

PRELIMINARY AND FINAL MAJOR SITE PLAN  
1520 ROUTE 37 WEST  
**LOT 13 ~ BLOCK 472**  
SITUATED IN  
**TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.**

PREPARED FOR  
**MAPLE ASH LLC.**  
**P.O. BOX 232**  
**TOMS RIVER, NJ 08754**

PREPARED BY  
**FWH ASSOCIATES, P.A.**  
CIVIL ENGINEERS LAND SURVEYORS  
LANDSCAPE ARCHITECTS SITE PLANNERS  
1856 ROUTE 9 TOMS RIVER NEW JERSEY 08755 (732)797-3100

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\* SOIL EROSION AND SEDIMENT CONTROL PLANS AND  
MITIGATION PLANS PROVIDED IN SEPARATE SET.

CLASSIFIED AND APPROVED AS A MAJOR SITE PLAN BY THE TOMS RIVER TOWNSHIP  
PLANNING BOARD ON \_\_\_\_\_

CHAIRPERSON

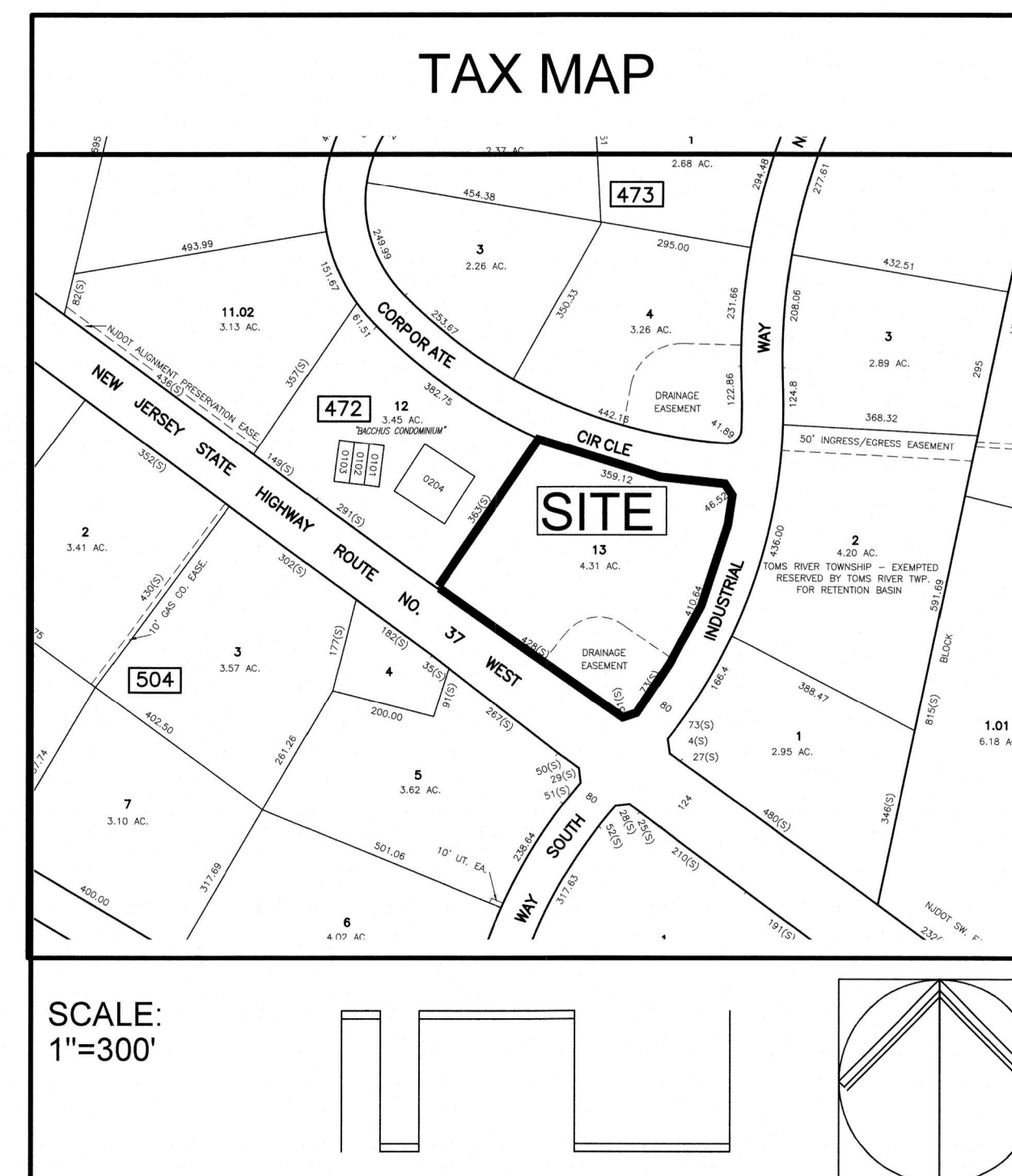
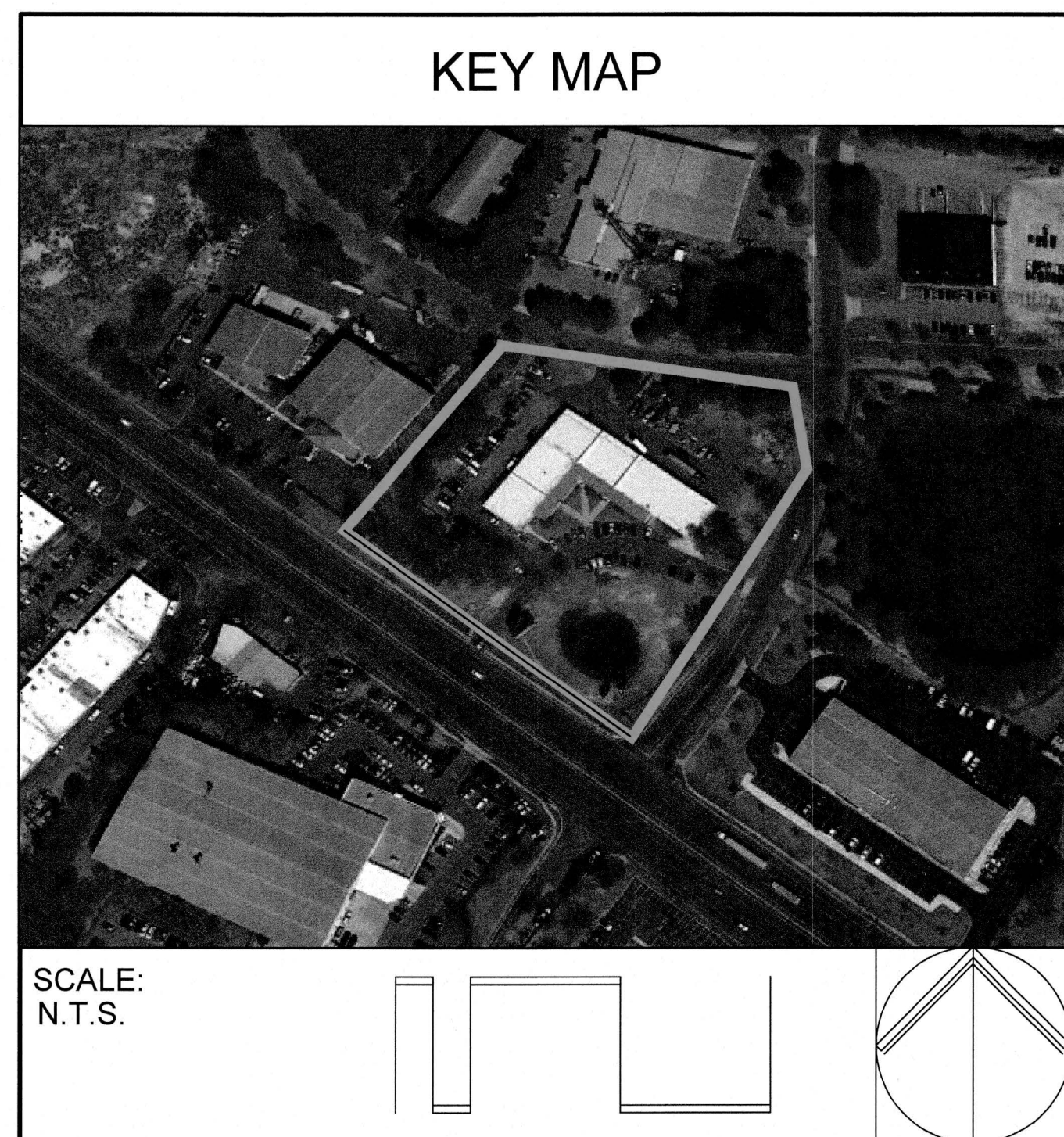
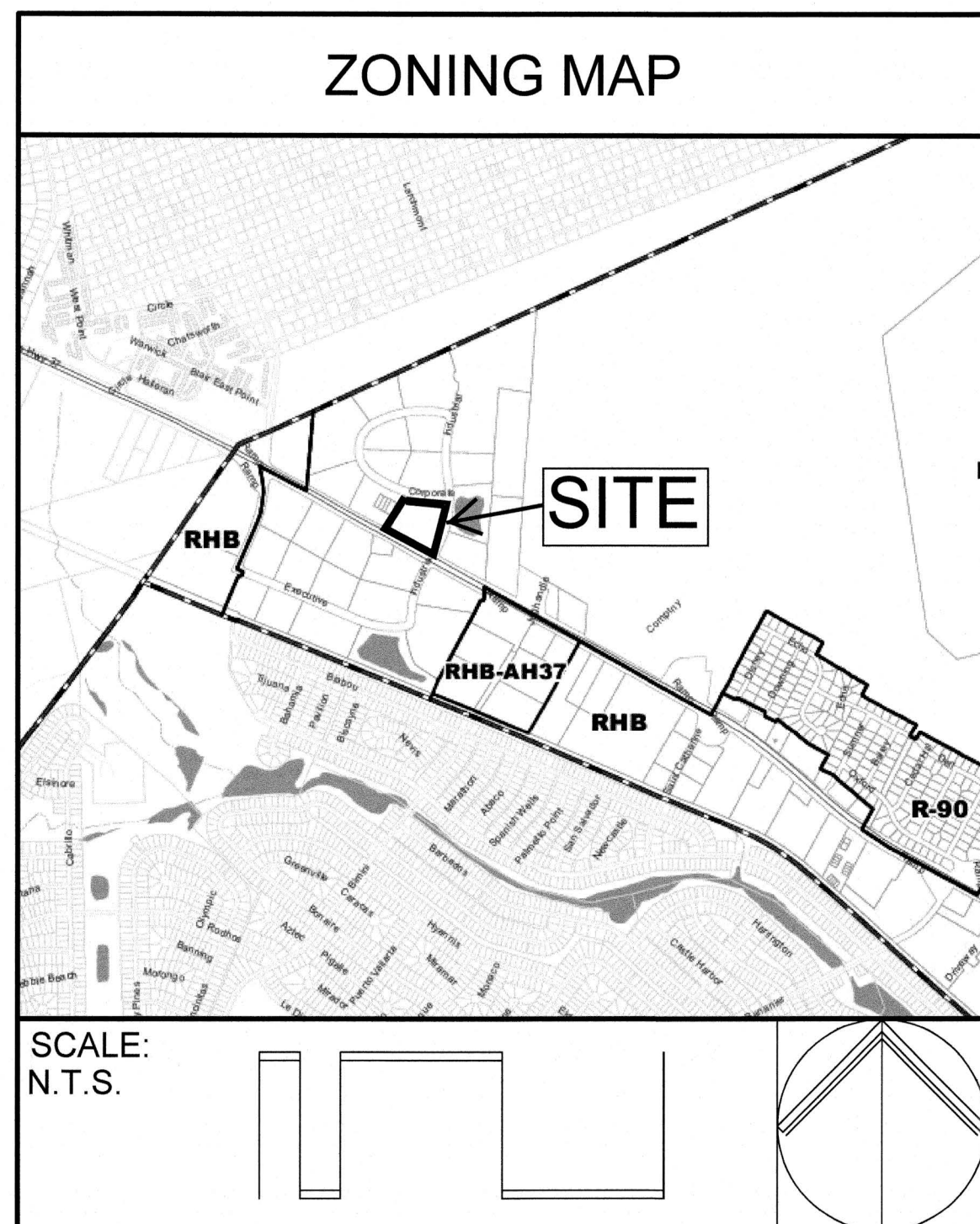
ATTEST:

