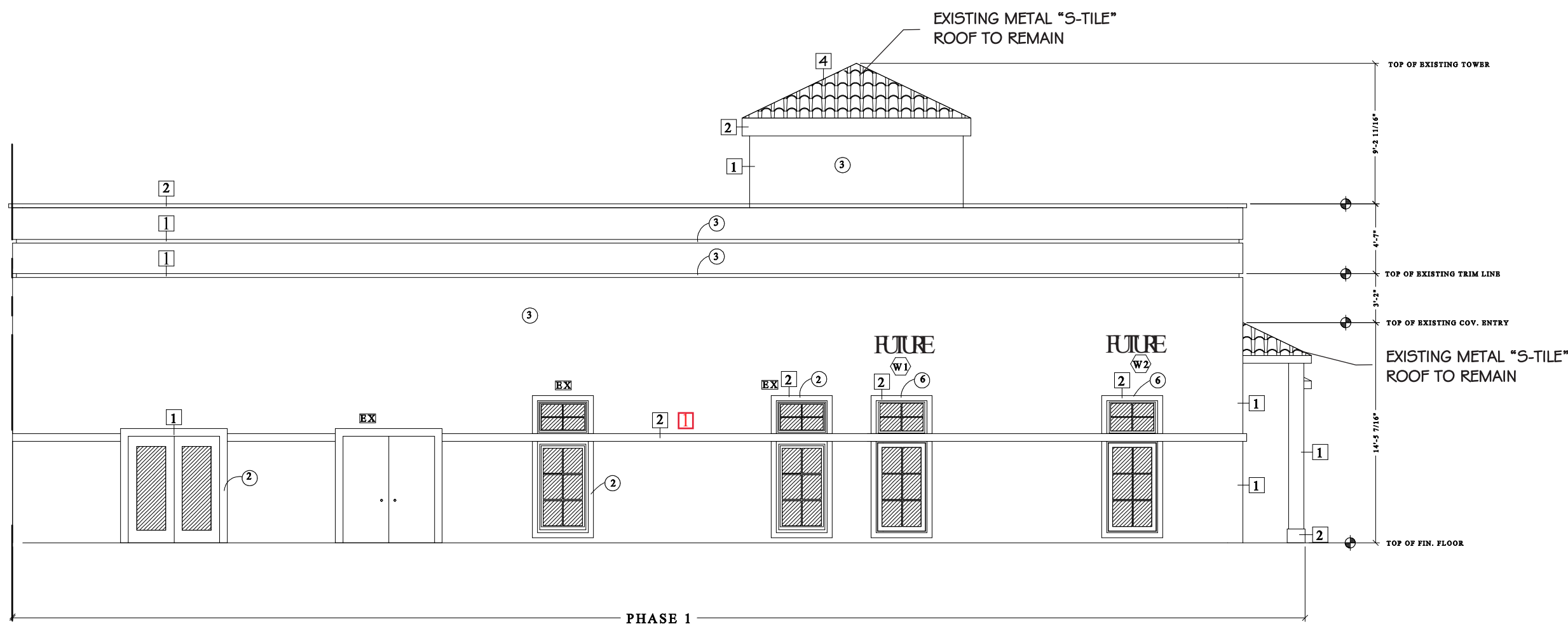
PRJ	DATE
GENERATION	5-5-20
DRWN BY	CHK BY
EJO	JDO



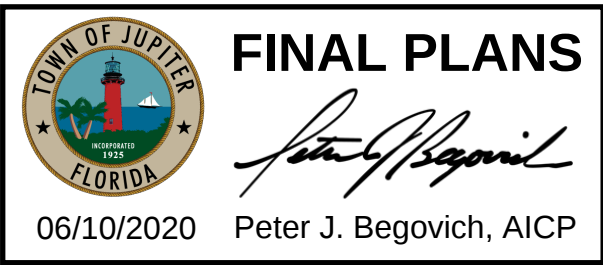
NORTH ELEVATION
PHASE 1
SCALE: 3/16"=1'-0"

KEYNOTES	
1	BERRIDGE STEEL "S-TILE" ROOF TO MATCH EXISTING
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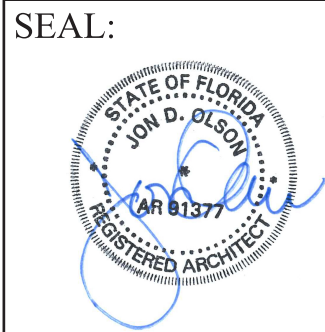
SOUTH ELEVATION
PHASE 1
SCALE: 1/8"=1'-0"



