



**STANTON
CROSSING**

PROJECT INTRODUCTION

Stanton Crossing at 11999 Highway 70 in Stanton, Tennessee, is a 5.03 acre well positioned commercial tract in one of West Tennessee's fastest-growing markets. Positioned along the US 70 corridor, the property benefits from excellent highway frontage, convenient access to regional transportation networks, and proximity to the transformative economic growth occurring around Ford's BlueOval City.

The B-2 zoning designation provides opportunity for retail and regional small businesses. The site is immediately adjacent to a newly constructed Dollar General, further reinforcing the area's commercial momentum and providing an established retail presence that generates daily customer traffic.

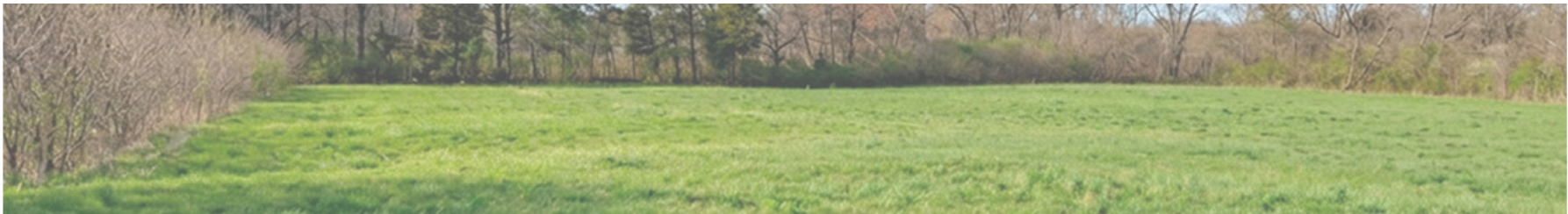


The property is ideally situated to capture increasing traffic, workforce demand, and consumer spending while maintaining the appealing rural character and open space that make Stanton an attractive place to live, work, and invest.

Tony

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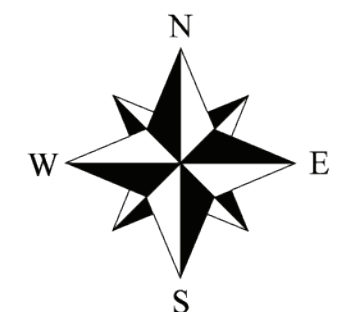