SECRETARY

DATE

PLANNING BOARD ENGINEER

DATE



09/15/23	REV PER TRMUA EMAIL 9/14/23	CSM	JS	
08/25/23	REV PER ARCH. REVISIONS & ADDITIONAL SANITARY AND WATER REQUEST	SA	JS	
06/06/23	REV PER OCSCD LTR 05/04/23	MSM	JS	
04/07/23	REV PER TRPB RESOLUTION OF COMPLIANCE	SA	JS	
03/13/23	REV PER NJDEP CAFRA REVIEW 02/21/23, TRMUA REVIEW 3/07/23, OCPB CONDITIONS OF APPROVAL, CME LETTER 2/27/23, OLA LETTER 2/24/23, TR PLANNER LETTER 1/28/23, OCSCD LETTER 1/18/23, TRPB LETTER 1/13/23	CSM	JS	

DATE	REVISION	DRAWN	CHECKED	RELEASED
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**TITLE SHEET**

**PRELIMINARY AND FINAL MAJOR SITE PLAN**  
**1520 ROUTE 37 WEST**  
**LOT 13 ~ BLOCK 472**  
**TAX MAP NO. 54**  
**SITUATED IN**  
**TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.**

**FWH ASSOCIATES, P.A.**  
CIVIL ENGINEERS  
LAND SURVEYORS  
PLANNERS  
LANDSCAPE ARCHITECTS  
RESERVE SPECIALISTS  
ARCHITECTS  
**FWHASSOCIATES.COM**  
1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223

**Brian P. Murphy**  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 42000

DRAWN BY	MSM	DATE	11/11/22
DESIGNED BY	JS	SCALE	N.T.S.
CHECKED BY	JS	DRAWN NO.	PC-893
RELEASED BY	BPM	PROJECT NO.	3599.0003
SHEET NO.	1	OF	13



November 10, 2022 Client #3599.0003  
List of acjoiners within 200 feet  
Block 472 Lot 13 Owner(s)

Block 472 Lot 1 Fried Group LLP  
PO Box 4686  
Toms River, NJ 08754

Block 472 Lot 2 Township of Toms River Ind Comm  
PO Box 728  
Toms River, NJ 087540728

Block 472 Lot 3 Stamoutas Enterprises LLC  
553 Northlake Shore Drive  
Brick, NJ 087235079

Block 472 Lot 12 Pine Baron Properties LLC  
1765 Lakewood Road  
Toms River, NJ 08755

Block 472 Lot 12 Bacchus Enterprises LLC  
1540 Rte 37 W #4 Bldg B  
Toms River, NJ 08755

Block 472 Lot 12 Chrichillo Investments LLC  
1540 Rte 37 W #5 Bldg B  
Toms River, NJ 08755

Block 472 Lot 12 Taft Beer Management LLC  
6 Commerce Road  
Fairfield, NJ 07004

Block 472 Lot 12 Bacchus Condo Assoc  
1540 Route 37 West  
Toms River, NJ 08753

Block 472 Lot 13 Maple Ash LLC  
PO Box 4686  
Toms River, NJ 08754

Block 472 Lot 13 Maple Ash LLC  
PO Box 4686  
Toms River, NJ 08754

Block 473 Lot 3 Petty, Arlene K  
400 Corporate Circle  
Toms River, NJ 08753

Block 473 Lot 4 T01 TBK Properties LLC  
25 Route 37 East  
Toms River, NJ 087535308

Block 473 Lot 4 TBK Properties LLC  
25 Route 37 East  
Toms River, NJ 087535308

Block 504 Lot 3 Route 37 Assoc. LLC @ Denholtz  
116 Chestnut St Ste 102  
Red Bank, NJ 07701

Block 504 Lot 4 Debiassi, Vittorio & Rosa  
579 East Earl Court  
Toms River, NJ 087536836

Block 504 Lot 5 BRK LLC  
PO Box 908  
Toms River, NJ 08754

Block 505 Lot 1 LTD Realty Investment IV LP  
PO Box 547  
Manahawkin, NJ 080050547

NJ Department of Transportation  
1035 Parkway Ave  
Trenton, NJ 08625

NJ Natural Gas Co.  
Attn: ROW Representative  
PO Box 1378  
Wall, NJ 07719

NJ American Water Co., Inc.  
Attn: NJAW GIS Supervisor  
1 Water Street  
Camden, NJ 08102

Veolia  
Attn: General Manager  
1451 Route 37 West  
Toms River, NJ 08753

Comcast Cable Communications  
Attn: Construction Sup.  
830 Route 37 West  
Toms River, NJ 08755

Verizon NJ  
999 West Main Street  
Freehold, NJ 07728

Toms River Municipal Utilities Authority  
340 West Water St  
Toms River, NJ 08753

JCP&L, A First Energy Company  
101 Crawfords Corner Road, Bldg 1, Ste 1-511  
Holmdel, NJ 07733

Grading and Drainage Notes:

1. THE CONTRACTOR SHALL PROTECT VEGETATION IN AREAS THAT ARE TO BE LEFT IN THEIR NATURAL STATE.
2. ALL STRUCTURES TO BE SET ON A COMPACTED BASE, MIN. 6" THICK OF CLEAN CRUSHED STONE CONFORMING TO NJDOT #57 COARSE AGGREGATE.
3. ALL STORM STRUCTURES TO BE PRECAST REINFORCED CONCRETE UNLESS OTHERWISE APPROVED BY THE ENGINEER.
4. ALL STORM SEWER TO BE CLASS III, WALL 8, REINFORCED CONCRETE PIPE AS PER ASTM C-76 WITH RUBBER "O" RING JOINTS CONFORMING TO ASTM C-443, UNLESS OTHERWISE SPECIFIED.
5. ALL PRECAST DRAINAGE STRUCTURES SHALL CONTAIN REINFORCING STEEL AND BE DESIGNED FOR HS-20 LOADING.
6. ANY DRAINAGE STRUCTURE THAT IS TO BE LEFT UNCOVERED FOR MORE THAN 8 HOURS SHALL BE PROTECTED WITH BARRICADES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR OSHA STANDARDS.
7. HDPE STORM PIPE SHALL COMPLY WITH THE CURRENT AASHTO DESIGNATION M294, TYPE 5 OR SP, AND SHALL CONFORM TO ASTM D3350 WITH SMOOTH INTERIOR WALLS.
8. ALL JOINTS SHALL BE MORTARED WITH 2:1 SAND MORTAR UNLESS OTHERWISE NOTED ON THE PLANS.
9. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
10. ANY WASTE, DEBRIS OR ANY OTHER SIMILAR MATERIAL FOUND ON SITE OR GENERATED BY OPERATIONS DURING CONSTRUCTION SHALL BE PROPERLY REMOVED AND DISPOSED OF BY THE DEVELOPER IN ACCORDANCE WITH ALL APPLICABLE LAWS & REGULATIONS.
11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA LAW AND STATE GOVERNING SAFETY CODES.
12. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF ALL PROPOSED INFILTRATION BMPs. THE LOCATION OF THE PROPOSED INFILTRATION BMPs MUST BE CORRODED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES.
13. EXCAVATION AND CONSTRUCTION OF AN INFILTRATION BMP MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BMP. HEAVY MACHINERY, RUBBER-TIRED VEHICLES OR OTHER VEHICLES EXERTING A GROUND PRESSURE IN EXCESS OF EIGHT POUNDS PER SQUARE INCH SHALL NOT BE PERMITTED TO PASS OVER THE INFILTRATION BMP AREA.
14. THE USE OF A PROPOSED INFILTRATION BMP AS A SEDIMENT BASIN DURING CONSTRUCTION IS DISCOURAGED; HOWEVER, UNAVOIDABLE EXCAVATION OF THE PROPOSED INFILTRATION BMP MUST BE AT LEAST TWO FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BOTTOM, UNLESS THE LOCAL SOIL EROSION AND SEDIMENT CONTROL DISTRICT, TOWNSHIP ENGINEER AND/OR DESIGN ENGINEER APPROVE AN ALTERNATE CONDITION, (I.E., THE EXCAVATION OF THE INFILTRATION BMP TO THE ELEVATION OF THE TOP OF THE 6" SAND LAYER WITH FILTER FABRIC PROVIDED ACROSS THE BOTTOM AREA).
15. EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE INFILTRATION BMP BOTTOM MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF THE INFILTRATION BMP CANNOT BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BMP DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BMP. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED, AND THE AREA IS STABILIZED.
16. REMOVAL OF ANY ACCUMULATED SEDIMENT AND FILTER FABRIC FROM ANY INFILTRATION BMP SHALL TAKE PLACE ONLY AFTER ALL CONTRIBUTING DRAINAGE AREA TO THE BMP HAS BEEN FULLY STABILIZED. SOIL TESTING SHALL BE CONDUCTED WITHIN THE BMP BOTTOM AREA PRIOR TO THE PLACEMENT OF THE K5 SAND

ADA Accessibility Notes

1. CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAPPED ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS LOCATED ON PUBLIC ROADWAYS AND WHERE OTHERWISE DIRECTED BY A REGULATORY AGENCY HAVING JURISDICTION.
2. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE)
3. AN ACCESSIBLE ROUTE FROM THE PARKING AREA TO THE BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNWAYS OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
4. ACCESSIBLE ROUTE SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRATOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES AND SIDEWALKS / CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
6. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.

Water Distribution Notes:

1. THE AUTHORITY SHALL BE NOTIFIED AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION IS TO COMMENCE ON THE WATER SYSTEMS.
2. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
4. ALL WATER SERVICES ARE TO BE 1" TYPE K COPPER, UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT. SERVICES SHALL BE INSTALLED WITH A MINIMUM DEPTH OF 5 FEET.
5. 3" WIDE DETECTION TAPE WITH ALUMINUM CORE IS REQUIRED TO BE INSTALLED ABOVE ALL PROPOSED WATERMANS.
6. WATER SERVICES WILL BE OWNED, OPERATED AND MAINTAINED BY THE PROPERTY OWNERS.