FINAL PLANS 5-5-2020
RESOLUTION R-35-20

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GENERATION CHURCH
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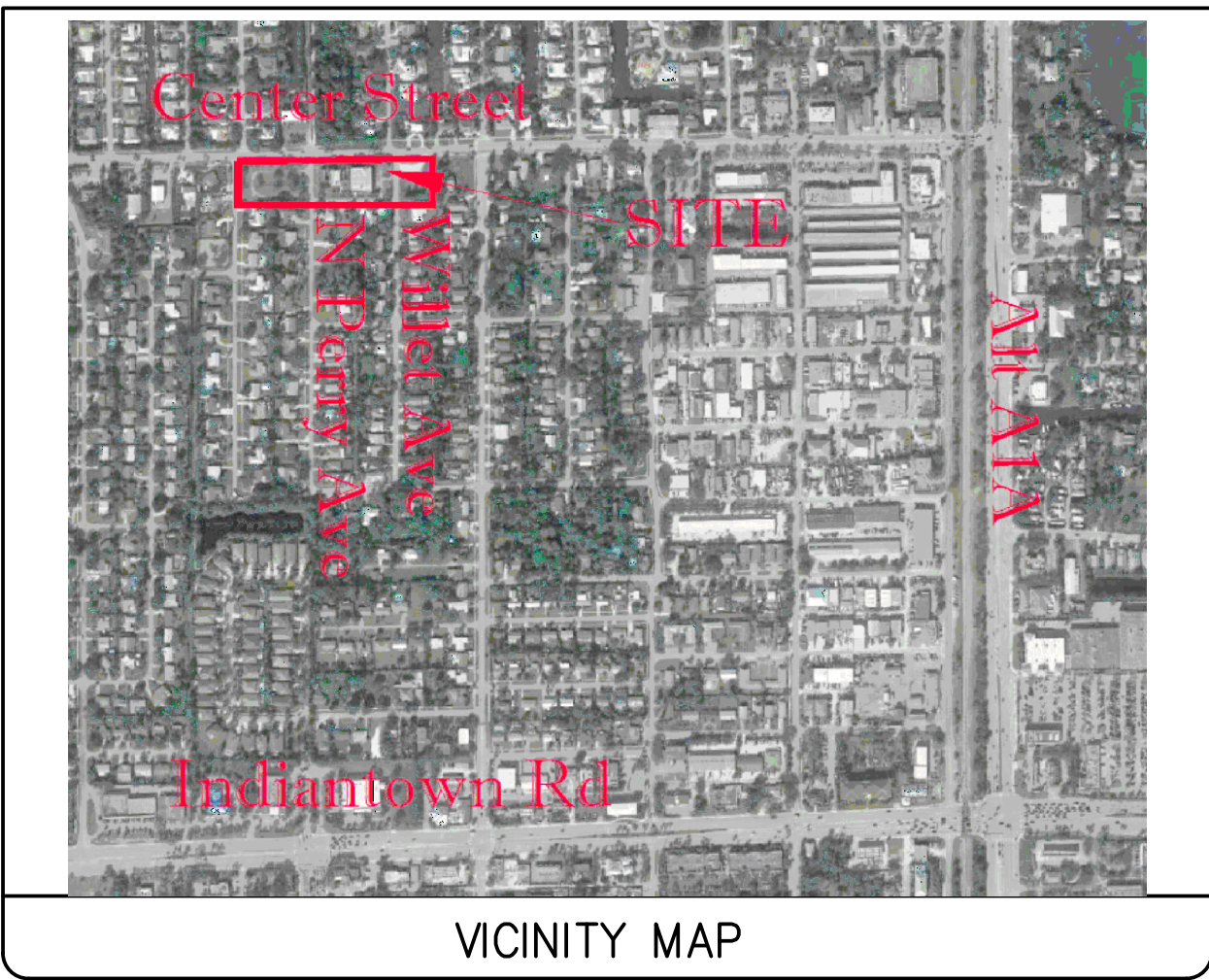
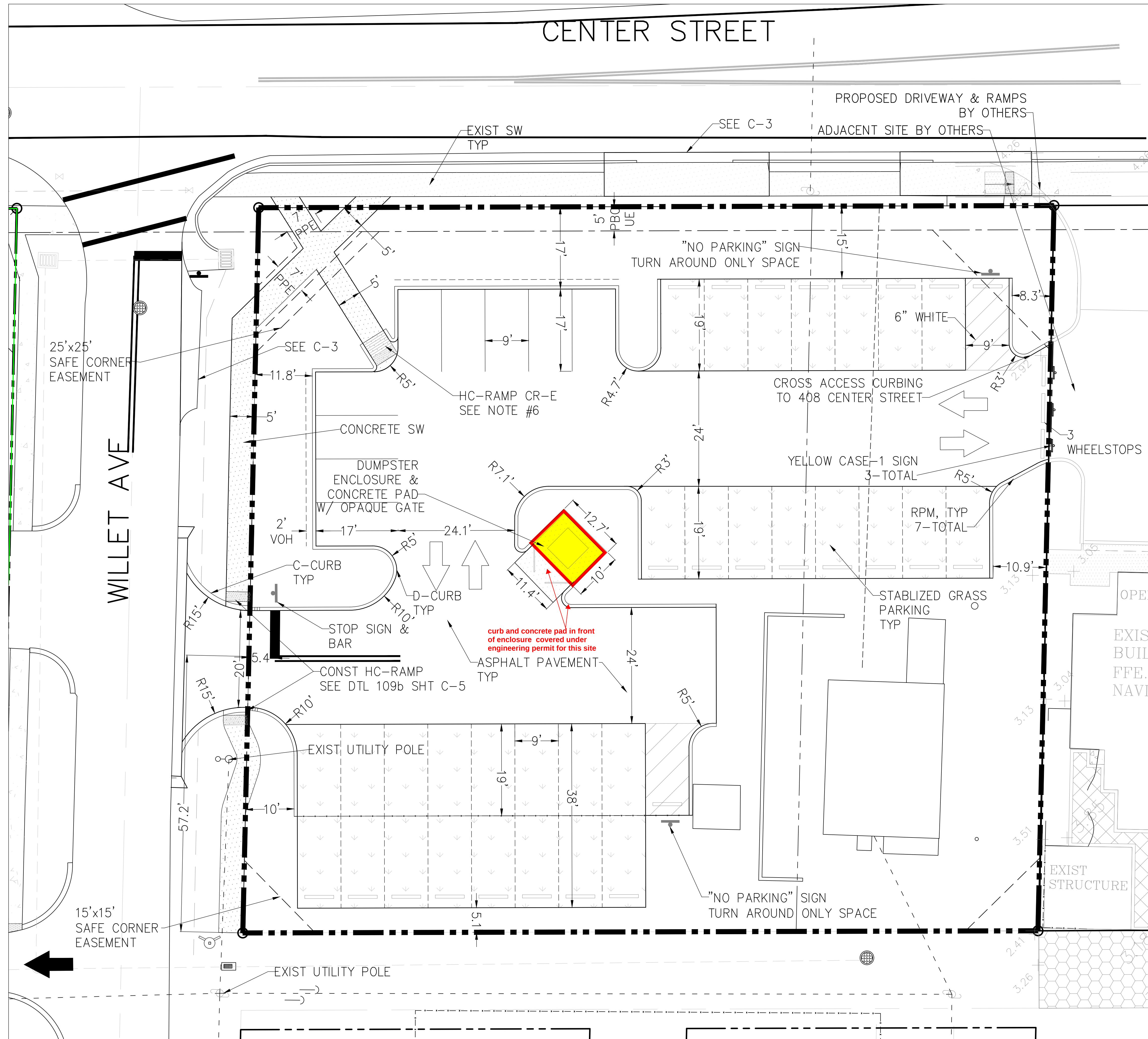
REVISIONS:

ELEVATIONS

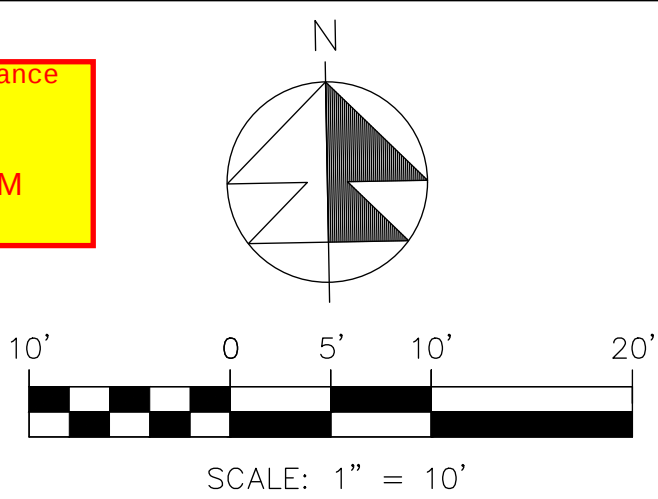
Sheet No.
A2.0

PRJT	DATE
GENCHURCHV9	5-5-20
DRWN BY	CHK BY
EJO	JDO
Scale: 1/8"=1'-0	

23-075214-COMM



Reviewed For Code Compliance
Andrew J. Armour
PX-1335
10/26/2023 11:22:09 AM

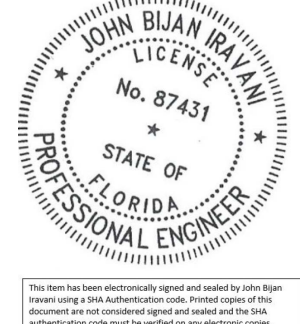


NOTES:

1. ALL STRIPING & PAVT MARKINGS SHALL BE THERMOPLASTIC W/ EXCEPTION OF STD PKG STALLS WHICH SHALL BE TRAFFIC PAINT.
2. 19"-24" DEEP ROOT BARRIERS MUST BE INSTALLED ALONG ALL CURBS & SIDEWALKS WITHIN 10' OF EXISTING OR PROPOSED TREES. (SEE LANDSCAPE PLANS)
3. SURVEYOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STAKING & INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCIES.
4. ALL ACCESSIBLE ROUTES INCL HANDICAP RAMPS & DETECTABLE WARNINGS SHALL BE CONSTRUCTED IN ACCORD W/ 2010 USDOJ ADA REQ'S, 2010 FBC & 2021 FDOT DESIGN STD'S INDEX 522-002.
5. PAVEMENT MARKINGS AND GEOMETRICS SHALL BE IN ACCORD W/ THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND PALM BEACH COUNTY TYPICAL NO. T-P-21.
6. CR-X MEANS HANDICAP RAMP PER FDOT DESIGN STD INDEX 522-002 CR-X .