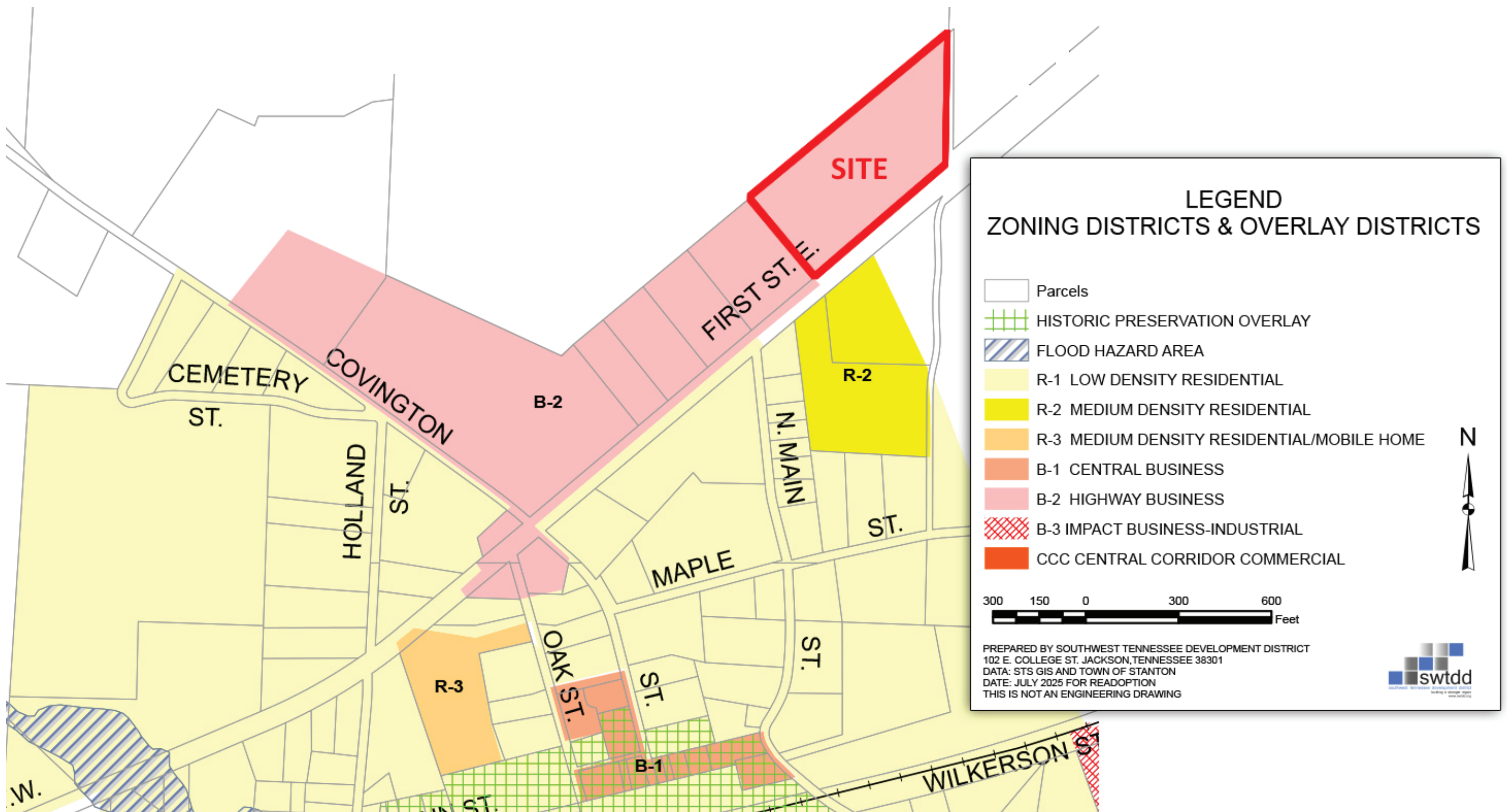


Town of Stanton is a junction at the corridors of I-40 and US-70/79 and via Memphis and Nashville has direct access to four modes of transportation: rail, road, water, and air.

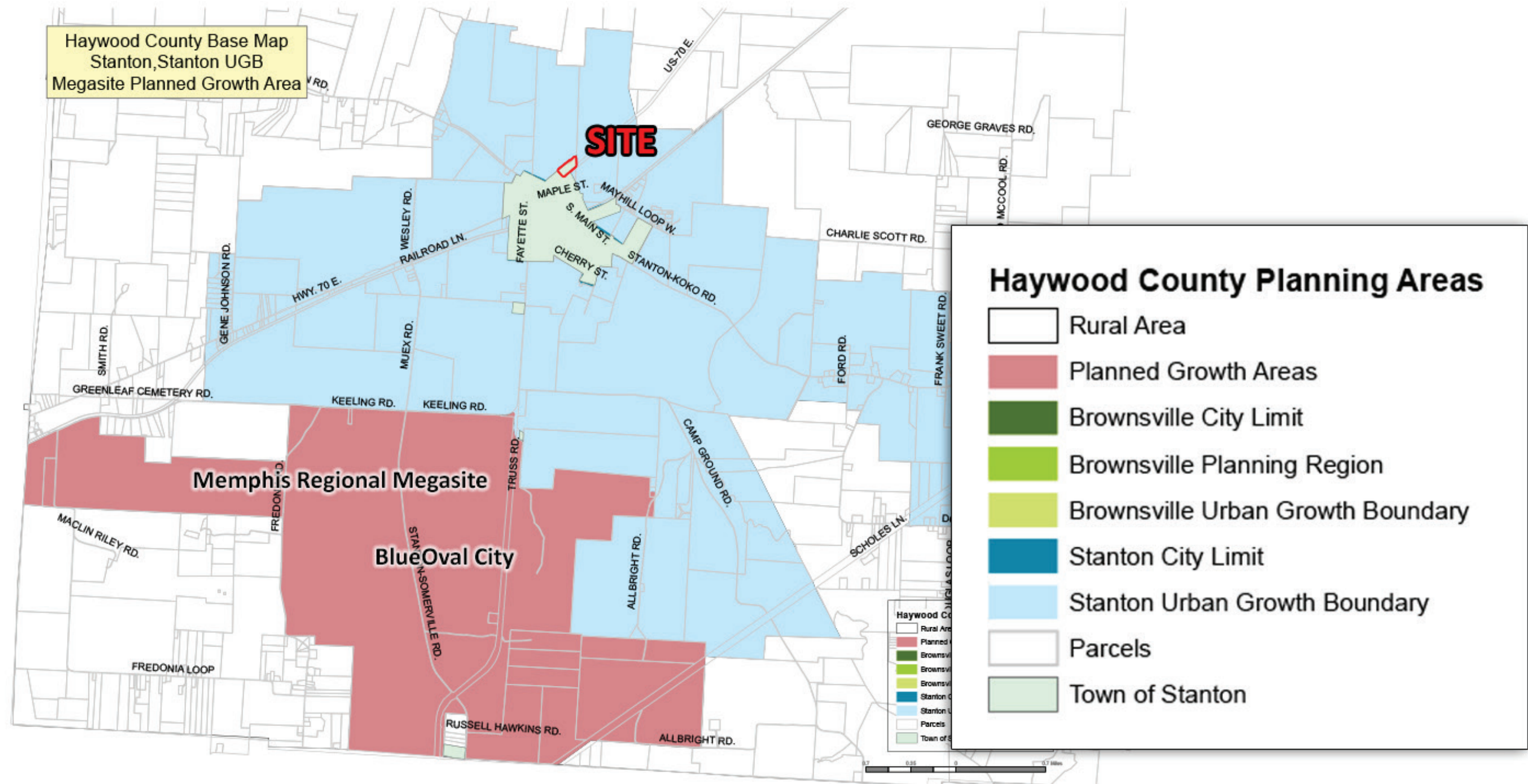
Stanton is the closest small town to Memphis Regional Megasite and BlueOval City, 3.2 miles away via SR-222.

The site is 19.6 miles from Arlington and 35.6 miles from Bartlett via Highway 70/79.





Stanton Crossing is located in the B-2 Highway Business zoning district in the Town of Stanton.



Stanton Crossing is located in the Stanton town limits.