Infiltration Basin and Bioretention Garden Notes:

1. ALL EXCAVATION OF THE BASIN AND GARDEN AREAS MUST BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT POSSIBLE. ALL EQUIPMENT SHOULD BE PLACED OUTSIDE OF THE BOTTOM AREAS. CONSTRUCTION MUST NOT COMPACT SOILS BELOW BASIN AND GARDEN BOTTOMS.
2. BASINS / GARDENS TO BE FULLY CONSTRUCTED WITH PERMANENT STABILIZATION OF THE BASIN EMBANKMENTS INCLUDING THE TOP OF BANK. EXCAVATION OF THE BASINS AND GARDENS TO THE TOP OF THE SAND ELEVATION OR PLANTING BED ELEVATION WITH FILTER FABRIC PROVIDED DURING THIS INTERIM CONDITION.
3. FINAL BASIN AND GARDEN CONSTRUCTION SHOULD BE DELAYED UNTIL ALL OTHER CONSTRUCTION WITHIN THE DEVELOPMENT HAS TAKEN PLACE TO A POINT WHERE THE UP-GRADIENT SOILS ARE PROPERLY STABILIZED.
4. UPON FULL STABILIZATION OF ALL AREAS DRAINING TO THE BASINS AND GARDENS, REMOVE THE ACCUMULATED SEDIMENT AND FILTER FABRIC FROM THE BASINS AND GARDENS AND EXCAVATE BASINS AND GARDENS TO THE FINAL BOTTOM ELEVATION. THE BOTTOM AREAS MUST BE AS LEVEL AS POSSIBLE TO UNIFORMLY DISTRIBUTE RUNOFF.
5. POST CONSTRUCTION SOIL TESTING MUST BE PERFORMED FOR EACH OF THE BASINS AND GARDENS BY THE DESIGN ENGINEER. IF TESTING REVEALS ADDITIONAL SILT AND SEDIMENT AMONG THE BASIN AND GARDEN SURFACE AREAS IT SHALL BE REMOVED AS INSTRUCTED BY THE DESIGN ENGINEER AND THE AREAS RETESTED PRIOR TO PLACEMENT OF THE K5 SAND LAYER OR PLANTING BED MATERIAL.
6. THE BASIN BOTTOM 6" SAND LAYER MUST CONSIST OF K5 SAND WITH A MAXIMUM OF 15% FINES AND A MINIMUM PERMEABILITY RATE OF 20 INCHES PER HOUR. PRIOR TO INSTALLATION THE MATERIAL MUST BE CERTIFIED AND THE TICKET PROVIDED TO THE DESIGN ENGINEER.
7. THE BIORETENTION GARDEN 2" PLANTING BED MATERIAL MUST MEET THE SPECIFICATIONS IDENTIFIED IN THE CONSTRUCTION DETAIL. PRIOR TO INSTALLATION THE MATERIAL MUST BE CERTIFIED AND THE TICKET PROVIDED TO THE DESIGN ENGINEER.
8. AS-BUILT DRAWINGS PREPARED BY A NJ LICENSED LAND SURVEYOR FOR THE DRAINAGE SYSTEM, STORMWATER BASINS AND BIORETENTION GARDEN FACILITIES SHALL BE COMPLETED.
9. THE FINAL BASINS AND BIORETENTION GARDENS SHALL BE CERTIFIED BY THE DESIGN ENGINEER INDICATING THE STORMWATER FACILITY HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND APPROPRIATE DETENTION SIZE AND VOLUME OF STORAGE IS PROVIDED.

Sanitary Sewer Notes:

1. THE AUTHORITY SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF SEWER INSTALLATION. NO SEWERS SHALL BE INSTALLED WITHOUT INSPECTION BY THE AUTHORITY'S ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
4. SIZE OF THE SEWER LATERAL LINES ARE TO BE 4", UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT.
5. ALL SANITARY LATERALS ARE TO BE SCHEDULE 40 PVC.
6. 3" WIDE DETECTION TAPE WITH ALUMINUM CORE IS REQUIRED TO BE INSTALLED ABOVE ALL PROPOSED SANITARY SEWER IMPROVEMENTS.

Schedule of Bulk Requirements  
Zone: I (INDUSTRIAL)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT WIDTH	200 FT	502.9 FT	502.9 FT
MINIMUM LOT DEPTH	200 FT	420.7 FT	420.7 FT
MINIMUM LOT FRONTAGE	150 FT	483.6 FT	483.6 FT
MINIMUM LOT AREA	2 ACRE	4,316 ACRES	4,316 ACRES
FRONT YARD SETBACK - BUILDING (ROUTE 37)	100 FT	151.5 FT	100.03 FT
FRONT YARD SETBACK - BUILDING (LOCAL)	60 FT	60.7 FT	60.7 FT
FRONT YARD SETBACK - PARKING / AISLES	35 FT	45.8 FT	40 FT
REAR YARD SETBACK	50 FT	NA	NA
SIDE YARD SETBACK	35 FT	120.3 FT	35.33 FT
MAXIMUM BUILDING HEIGHT	50 FT	< 50 FT	< 50 FT
MAXIMUM BUILDING COVERAGE	50%	12.74%	19.46%
MINIMUM UNOCCUPIED OPEN SPACE	20%	58.29%	45.78%

Parking

WAREHOUSE	1 SPACE PER 1500 SF
OFFICE	1 SPACE PER 250 SF
MANUFACTURING	1 SPACE PER 500 SF
AUTO REPAIR	1 SPACE PER 400 SF

TENANT	OFFICE	MANUFACTURING	WAREHOUSE	AUTO REPAIR
DPI CREATIVE (Design and Printing of Custom Graphics)	1,381.46 SF	2,420.95 SF		
CRAIG AND LISA (Auto Repairs)	457.78 SF			3,450.30 SF
JM SYNTHETIC (Online of Synthetic Gross / Storage)	676.94 SF			
PREMIER ENTERPRISES (Roofing)	1,350.30 SF	710.00 SF		
PENALTY BOX (Online Sales of Fitness Items / Storage)	214.90 SF			
WIRELESS ELECTRONICS (Online Sales of Two Way Radios / Storage)	605.66 SF	677.01 SF	2,064.69 SF	
New Tenant (office / warehouse)	4,292.32 SF		7,154.83 SF	
<b>TOTAL SQUARE FOOTAGE</b>	<b>8,979.36</b>	<b>3,807.96</b>	<b>18,622.26</b>	<b>3,450.30</b>
<b>PARKING REQUIRED</b>	<b>35.9</b>	<b>7.6</b>	<b>12.4</b>	<b>8.6</b>

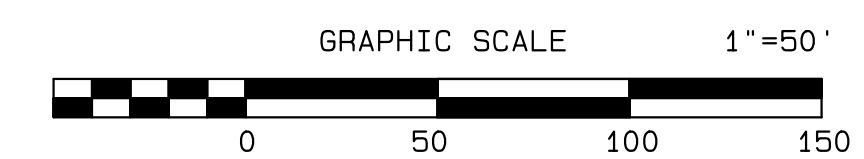
	REQUIRED	EXISTING	PROPOSED
TOTAL PARKING	65 SPACES	59 SPACES	
ADA SPACES	3 SPACES		
EV SPACES	2 SPACES		


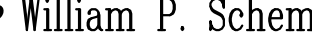
General Notes:

1. THE SUBJECT PROPERTY IS KNOWN AS LOT 13 IN BLOCK 472 AS SHOWN ON SHEET 54 OF THE OFFICIAL TAX MAP OF THE MUNICIPALITY OF TOMS RIVER, OCEAN COUNTY, NJ DATED OCTOBER 2003
2. THE PROPERTY IS LOCATED IN THE INDUSTRIAL ZONE DISTRICT (ZONE I) AND CONTAINS A TOTAL TRACT AREA OF 188,011.4 SF, 4.316 ACRES.
3. EXISTING USE: OFFICE, AUTO REPAIR, WAREHOUSE AND MANUFACTURING
4. PROPOSED USE: OFFICE, AUTO REPAIR, WAREHOUSE AND MANUFACTURING
5. OWNER / APPLICANT: MAPLE ASH LLC  
PO BOX 4686  
TOMS RIVER, NJ  
OWNER PHONE
6. OUTBOUND INFORMATION AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY, TAX LOT 13, BLOCK 472, 1520 ROUTE 37 WEST, TOWNSHIP OF TOMS RIVER, OCEAN COUNTY, NEW JERSEY", PREPARED BY LAKELAND SURVEYING, DATED 07/14/2022
7. VERTICAL DATUM: NAVD 88
8. BENCHMARK: SW PARKING STALL LOT 1 BLOCK 472, NAIL IN PAVEMENT ELEVATION 54.28
9. NO FRESHWATER WETLANDS ARE KNOWN ON THE SITE
10. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP FOR THE MUNICIPALITY OF TOMS RIVER, OCEAN COUNTY.
11. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
  - A. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
  - B. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
  - C. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
12. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
13. THE SIZE AND LOCATION OF STRUCTURES WITHIN 200' ARE APPROXIMATE.
14. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
15. THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER
16. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE NEW JERSEY ONE CALL SYSTEM FOR UTILITY MARKOUTS AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

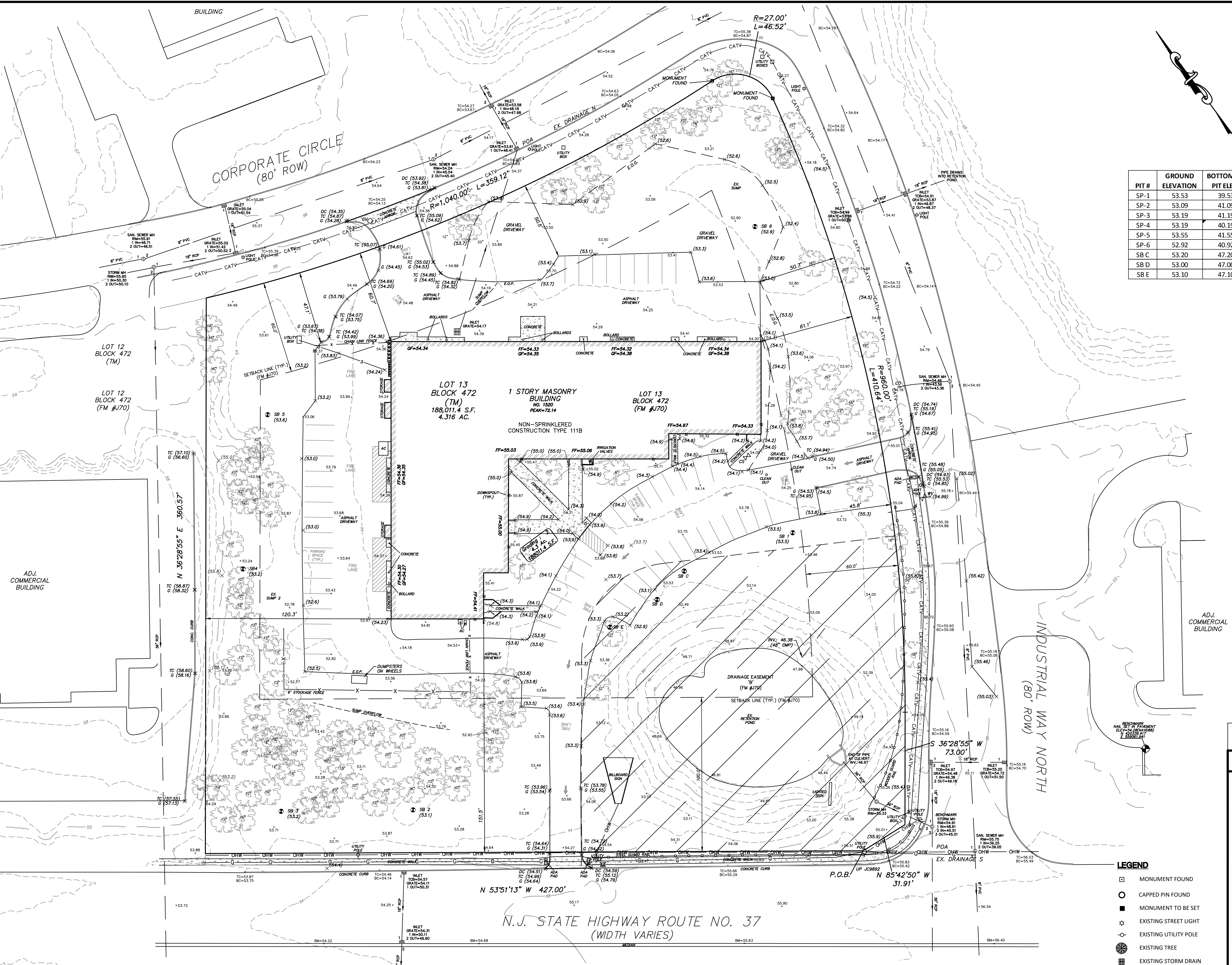
03/13/23	REV PER NJDEP CAPRA REVIEW 02/21/23, TRMUA REVIEW 3/07/23, OCPB CONDITIONS OF APPROVAL, ONE LETTER 2/27/23, OLA LETTER 2/24/23, TR PLANNER LETTER 1/26/23, OCSCD LETTER 1/16/23, TRFP LETTER 1/13/23	CSM	JS	
DATE	REVISION	DRAWN	CHECKED	RELEASED
PROJECT NOTES				
PRELIMINARY AND FINAL MAJOR SITE PLAN 1520 ROUTE 37 WEST LOT 13 - BLOCK 472 TAX MAP SHEET NO. 54 SITUATED IN TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.				
CIVIL ENGINEERS LAND SURVEYORS PLANNERS ARCHITECTS RESERVE SPECIALISTS ARCHITECTS FWH ASSOCIATES, P.A. FWHASSOCIATES.COM 1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223				
Brian P. Murphy PROFESSIONAL ENGINEER N.J. LIC. NO. 42000				
DRAWN BY MSM	DATE 11/11/22	DESIGNED BY JS	SCALE N.T.S.	
CHECKED BY JS	DRAWER NO. PC-893	RELEASED BY BPM	PROJECT NO. 3599.0003	
SHEET NO. 2 OF 13				