48 HOURS BEFORE DIGGING
CALL TOLL FREE
811
CALL SUNSHINE
NOTIFICATION CENTER

LEGEND	
00.0	PROP PAVT EL
00.0	EXIST EL
00.0	CONTRACTOR TO FIELD VERIFY
00.0	INVERT EL
00.0	CATCH BASIN
00.0	YARD DRAIN
00.0	BOTTOM EL
00.0	TOP EL
00.0	EXFILTRATION TRENCH
00.0	WATER MAIN
00.0	WATER SERVICE
00.0	SANITARY SERVICE
00.0	FIRE MAIN
00.0	FIRE HYDRANT
00.0	POST INDICATOR VALVE
00.0	GATE VALVE
00.0	TAPPING VALVE
00.0	VALVE
00.0	FIRE DEPT CONNECTION
00.0	CV CHECK VALVE
00.0	OGCA-BBL CHOK DETECTOR ASSEMBLY
00.0	RPDA-REDUCED PRESS DET ASSEMBLY
00.0	WATER METER W/ REDUCED PRESSURE BACKFLOW PREV.
00.0	SAMPLE POINT
00.0	MITERED END SECTION
00.0	FIN FLOOR ELEV
00.0	FLOW LINE ELEV
00.0	TOP OF BANK
00.0	TOP OF SLOPE
00.0	TOP OF CONCRETE
00.0	TOP OF PAVEMENT
00.0	UTILITY EASEMENT
00.0	DRAINAGE EASEMENT
00.0	LAKE MAINTENANCE EASMT
00.0	LIMITED ACCESS EASMT
00.0	CLEANOUT
00.0	BORING NO. AND LOCATION
00.0	ELLIPITICAL ROP
00.0	REINFORCED CONC PIPE
00.0	CORRUGATED ALUMINUM PIPE
00.0	HIGH DENSITY POLYETHYLENE PIPE
00.0	POLYVINYL PIPE
00.0	CORRUGATED METAL PIPE
00.0	PROP CONC EL
00.0	RAIN WATER LEADER



Digitally signed
by John Iravani
Date:
2023.10.18
14:33:28 -04'00'

REVISIONS			
02-10-23	REV	PER	TDJ
03-02-23	REV	PER	TDJ
04-11-23	REV	PER	TDJ
05-05-23	REV	PER	PBC
08-29-23	REV	PER	SAN

Jeff H. Iravani, Inc.
Consulting Engineers
1934 COMMERCE LANE, SUITE 5
JUPITER, FLORIDA 33458
TEL: (561) 575-6030
FAX: (561) 575-6088
www.jhinc.com
JH@jhinc.com

Generation Church
Phase-II

412 Center St Jupiter, Florida 33458

Pavement Marking & Dimension
Plan

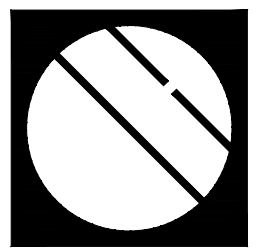
DATE	SCALE	DESIGNED BY	DRAWN BY	JOB NO.
09/01/22	NA	JBI	JBI	1808-1268

SEAL
FR # 6986
SHEET NO.
C-2

FINAL PLANS
Resolution 35-20 05/05/20

Phase II Landscape Plan

23-075214-COMM



Cotleur &
Hearing

Landscape Architects
Land Planners
Environmental Consultants
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 · Fax 747.1377
www.cotleurhearing.com
Lic# LC-26000535

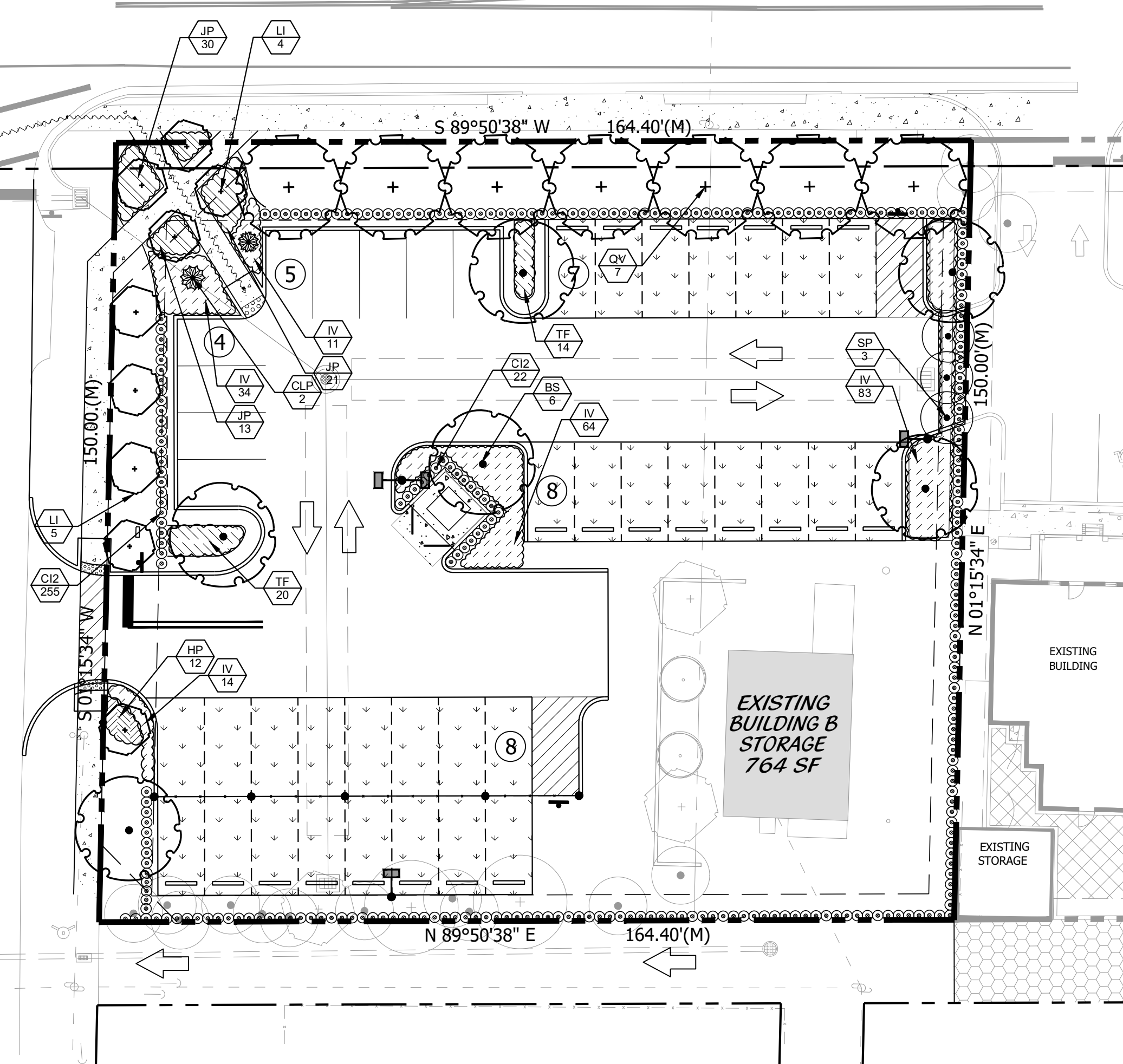
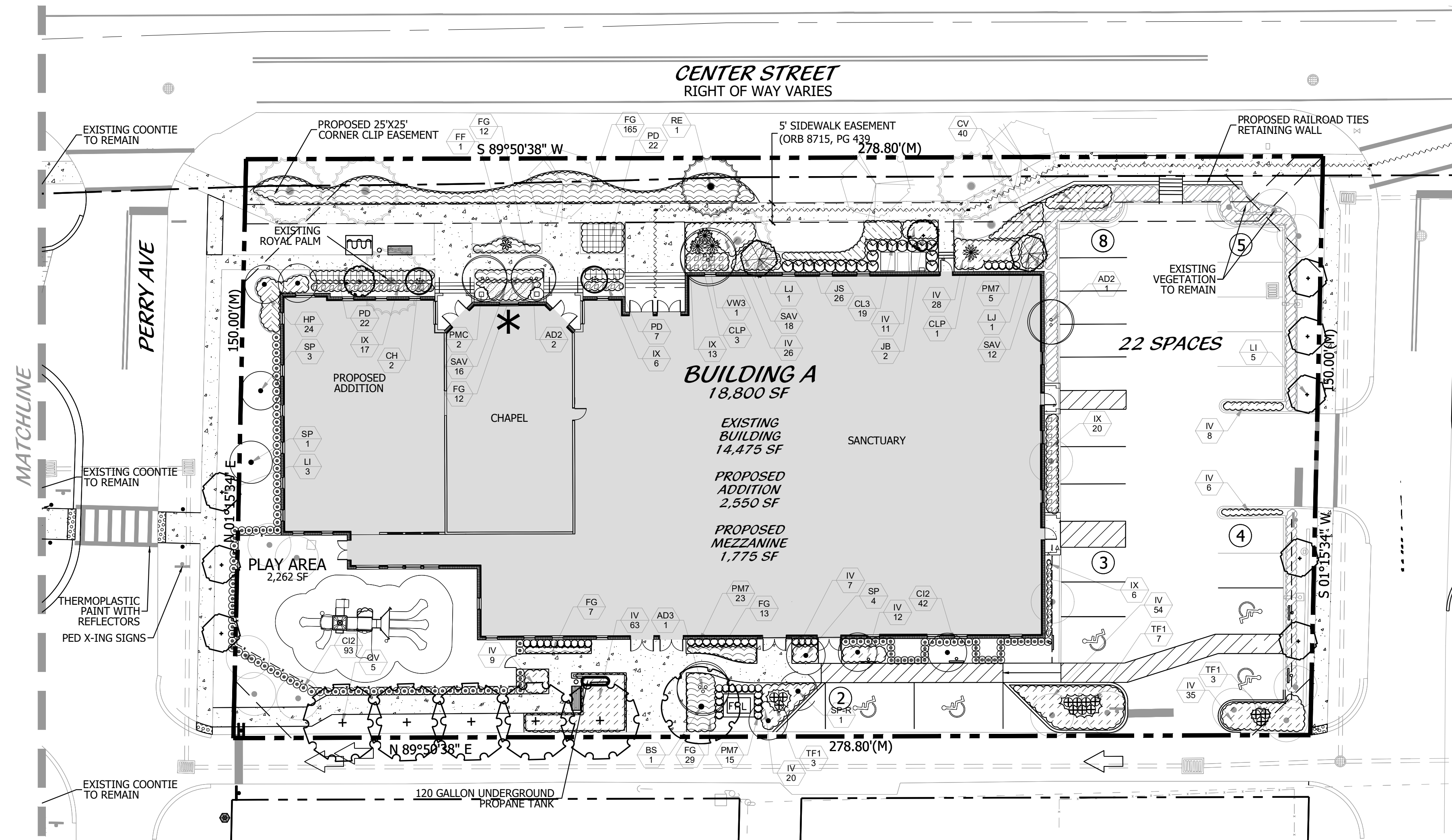
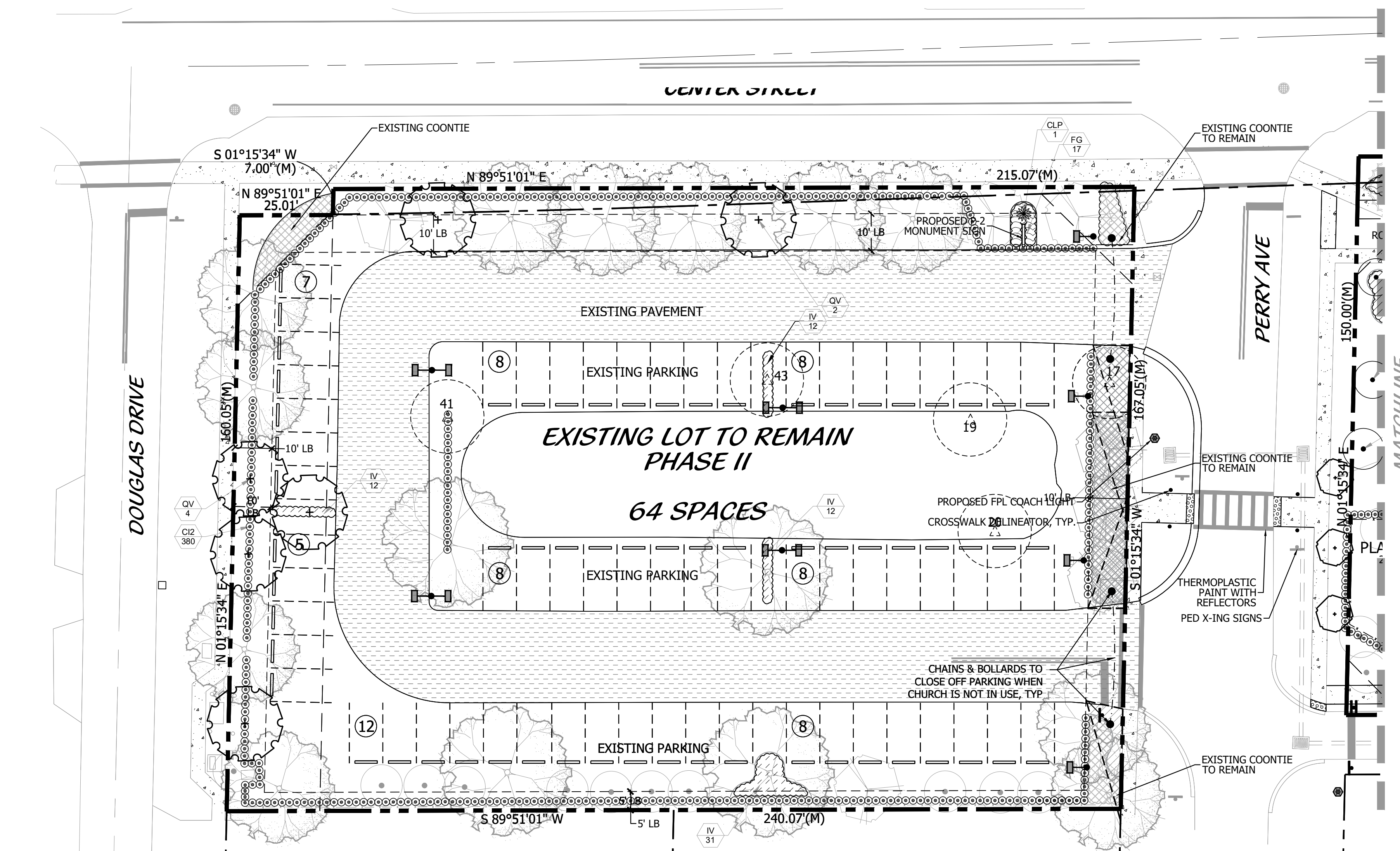
Generation Church
430 Center Street
Jupiter, Florida