Brian P. Murphy  PROFESSIONAL ENGINEER N.J. LIC. NO. 42900	William P. Schemel  PROFESSIONAL LAND SURVEYOR N.J. LIC. NO. 36275	DRAWN BY	CSM	DATE	11/11/22
		DESIGNED BY	JS	SCALE	1" = 50'
		CHECKED BY	JS	DRAWER NO.	PC-893
		RELEASED BY	BPM	PROJECT NO.	3599.0003
		SHEET NO.		OF	
		3		13	

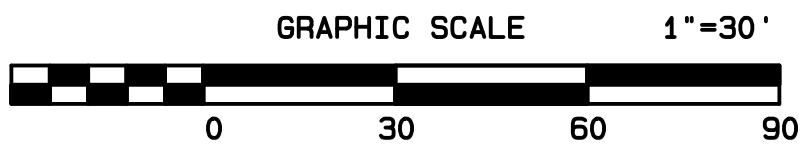




PIT #	GROUND ELEVATION	BOTTOM OF PIT ELEV.	ESHW ELEVATION	GWE ELEVATION	PERM SAMPLE ELEV.	PERM RATE (IN/HR)
SP-1	53.53	39.53	>39.53	N.W.E.	49.53	K-4, 15.00 in/hr - Elev. 53.23 - 39.53
SP-2	53.09	41.09	>41.09	N.W.E.	49.09	K-4, 15.00 in/hr - Elev. 52.09 - 41.09
SP-3	53.19	41.19	>41.19	N.W.E.	47.19	K-5, 20.00 in/hr - Elev. 52.19 - 41.19
SP-4	53.19	40.19	>40.19	N.W.E.	49.19	K-5, 20.00 in/hr - Elev. 51.19 - 40.19
SP-5	53.55	41.55	>41.55	N.W.E.	49.55	K-4, 8.50 in/hr - Elev. 51.55 - 41.55
SP-6	52.92	40.92	>40.92	N.W.E.	47.92	K-4, 15.00 in/hr - Elev. 52.62 - 40.92
SB C	53.20	47.20	>47.20	N.W.E.	50.03	K-5, 78.54 in/hr - Elev. 50.20 - 48.62
SB D	53.00	47.00	>47.00	N.W.E.	49.50	K5, 68.78 in/hr - Elev. 50.00 - 48.41
SB E	53.10	47.10	>47.10	N.W.E.	49.93	K5, 53.58 in/hr - Elev. 50.45 - 49.77

NOTE:  
TOPOGRAPHIC SURVEY OF PROPERTY PREPARED BY  
LAKELAND SURVEY DATED 7/14/22.

ADDITIONAL TOPOGRAPHIC INFORMATION PROVIDED BY  
FIELD MEASUREMENTS PERFORMED BY FWH ASSOCIATES  
11/2022.



03/13/23

REV PER NUDEP CAFRA REVIEW 02/21/23, TRMUA REVIEW 3/07/23, OCPB CONDITIONS OF APPROVAL, CME LETTER 2/27/23, OLA LETTER 2/24/23, TR PLANNER LETTER 1/28/23, OCSO LETTER 1/18/23, TRF LETTER 1/13/23

CSM

JS

DATE

REVISION

DRAWN

CHECKED

RELEASED

EXISTING CONDITIONS PLAN

PRELIMINARY AND FINAL MAJOR SITE PLAN  
1520 ROUTE 37 WEST  
LOT 13 - BLOCK 472  
TAX MAP SHEET NO. 54  
SITUATED IN  
TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

CIVIL ENGINEERS  
LAND SURVEYORS  
PLANNERS  
LANDSCAPE ARCHITECTS  
RESERVE SPECIALISTS  
ARCHITECTS

**FWH**  
ASSOCIATES, P.A.

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DRAWN BY  
DESIGNED BY  
CHECKED BY  
RELEASED BY  
SHEET NO.

CSM  
JS  
JS  
WPS  
OF

DATE  
SCALE  
DRAWER NO.  
PROJECT NO.  
11/11/22  
1"=30'  
PC-893  
3599.0003

William P. Schemel

PROFESSIONAL LAND SURVEYOR  
N.J. LIC. NO. 36275

LEGEND

MONUMENT FOUND

CAPPED PIN FOUND

MONUMENT TO BE SET

EXISTING STREET LIGHT

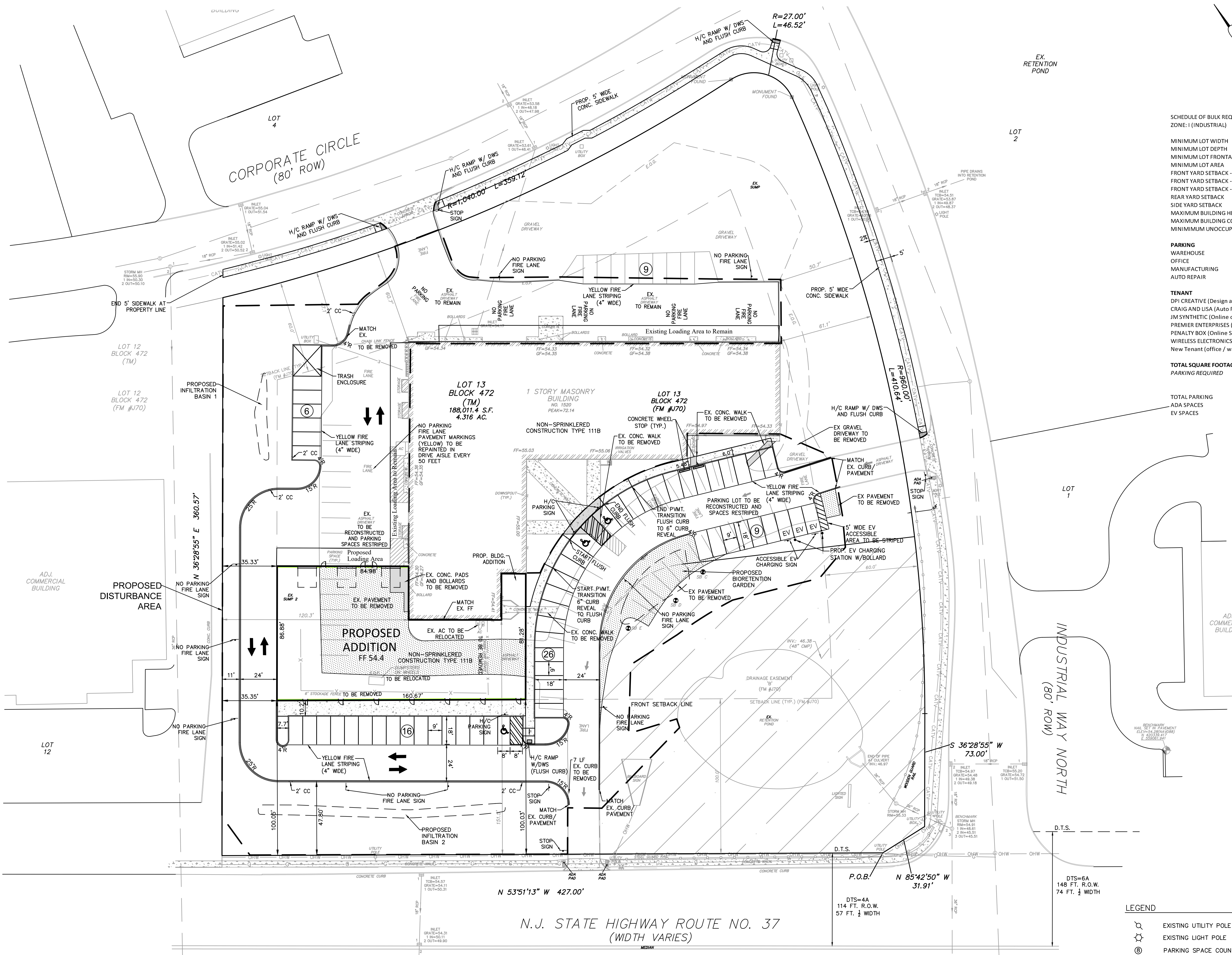
EXISTING UTILITY POLE

EXISTING TREE

EXISTING STORM DRAIN

EXISTING TREELINE





SCHEDULE OF BULK REQUIREMENTS ZONE: I (INDUSTRIAL)			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT WIDTH	200 FT	502.9 FT	502.9 FT
MINIMUM LOT DEPTH	200 FT	420.7 FT	420.7 FT
MINIMUM LOT FRONTAGE	150 FT	483.6 FT	483.6 FT
MINIMUM LOT AREA	2 ACRE	4.316 ACRES	4.316 ACRES
FRONT YARD SETBACK - BUILDING (ROUTE 37)	100 FT	151.5 FT	100.03 FT
FRONT YARD SETBACK - BUILDING (LOCAL)	60 FT	60.7 FT	60.7 FT
FRONT YARD SETBACK - PARKING / AISLES	35 FT	45.8 FT	40 FT
REAR YARD SETBACK	50 FT	NA	NA
SIDE YARD SETBACK	35 FT	120.3 FT	35.33 FT
MAXIMUM BUILDING HEIGHT	50 FT	< 50 FT	< 50 FT
MAXIMUM BUILDING COVERAGE	50%	12.74%	19.46%
MINIMUM UNOCCUPIED OPEN SPACE	20%	58.29%	45.78%

PARKING	
WAREHOUSE	1 SPACE PER 1500 SF
OFFICE	1 SPACE PER 250 SF
MANUFACTURING	1 SPACE PER 500 SF
AUTO REPAIR	1 SPACE PER 400 SF

TENANT	OFFICE	MANUFACTURING	WAREHOUSE	AUTO REPAIR
DPI CREATIVE (Design and Printing of Custom Graphics)	1,381.46 SF	2,420.95 SF		
CRAIG AND LISA (Auto Repairs)	457.78 SF			3,450.30 SF
JM SYNTHETIC (Online of Synthetic Gross / Storage)	676.94 SF		3391.71 SF	
PREMIER ENTERPRISES (Roofing)	1350.30 SF	710.00 SF	2729.79 SF	
PENALTY BOX (Online Sales of Fitness Items / Storage)	214.90 SF		3281.18 SF	
WIRELESS ELECTRONICS (Online Sales of Two Way Radios / Storage)	605.66 SF	677.01 SF	2,064.69 SF	
New Tenant (office / warehouse)	4,292.32 SF		7,154.83 SF	

TOTAL SQUARE FOOTAGE	8,979.36	3,807.96	18,622.26	3,450.30
PARKING REQUIRED	35.9	7.6	12.4	8.6

TOTAL PARKING	REQUIRED	EXISTING	PROPOSED
ADA SPACES	65 SPACES	59 SPACES	66 SPACES
EV SPACES	3 SPACES	3 SPACES	3 SPACES
	2 SPACES		2 SPACES

- FIRE LANE**
1. WIDTH OF ALL FIRE LANES SHALL BE A MINIMUM OF 20 FEET BUT NO MORE THAN 50 FEET.
  2. CURB STRIPE SHALL BE 4" WIDE.
  3. ALL MARKING SHALL BE YELLOW.
  4. CURB STRIPE SHALL BE 1 FOOT OFF CURB.
  5. FIRE LANE WORDING SHALL BE SPACED 50 FEET APART IN OPPOSITE TRAVEL DIRECTION.