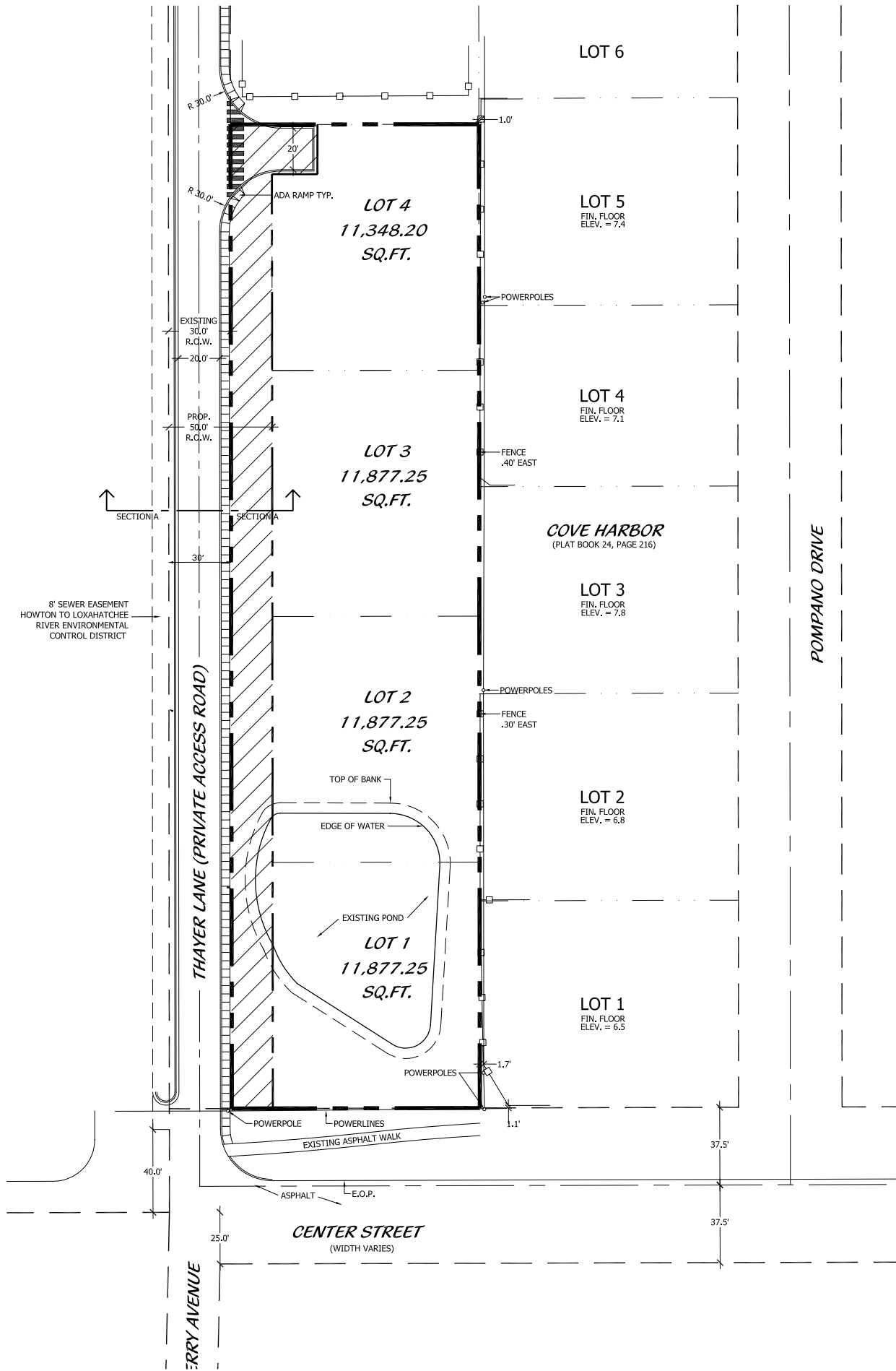
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DRAWN	DEH
APPROVED	DEH
JOB NUMBER	18-0504
DATE	09-10-18
REVISIONS	10-26-18
03-21-22	11-28-18
07-15-22	02-08-19
FINAL PLANS 10-28-22	03-25-19
AMENDMENT 02-14-20	
FINAL PLANS 05-08-20	
AMENDMENT 12-07-21	

October 28, 2022 5:16:26 p.m.
Drawing: 18-0504 LP_PH 2.DWG

SHEET 1 OF 2

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by agreement in writing with the architect. Immediately
report any discrepancies to the architect.



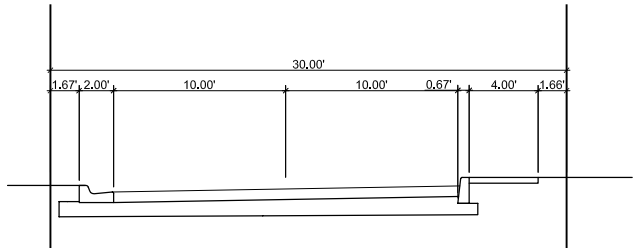


LEGEND

- SUBDIVISION LINE
- NEW PROPERTY LINE
- ADJACENT PROPERTY LINES
- LOT LINES
- AREA OF EXISTING SUBDIVISION TO BECOME DEDICTED R.O.W.

Property Development Regulations

PROPERTY DEVELOPMENT REGULATIONS														
ZONING DISTRICT OR POD	MINIMUM LOT DIMENSIONS			DENSITY		FAR	BLDG. COVER	BLDG. HEIGHT	BLDG. STORIES	DWELLING UNIT FLOOR AREA	MIN. BLDG. SETBACKS			
	SIZE	WIDTH	DEPTH	MIN.	MAX.						FRONT	SIDE	CORNER	REAR
REQ. R1	10,000'	75'	100'	—	—	—	35%	35'MAX.	2 MAX.	1,200 SQ.FT.	25'	10'	25'	15'



SECTION A - 30' RIGHT-OF-WAY

Scale: 1" = 5'

Site Data

SECTION 36, TOWNSHIP 40, RANGE 42	
LAND USE DESIGNATION	R1
EXISTING ZONING DESIGNATION	RESIDENTIAL
PCN #	30-42-40-36-00-006-0030
TOTAL SITE AREA	57,000.00 S.F.
	1.31 AC.
TYPE OF OWNERSHIP	PRIVATE
SITE DATA	
LOT SIZE	11,348.20 S.F.
LOT 1	0.261 AC.
LOT 2	11,877.25 S.F.
LOT 3	0.273 AC.
LOT 4	11,877.25 S.F.
LOT 5	0.273 AC.
LOT 6	11,877.25 S.F.
SUBTOTAL	46,979.95 S.F.
REMAINDER OF SUBDIVISION (R.O.W AREA & ENTRY DRIVE)	10,020.05 S.F.
	1.08 AC.
TOTAL	57,000.00 S.F.
	1.31 AC.

LEGAL DESCRIPTION

SECTION 36, TOWNSHIP 40, RANGE 42, NORTH 475 FEET OF SOUTH 525 FEET OF EAST 120 FEET OF WEST 150 FEET OF GOVERNMENT LOT 6

UTILITY PROVIDERS

SEWER: ECON
WATER: JUPITER WATER
ELECTRIC: FLORIDA POWER AND LIGHT
CABLE TV: N/A
TELEPHONE: BELLSOUTH

PROJECT TEAM

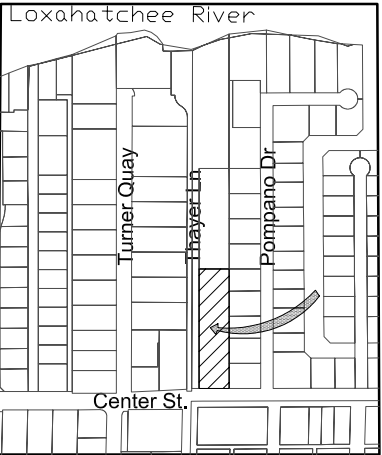
PLANNER:
COTLEUR & HEARING
BRIAN CHEGUIS
SUITE 1
1934 COMMERCE LANE
JUPITER, FLORIDA 33458
PHONE: (561) 747-6336

OWNER:
JAMES HAWTHORNE
P.O. BOX 595
JUPITER, FL 33468-0595
(561) 746-4279

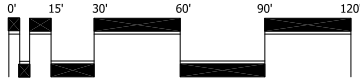
LEGAL COUNSOLE:
LEE SAYLER
1001 N. US HIGHWAY 1
JUPITER, FL 33458
(561) 746-7304

SURVEYOR:
DAILEY & ASSOCIATES INC.
DAN DAILEY
112 U.S. HIGHWAY 1
TEQUESTA, FL 33469
(561) 746-8424

KEY MAP



Subdivision Plan



Scale: 1" = 30'



North



Cotleur
Hearing

Landscape Architecture
Planning
Environmental Consulting
Graphic Design

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

HAWTHORNE SUBDIVISION

JUPITER, FLORIDA

DESIGNED: HK, DEH
DRAWN: HK
APPROVED: DEH
JOB NUMBER: 03-0720
DATE: 03-03-06
REVISIONS:

March 3, 2006 12:13:40 p.m.
Drawing: 030720SP.DWG

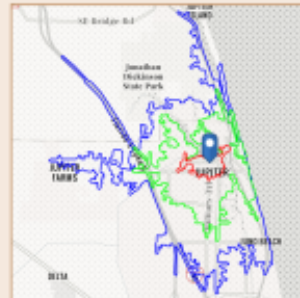
SHEET 1 OF 1

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Drive Time: 5 minutes, Drive Time: 10 minutes, Drive Time: 15 minutes

Longitude: -80.10182

Drive time of 3 miles, 10 miles, & 15 miles



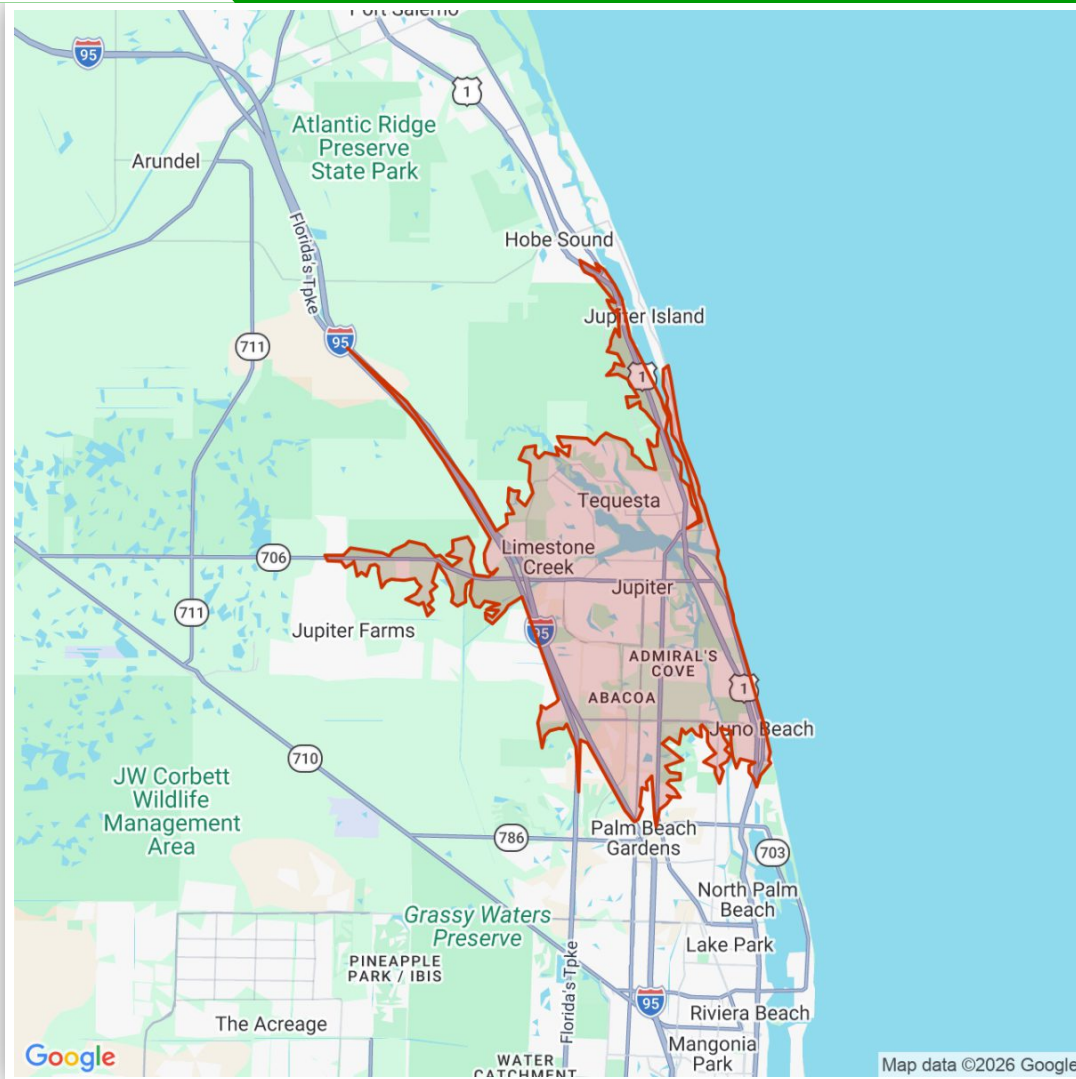
Source: This infographic contains data provided by Euri (2025, 2030), Euri-Data Aisle (2023)



DRIVE TIME				GEOGRAPHY				
AGE SEGMENTS	5 mins	10 mins	15 mins	Counties	CSAs	States	USA	
				Palm Beach County	Miami-Fort Lauderdale-West Palm Beach, FL	Florida		
	0 - 4	5.43%	4.34%	3.99%	4.47%	4.64%	4.68%	5.39%
	5 - 9	5.36%	4.32%	4.42%	4.76%	4.97%	4.95%	5.68%
	10 - 14	5.02%	5.82%	5.86%	3.80%	5.06%	5.32%	5.69%
	15 - 19	7.08%	5.45%	5.49%	5.83%	5.50%	5.81%	6.45%
	20 - 34	26.27%	15.87%	14.71%	17.16%	18.18%	18.49%	28.35%
	35 - 54	29.83%	23.58%	25.69%	23.19%	23.95%	24.37%	29.23%
	55 - 74	22.93%	27.74%	26.79%	25.81%	24.44%	25.49%	22.77%
	75+	8.13%	14.05%	16.59%	13.59%	9.83%	10.91%	8.23%
HOUSEHOLD INCOME								
<\$15,000	9.3%	6.7%	4.7%	6.7%	8.4%	7.7%	8.8%	
\$15,000-\$24,999	5.2%	3.8%	3.4%	3.7%	3.7%	5.6%	5.2%	
\$25,000-\$34,999	3.2%	4.7%	4.0%	3.8%	6.8%	6.2%	5.9%	
\$35,000-\$49,999	13.2%	7.3%	6.2%	8.8%	9.9%	9.9%	9.3%	
\$50,000-\$74,999	15.3%	13.9%	10.9%	14.0%	14.6%	16.0%	15.1%	
\$75,000-\$99,999	9.2%	10.8%	10.4%	12.2%	12.2%	12.8%	12.4%	
\$100,000-\$149,999	28.8%	18.7%	19.7%	18.3%	18.1%	18.8%	18.0%	
\$150,000-\$199,999	16.9%	11.6%	11.9%	9.8%	9.7%	9.6%	18.4%	
\$200,000+	13.4%	23.0%	26.7%	18.7%	16.6%	13.5%	15.4%	
KEY FACTS								
Population	6,679	58,725	86,458	1,571,208	6,379,604	23,987,813	343,526,334	
Daytime Population	9,759	58,026	902,474	3,590,892	6,380,967	23,453,268	341,846,152	
Employees	3,618	25,153	47,818	756,123	3,258,508	11,698,242	188,708,572	
Households	2,413	21,783	43,878	658,093	2,486,998	9,528,051	134,397,562	
Average HH Size	2.76	2.30	2.29	2.37	2.53	2.45	2.49	
Median Age	38.8	48.2	49.6	45.8	42.8	43.6	39.6	
HOUSING FACTS								
Median Home Value	612,852	691,812	721,040	357,433	513,887	421,319	376,272	
Owner Occupied %	68.5%	75.3%	78.3%	68.9%	69.3%	68.6%	69.0%	
Renter Occupied %	31.8%	24.7%	21.8%	31.2%	30.8%	33.4%	34.0%	
Total Housing Units	2,583	25,733	30,361	745,000	2,793,397	18,955,223	148,274,559	
INCOME FACTS								
Median HH Income	\$84,495	\$166,326	\$121,256	\$90,154	\$85,523	\$82,707	\$85,869	
Per Capita Income	\$47,468	\$73,487	\$58,081	\$58,887	\$48,869	\$47,873	\$48,241	
Median Net Worth	\$308,721	\$556,547	\$786,615	\$374,468	\$251,528	\$292,086	\$276,921	