- FIRE LANE SIGNAGE**
1. METAL SIGNS ARE TO BE RED LETTERS ON WHITE REFLECTIVE BACKGROUND.
  2. SIGNS SHALL BE STANDARD 18"x12" OR AT FIRE OFFICIALS' DISCRETION.
  3. SIGNS SHALL BE ON POSTS AT LEAST 6 FT. ABOVE GROUND.
  4. SIGNS SHALL BE SPACED NO MORE THAN 75 FEET APART.

LOCAL ORDINANCE 308-39 SHALL BE STATED ON SIGN.

04/07/23	REV PER TRPB RESOLUTION OF COMPLIANCE	SA	JS	
03/13/23	REV PER NJDEP CAPRA REVIEW 02/21/23, TRMUA REVIEW 3/07/23, OCPB CONDITIONS OF APPROVAL, ONE LETTER 2/27/23, OLA LETTER 2/24/23, TR PLANNER LETTER 1/26/23, OCSCD LETTER 1/16/23, TRFP LETTER 1/13/23	CSM	JS	
DATE	REVISION	DRAWN	CHECKED	RELEASED

## SITE PLAN

PRELIMINARY AND FINAL MAJOR SITE PLAN  
**1520 ROUTE 37 WEST**  
LOT 13 - BLOCK 472  
TAX MAP SHEET NO. 54  
SITUATED IN  
TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

**FWH ASSOCIATES, P.A.**

CIVIL ENGINEERS  
LAND SURVEYORS  
PLANNERS  
LANDSCAPE ARCHITECTS  
RESERVE SPECIALISTS  
ARCHITECTS

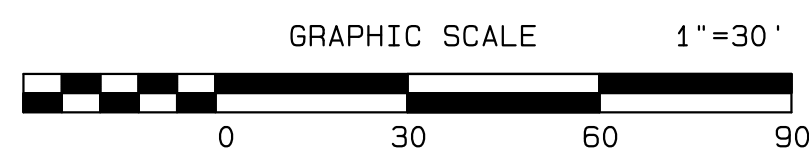
**FWHASSOCIATES.COM**

1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223

**Brian P. Murphy**  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 42000

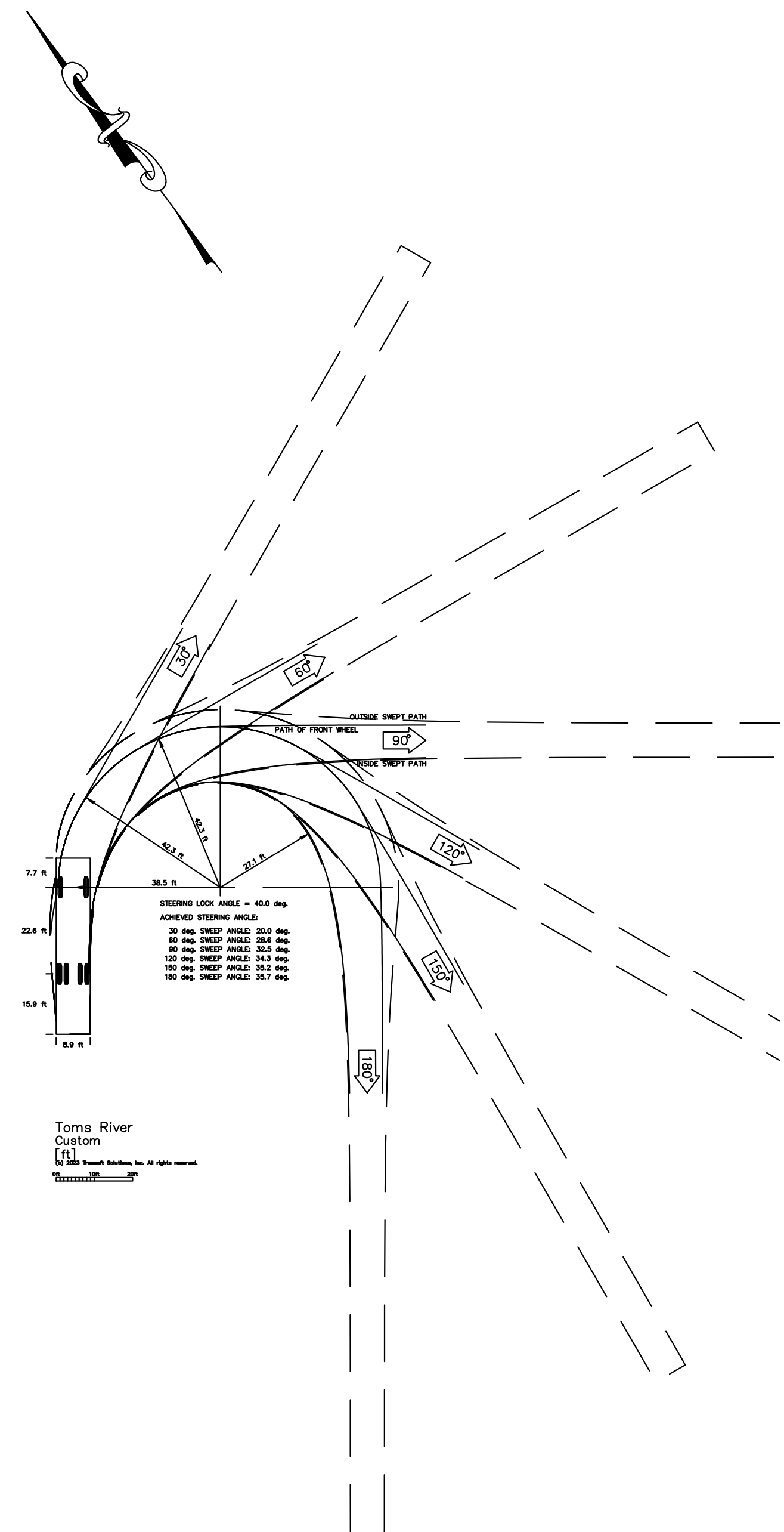
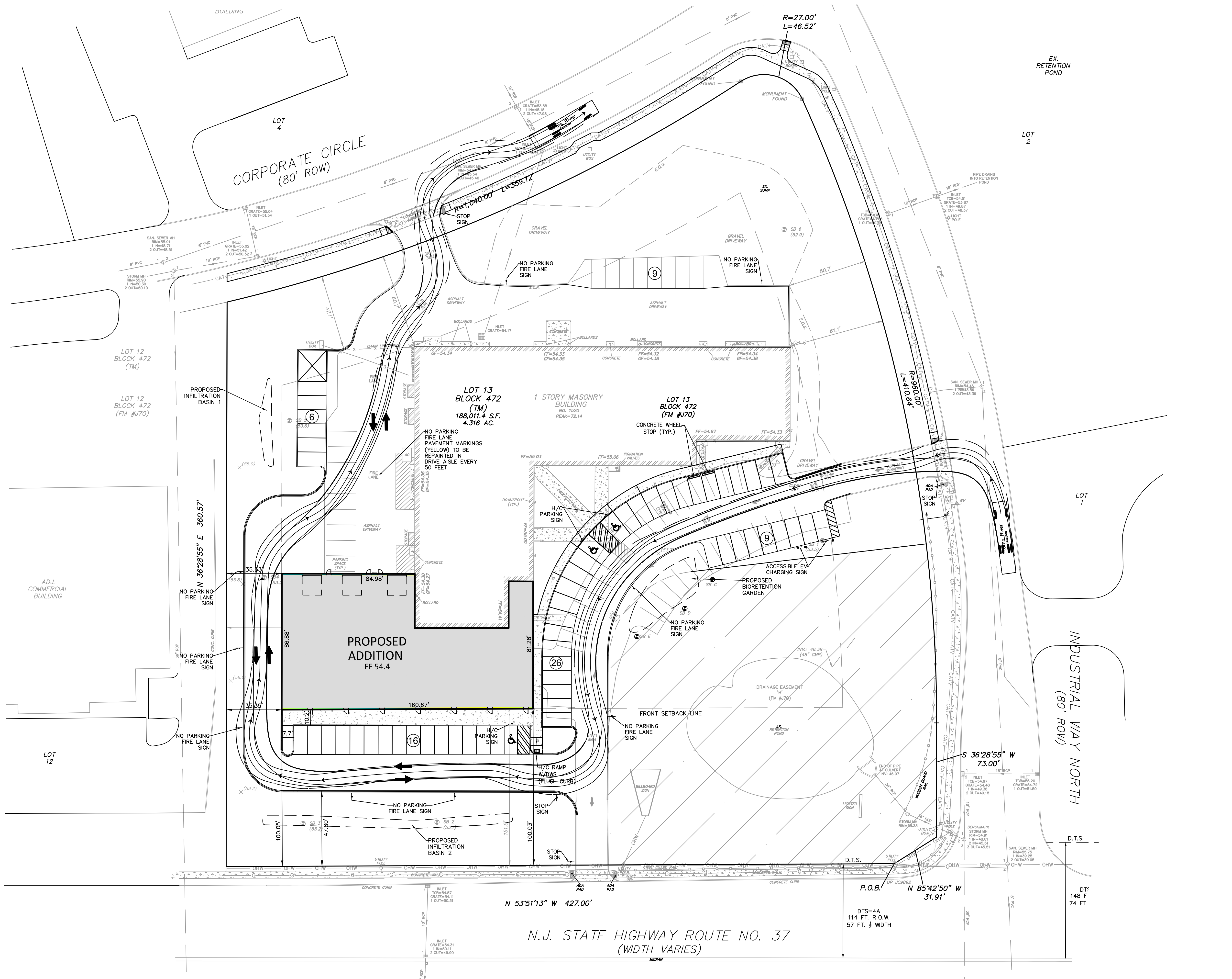
DRAWN BY	CSM	DATE	11/11/22
DESIGNED BY	JS	SCALE	1"=30'
CHECKED BY	JS	DRAWER NO.	PC-893
RELEASED BY	BPM	PROJECT NO.	3599.0003
SHEET NO.	5	OF	13

- LEGEND**
- EXISTING UTILITY POLE
  - EXISTING LIGHT POLE
  - PARKING SPACE COUNT
  - TRAFFIC SIGN



NOTE: SEE SHEET 2 FOR PROJECT NOTES





04/07/23	REV PER TRPB RESOLUTION OF COMPLIANCE	SA	JS
03/13/23	REV PER NJDEP CAPRA REVIEW 02/21/23, TRMUA REVIEW 5/07/23, OCPB CONDITIONS OF APPROVAL, CME LETTER 2/27/23, OLA LETTER 2/24/23, TR PLANNER LETTER 1/26/23, OCSCD LETTER 1/16/23, TRFP LETTER 1/13/23	CSM	JS

DATE	REVISION	DRAWN	CHECKED	RELEASED
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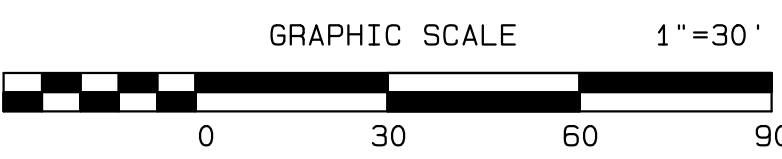
**CIRCULATION PLAN**