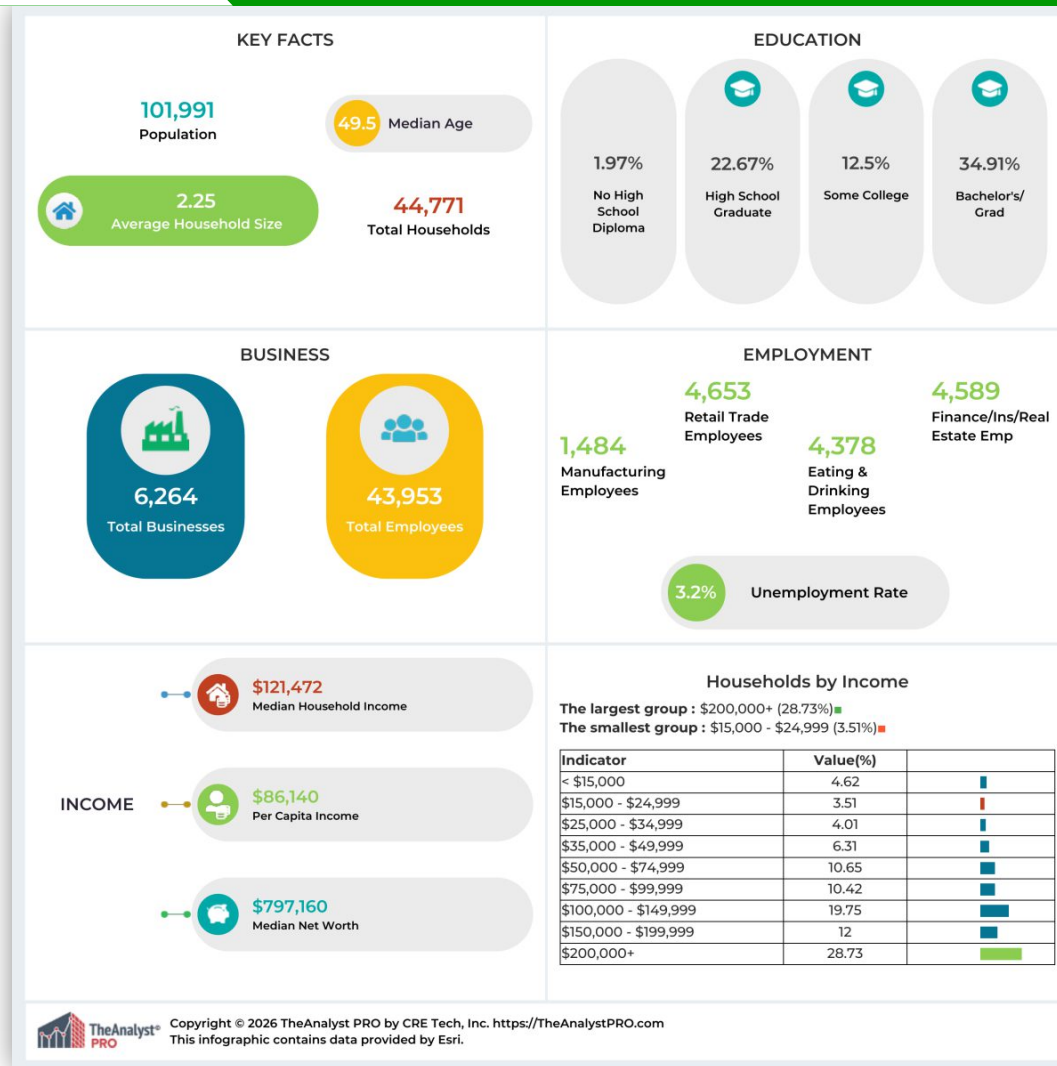


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 erik@gatorcommercial.com



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erik@gatorcommercial.com

INFOGRAPHIC: KEY FACTS (DRIVE TIME: 15 MINUTES)



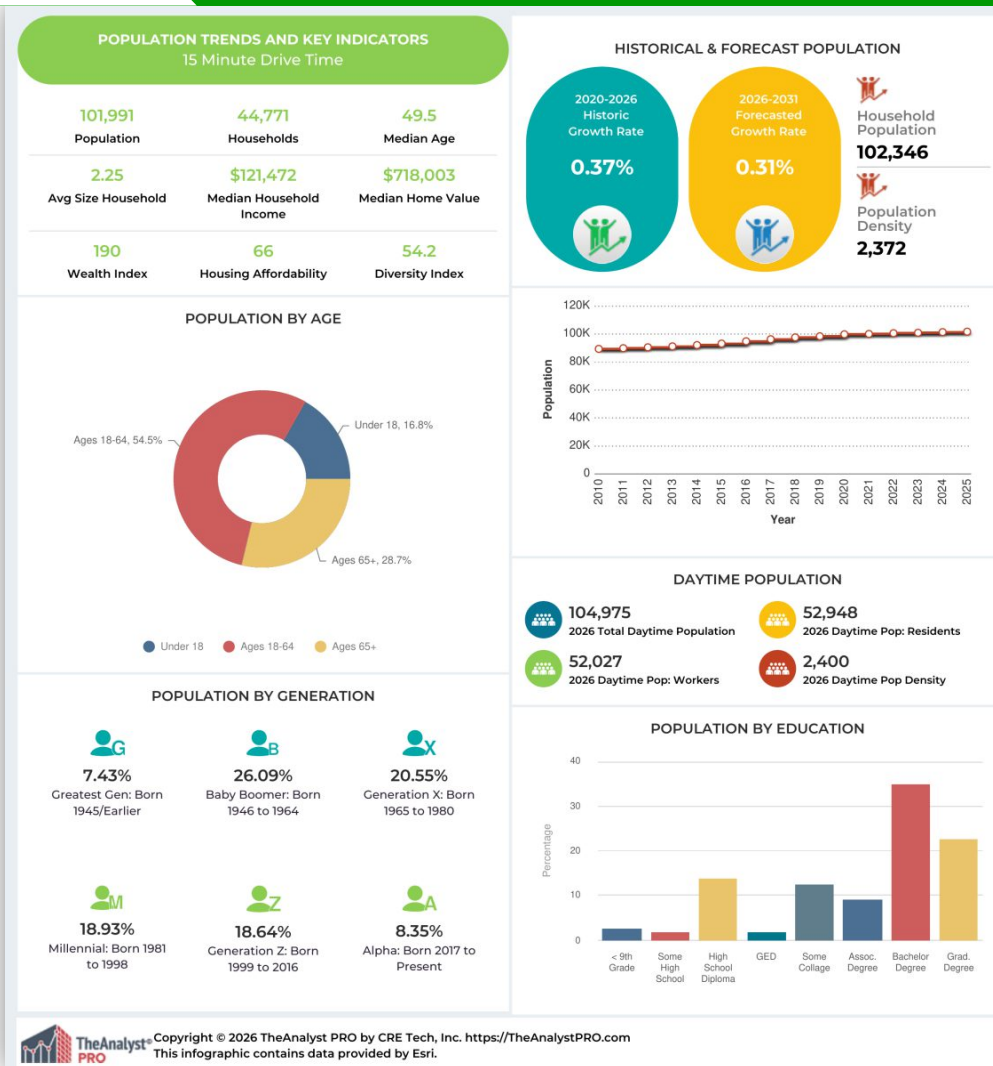
Institutional Campus Opportunity

430 Center St., Jupiter, FL, 33458



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erik@gatorcommercial.com

INFOGRAPHIC: POPULATION TRENDS (DRIVE TIME: 15 MINUTES)