PRELIMINARY AND FINAL MAJOR SITE PLAN  
**1520 ROUTE 37 WEST**  
LOT 13 - BLOCK 472  
TAX MAP SHEET NO. 54  
SITUATED IN  
TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

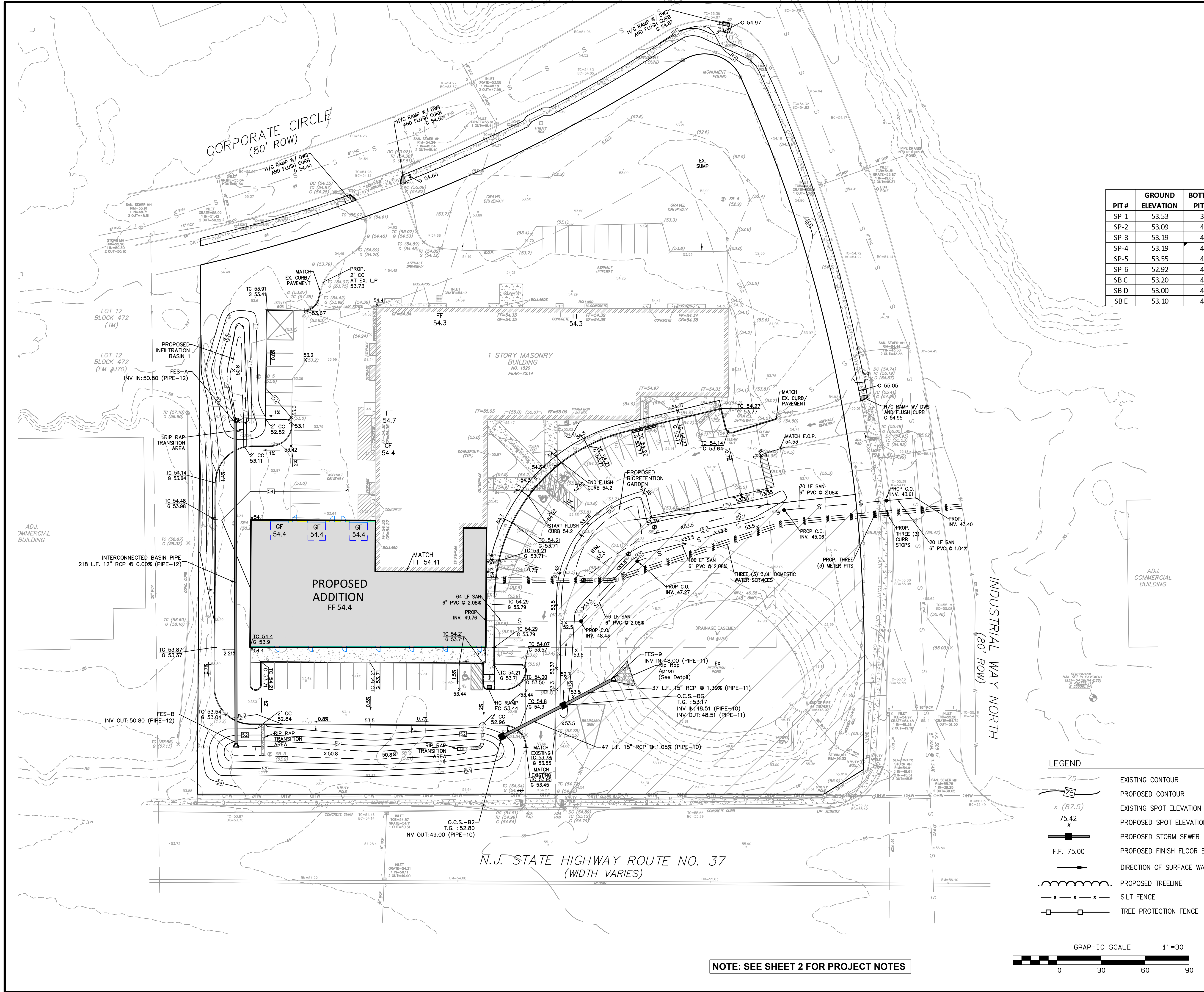
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**Brian P. Murphy**  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 42000

DRAWN BY	CSM	DATE	11/11/22
DESIGNED BY	JS	SCALE	1"=30'
CHECKED BY	JS	DRAWER NO.	PC-893
RELEASED BY	BPM	PROJECT NO.	3599.0003
SHEET NO.	6	OF	13







PIT #	GROUND ELEVATION	BOTTOM OF PIT ELEV.	ESHW ELEVATION	GWE ELEVATION	PERM SAMPLE ELEV.	PERM RATE (IN/HR)
SP-1	53.53	39.53	>39.53	N.W.E.	49.53	K-4, 15.00 in/hr - Elev. 53.23 - 39.53
SP-2	53.09	41.09	>41.09	N.W.E.	49.09	K-4, 15.00 in/hr - Elev. 52.09 - 41.09
SP-3	53.19	41.19	>41.19	N.W.E.	47.19	K-5, 20.00 in/hr - Elev. 52.19 - 41.19
SP-4	53.19	40.19	>40.19	N.W.E.	49.19	K-5, 20.00 in/hr - Elev. 51.19 - 40.19
SP-5	53.55	41.55	>41.55	N.W.E.	49.55	K-4, 8.50 in/hr - Elev. 51.55 - 41.55
SP-6	52.92	40.92	>40.92	N.W.E.	47.92	K-4, 15.00 in/hr - Elev. 52.62 - 40.92
SB C	53.20	47.20	>47.20	N.W.E.	50.03	K-5, 78.54 in/hr - Elev. 50.20-48.62
SB D	53.00	47.00	>47.00	N.W.E.	49.50	K5, 68.78 in/hr - Elev. 50.00-48.41
SB E	53.10	47.10	>47.10	N.W.E.	49.93	K5, 53.58 in/hr - Elev. 50.45-49.77

09/15/23	REV PER TRMUA EMAIL 9/14/23	CSM	JS
08/25/23	REV PER ARCH. REVISIONS & ADDITIONAL SANITARY AND WATER REQUEST	SA	JS
06/06/23	REV PER OCSD LTR 05/04/23	MSM	JS
04/07/23	REV PER TRPB RESOLUTION OF COMPLIANCE	SA	JS
03/13/23	REV PER NJDEP CAPRA REVIEW 02/21/23, TRMUA REVIEW 3/07/23, OCSD CONDITIONS OF APPROVAL, ONE LETTER 2/27/23, OLA LETTER 2/24/23, TR PLANNER LETTER 1/26/23, OCSD LETTER 1/16/23, TRFP LETTER 1/13/23	CSM	JS

DATE	REVISION	DRAWN	CHECKED	RELEASED
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GRADING, DRAINAGE AND UTILITY PLAN

PRELIMINARY AND FINAL MAJOR SITE PLAN  
1520 ROUTE 37 WEST  
LOT 13 - BLOCK 472  
TAX MAP SHEET NO. 54  
TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

CIVIL ENGINEERS  
LAND SURVEYORS  
PLANNERS  
LANDSCAPE ARCHITECTS  
RESERVE SPECIALISTS  
ARCHITECTS  
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BRIAN P. MURPHY  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 42000

DRAWN BY	CSM	DATE	11/11/22
DESIGNED BY	JS	SCALE	1"=30'
CHECKED BY	JS	DRAWER NO.	PC-893
RELEASED BY	BPM	PROJECT NO.	3599.0003
SHEET NO.	7	OF	13

NOTE: SEE SHEET 2 FOR PROJECT NOTES



A TREE REMOVAL PERMIT SHALL BE SECURED PRIOR TO ANY SITE DISTURBANCE

PROPOSED LANDSCAPING IN THIS AREA TO BE FIELD LOCATED TO AVOID EXISTING VEGETATION

9 IG  
3 PA  
9 MP  
3 CF

4 QB  
4 JV  
9 MP  
MULCH LIMIT  
5 PA

CORPORATE CIRCLE  
(80' ROW)

2 QB  
9 MP  
3 PA  
13 ZS  
1 CF  
9 IG  
3 JV  
MULCH LIMIT  
7 JVB  
15 IGD

LOT 12  
BLOCK 472  
(TM)

LOT 12  
BLOCK 472  
(FM #U70)

BASIN SIDE SLOPE  
SEED MIX LIMIT PER  
STANDARDS FOR  
SE&SC IN NEW JERSEY

ADJ.  
COMMERCIAL  
BUILDING

BASIN SIDE SLOPE  
SEED MIX LIMIT PER  
STANDARDS FOR  
SE&SC IN NEW JERSEY

48 IGD  
8 CA  
MULCH LIMIT  
MULCH LIMIT  
54 RH

MULCH LIMIT  
54 RH  
5 CC  
6 QB  
11 CA  
MULCH LIMIT

11 CA  
MULCH LIMIT

STATE HIGHWAY ROUTE NO. 37  
(WIDTH VARIES)

9 SJ  
54 RH  
MULCH LIMIT  
15 WF

23 JCP  
MULCH LIMIT  
3 AR  
8 CAC  
30 AT  
40 MD  
10 PFH  
9 IV  
20 BA  
70 SA  
10 AM

11 CA  
MULCH LIMIT  
11 PF  
9 SJ  
54 RH

INDUSTRIAL WAY NORTH  
(80' ROW)

#### GENERAL NOTES

- ALL DISTURBED AREAS (OPEN SPACE, LAWN AREAS AROUND BUILDINGS, ETC.) SHALL BE SEEDED OR SODDED. ANY AREA TO BE SEEDED SHALL FOLLOW SE&SC PLAN. STORM WATER MANAGEMENT BASINS TO FOLLOW STANDARDS FOR SE&SC IN NJ FOR APPROPRIATE SEED MIX PER SE&SC PLAN.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES (PROPOSED AND EXISTING) PRIOR TO INSTALLATION. IF DISCREPANCIES OCCUR, THE LANDSCAPE ARCHITECT'S OFFICE SHALL BE NOTIFIED IMMEDIATELY.
- SUBSTITUTION AND FINAL LOCATION OF ALL PLANT MATERIAL IS SUBJECT TO THE LANDSCAPE ARCHITECT AND TOWNSHIP'S APPROVAL.
- IF DISCREPANCIES OCCUR IN THE PLANT SCHEDULE QUANTITIES, THE PLAN SHALL SUPERSEDE.
- SEE SHEET NO. 10 OF 13 FOR PLANTING NOTES AND DETAILS.

#### PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	DESCRIPTION/COMMENTS
<strong>STREET TREES</strong>				
AR	3	Acer rubrum 'Red Sunset'	Red Sunset Maple	3 1/2" cal., 14'-16" ht., BB., remove branches to 7' ht.
QB	12	Quercus bicolor	Swamp White Oak	3 1/2" cal., 14'-16" ht., BB., remove branches to 7' ht.
ZS	13	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3 1/2" cal., 14'-16" ht., BB., remove branches to 7' ht.
<strong>EVERGREEN TREES</strong>				
JVB	7	Juniperus virginiana Brodie	Eastern Red Cedar	7'-8" ht., BB.
JV	7	Juniperus virginiana	Eastern Red Cedar	4'-6" ht., BB.
PA	11	Picea abies	Norway Spruce	6'-8" ht., BB.
<strong>ORNAMENTAL TREES</strong>				
CC	8	Cercis canadensis 'Merlot'	Merlot Eastern Redbud	6'-8" ht., BB.
CF	4	Cornus florida	Flowering Dogwood	6'-8" ht., BB.
<strong>SHRUBS / PERENNIALS</strong>				
CA	41	Clethra alnifolia	Summersweet	24"-30" ht., #5 cont.
IG	18	Ilex glabra	Inkberry Holly	24"-30" ht., #5 cont.
IGD	63	Ilex glabra 'Densa'	Inkberry Holly	24"-30" ht., #5 cont.
JCP	23	Juniperus chinensis 'Pfitzeriana'	Pfitzer Juniper	30"-36" spread, #5 cont.
MP	27	Myrica pensylvanica	Bayberry	24"-30" ht., #5 cont.
NF	72	Nepeta x faassoni 'Walker's Low'	Walker's Low Catmint	Plants, Sterile variety.
PF	22	Potentilla fruticosa 'Pink Beauty'	Pink Beauty Bush Cinquefoil	15" - 18" ht., #2 cont.
RH	216	Rudbeckia hirta	Black-eyed Susan	Plants
SJ	18	Spiraea japonica 'Little Princess'	Little Princess Spirea	15" - 18" ht., #2 cont.
VF	33	Weigela florida 'Spilled Wine'	Spilled Wine Weigela	15" - 18" ht., #2 cont.
<strong>RAINGARDEN</strong>				
AM	10	Aronia melanocarpa groundhug	Black Chokeberry	30" - 36" ht., #5 cont.
AT	30	Asclepias tuberosa	Butterfly Milkweed	Plants, 2' o.c.
BA	20	Baptisia australis	Blue Wild Indigo	Plants, 3' o.c.
CAC	8	Clethra alnifolia 'Compacta'	Compact Summersweet	24"-30" ht., #5 cont.
IV	9	Ilex virginica 'Little Henry'	Little Henry Sweetgale	15" - 18" ht., #2 cont.
MD	40	Monarda didyma 'Marshall's Delight'	Bee Balm	Plants, 2' o.c.
PFH	10	Potentilla fruticosa 'Happy Face Hearts'	Pink Bush Cinquefoil	15" - 18" ht., #2 cont.
SA	70	Senecio aureus	Golden ragwort	Plants, 1' o.c.

08/25/23	REV PER ARCH. REVISIONS & ADDITIONAL SANITARY AND WATER REQUEST	SA	JS	
04/07/23	REV PER TRPB RESOLUTION OF COMPLIANCE	SA	JS	
DATE	REVISION	DRAWN	CHECKED	RELEASED

#### LANDSCAPE PLAN

#### PRELIMINARY AND FINAL MAJOR SITE PLAN

1520 ROUTE 37 WEST

LOT 13 - BLOCK 472

TAX MAP SHEET NO. 54

SITUATED IN

TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

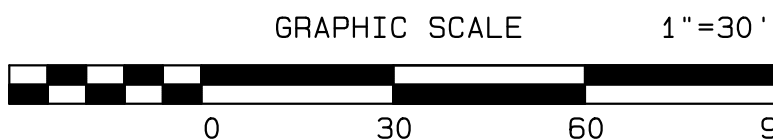
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ASSOCIATES, P.A.

CIVIL ENGINEERS  
LAND SURVEYORS  
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LANDSCAPE ARCHITECTS  
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ARCHITECTS  
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Michael V. Molas

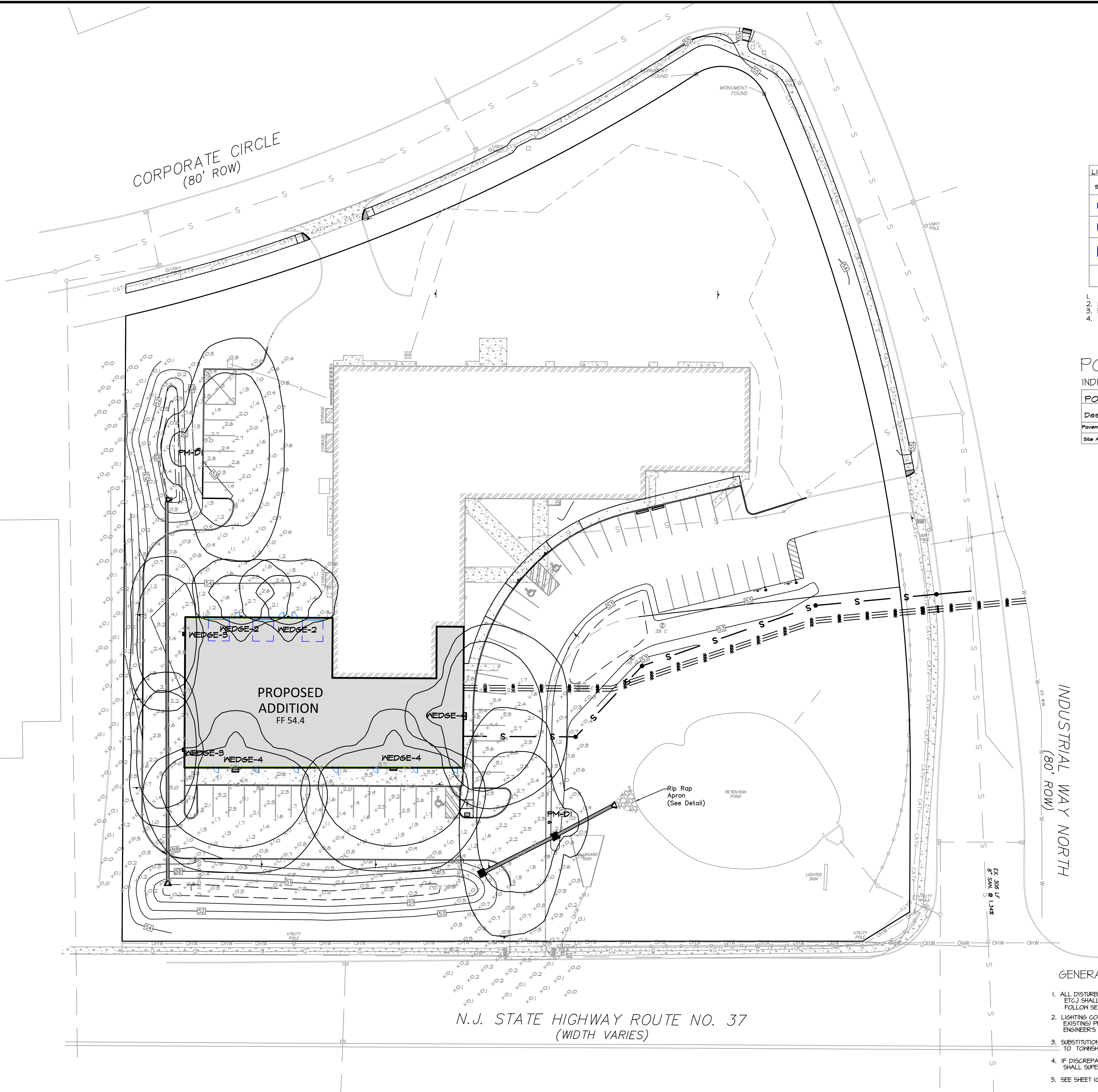
Licensed Landscape Architect  
N.J. Lic. No. 21AS00078000

DRAWN BY	MVM	DATE	11/11/22
DESIGNED BY	MVM	SCALE	1"=30'
CHECKED BY	MVM	DRAWN NO.	PC-893
RELEASED BY	LGW	PROJECT NO.	3599.0003
SHEET NO.	8	OF	13



THIS PLAN TO BE USED FOR LANDSCAPING PURPOSES ONLY.





LIGHTING SCHEDULE									
Symbol	Label	Quantity	Mounting Height	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
	WEDGE-4	3	24'	Lithonia Lighting	WDSE4 LED P2 TOCRI RFT BOK	WDSE4 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, TOCRI, FORWARD THROWN OPTIC	1	14860	0.9
	WEDGE-3	2	24'	Lithonia Lighting	WDSE3 LED P1 TOCRI R2 BOK	WDSE3 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, TOCRI, TYPE 2 OPTIC	1	1044	0.9
	WEDGE-2	2	14'	Lithonia Lighting	WDSE2 LED P3 BOK TOCRI TFTM	WDSE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, TOCRI, TYPE FORWARD THROWN MEDIUM OPTIC	1	8817	0.9
	PM-D1	2	22'	Lithonia Lighting	DSX1 LED P3 BOK TOCRI TSM	D-Series Size 1 Area Luminaire P3 Performance Package 3000K CCT TO CRI Type 3 Medium	1	13206	0.9

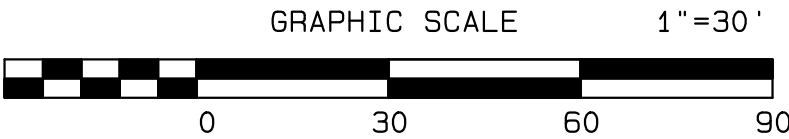
1. Installation of light fixtures shall be per manufacturer's recommendations.
2. Light poles shall be pedestal mounted, aluminum poles and installation shall be per manufacturer's recommendations.
3. Each fixture shall receive dusk to dawn photocells to control the daily operation of the outdoor lighting.
4. Individual light fixture contours = 1.0 fc, 0.5 fc

POINT TO POINT LIGHTING CALCULATION  
INDIVIDUAL LIGHT FIXTURE CONTOURS = 1.0 FC, 0.5 FC, 0.2 FC.

POINT TO POINT CALCULATION						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Pavement Addition	+	1.8 fc	5.4 fc	0.3 fc	18.0:1	6.0:1
Site Addition	+	0.7 fc	5.6 fc	0.0 fc	N/A	N/A

GENERAL NOTES

1. ALL DISTURBED AREAS (OPEN SPACE, LAWN AREAS AROUND BUILDINGS ETC.) SHALL BE SEEDED OR SODDED. ANY AREA TO BE SEEDED SHALL FOLLOW SE4SC PLAN.
2. LIGHTING CONTRACTOR SHALL VERIFY ALL UTILITIES (PROPOSED AND EXISTING) PRIOR TO INSTALLATION. IF DISCREPANCIES OCCUR, THE ENGINEER'S OFFICE SHALL BE NOTIFIED IMMEDIATELY.
3. SUBSTITUTION AND FINAL LOCATION OF ALL LIGHTING IS SUBJECT TO TOWNSHIP'S APPROVAL.
4. IF DISCREPANCIES OCCUR IN THE SCHEDULE QUANTITIES, THE PLAN SHALL SUPERSEDE.
5. SEE SHEET 10 OF 13 FOR LIGHTING DETAILS



THIS PLAN TO BE USED FOR LIGHTING PURPOSES ONLY.

08/25/23	REV PER ARCH. REVISIONS & ADDITIONAL SANITARY AND WATER REQUEST	SA	JS
04/07/23	REV PER TRPB RESOLUTION OF COMPLIANCE	SA	JS
DATE	REVISION	DRAWN	CHECKED
		RELEASED	

LIGHTING PLAN

PRELIMINARY AND FINAL MAJOR SITE PLAN  
1520 ROUTE 37 WEST  
LOT 13 - BLOCK 472  
TAX MAP SHEET NO. 54  
SITUATED IN  
TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

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**FWH**  
ASSOCIATES, P.A.