Institutional Campus Opportunity

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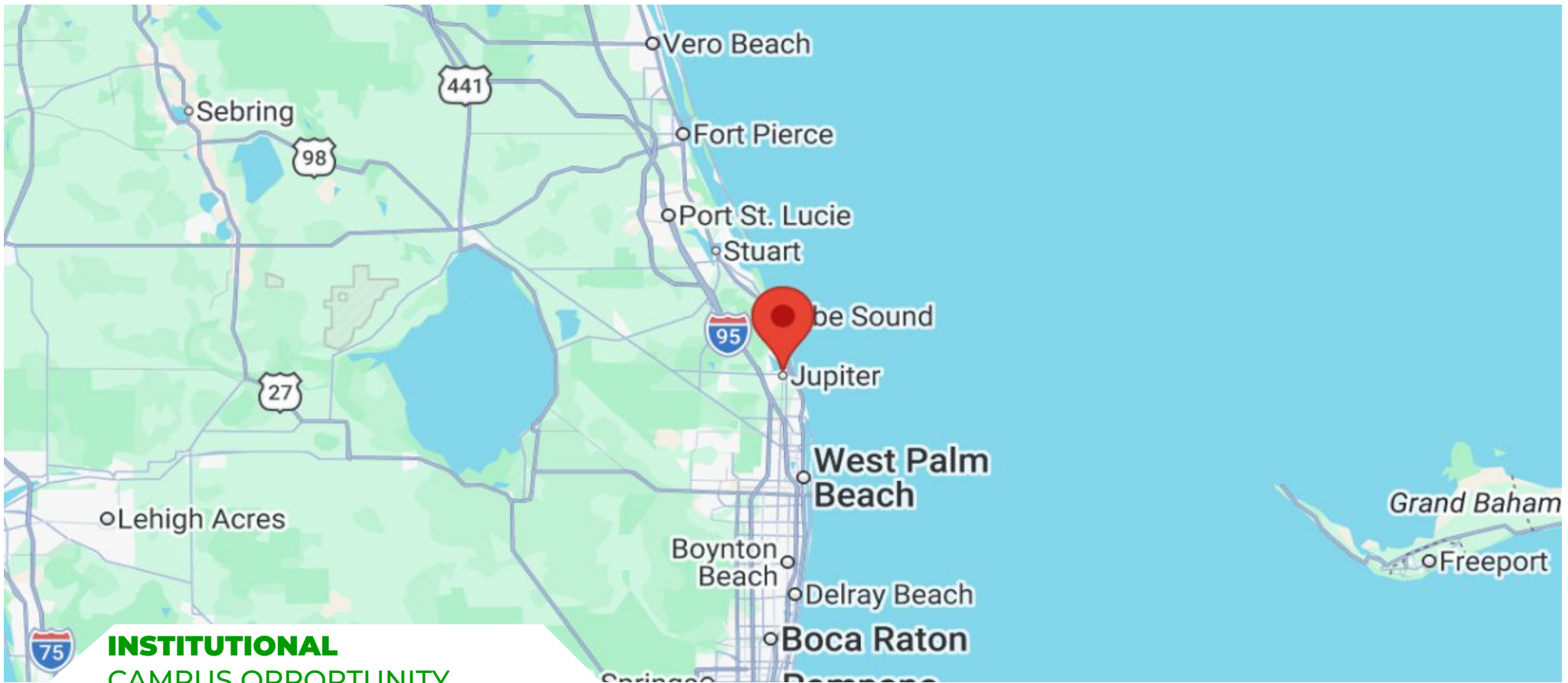


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erik@gatorcommercial.com

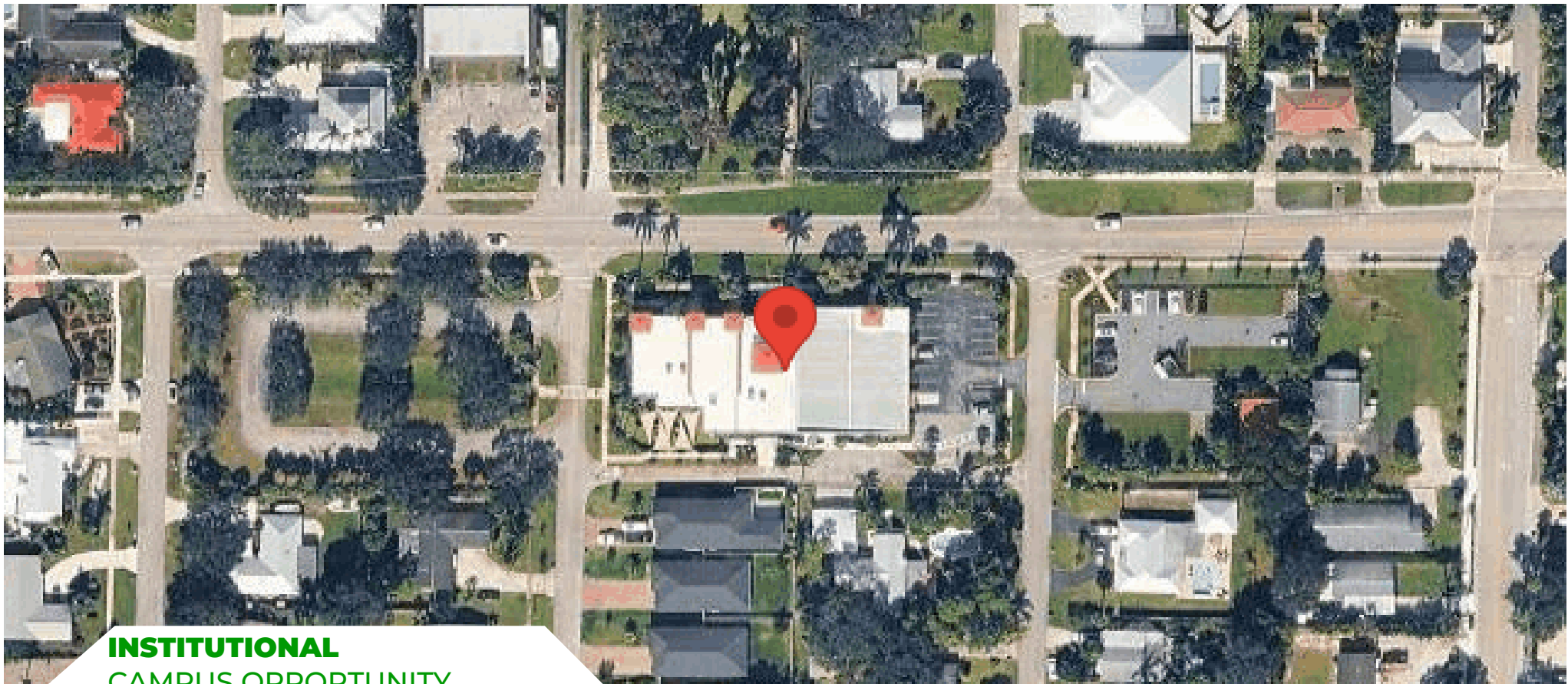


INSTITUTIONAL CAMPUS OPPORTUNITY

430 CENTER ST., JUPITER, FL 33458



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Palm Beach Gardens, FL, 33408, United States

CONTACT