FWHASSOCIATES.COM  
1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223

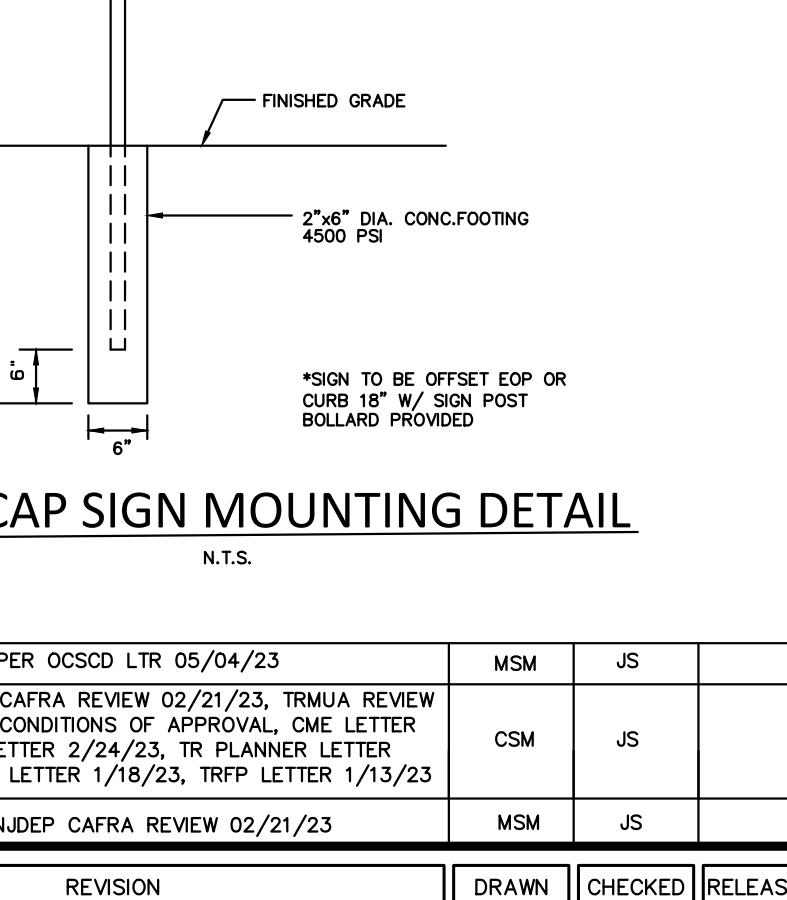
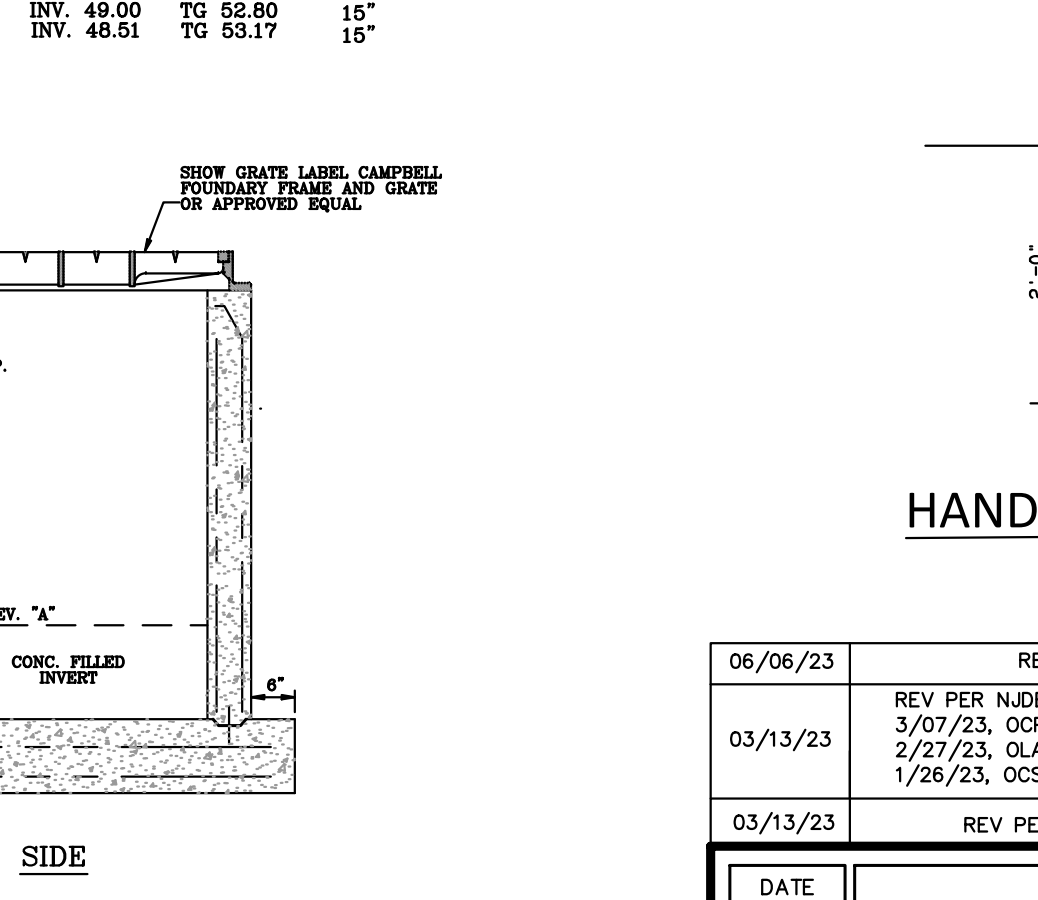
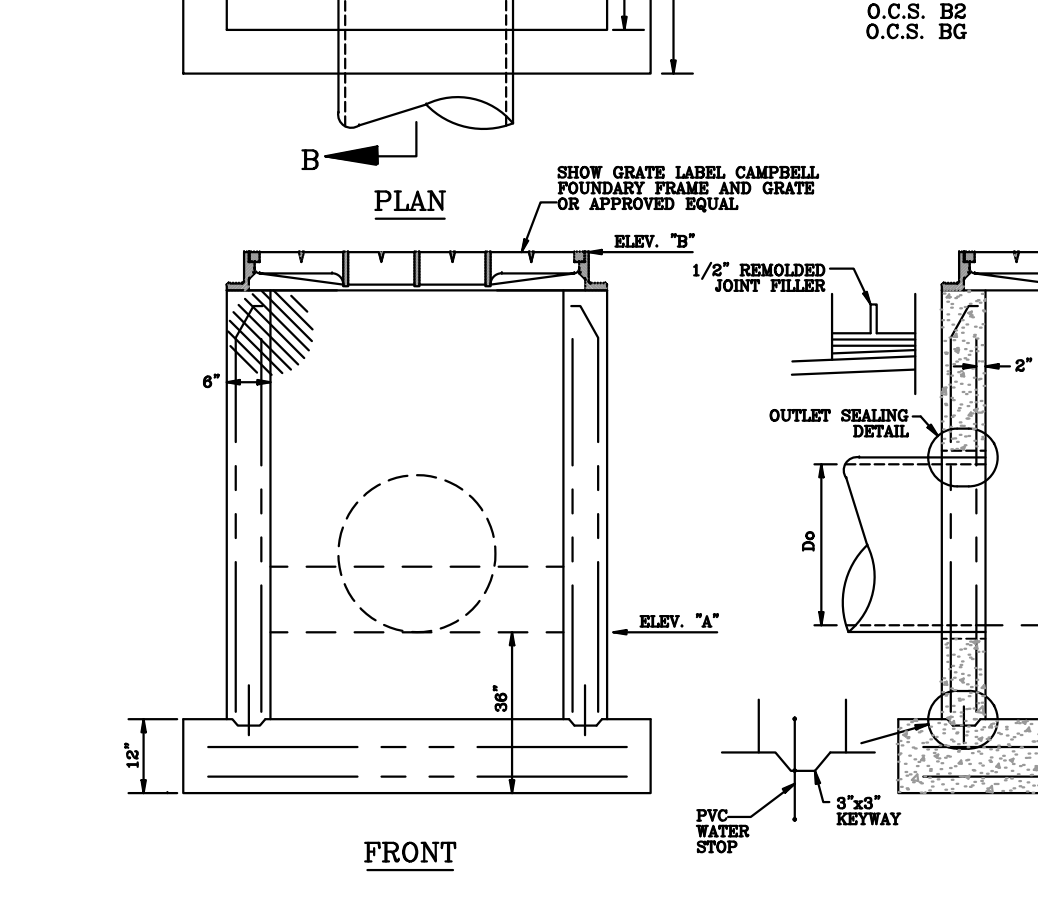
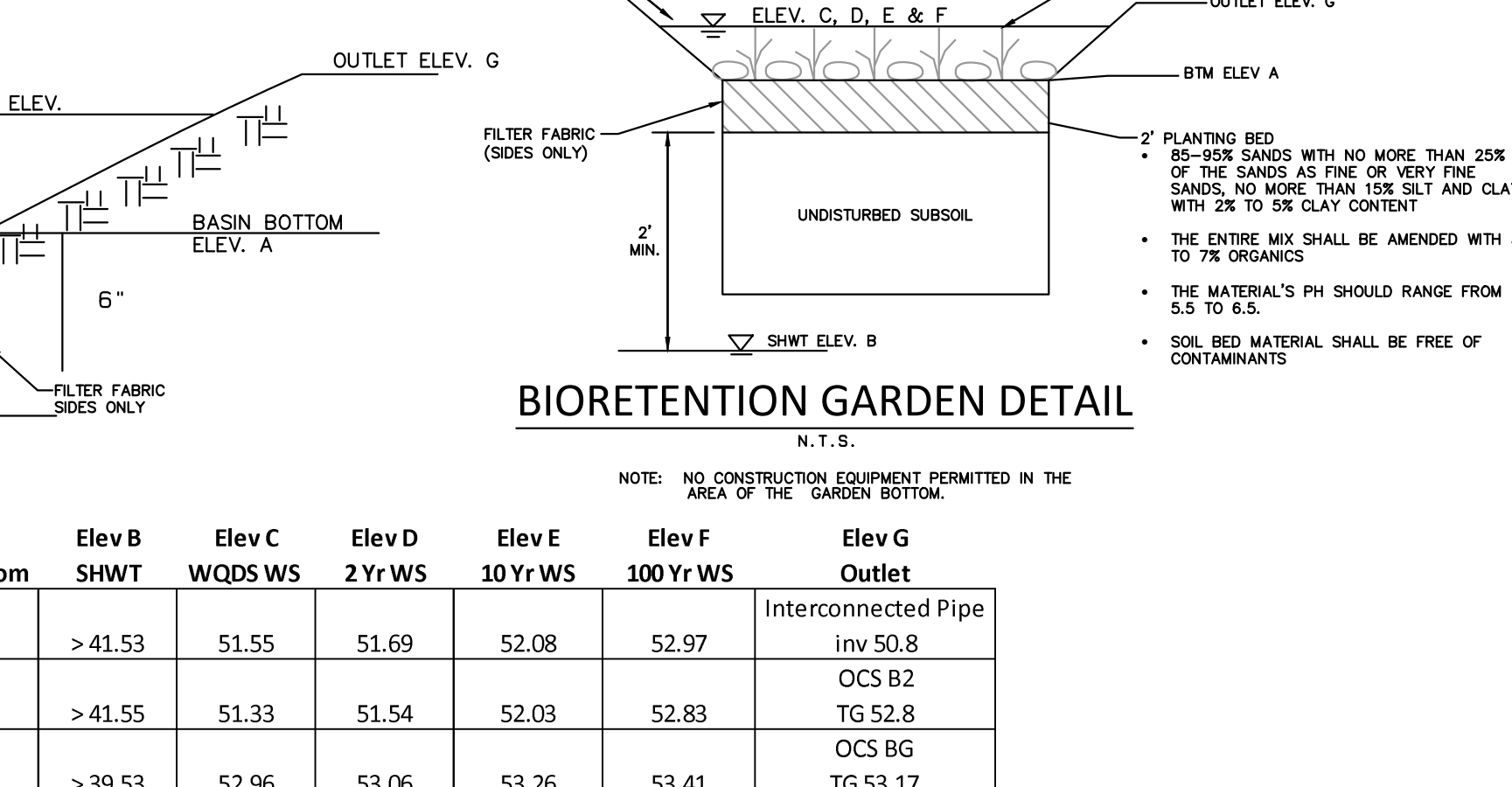
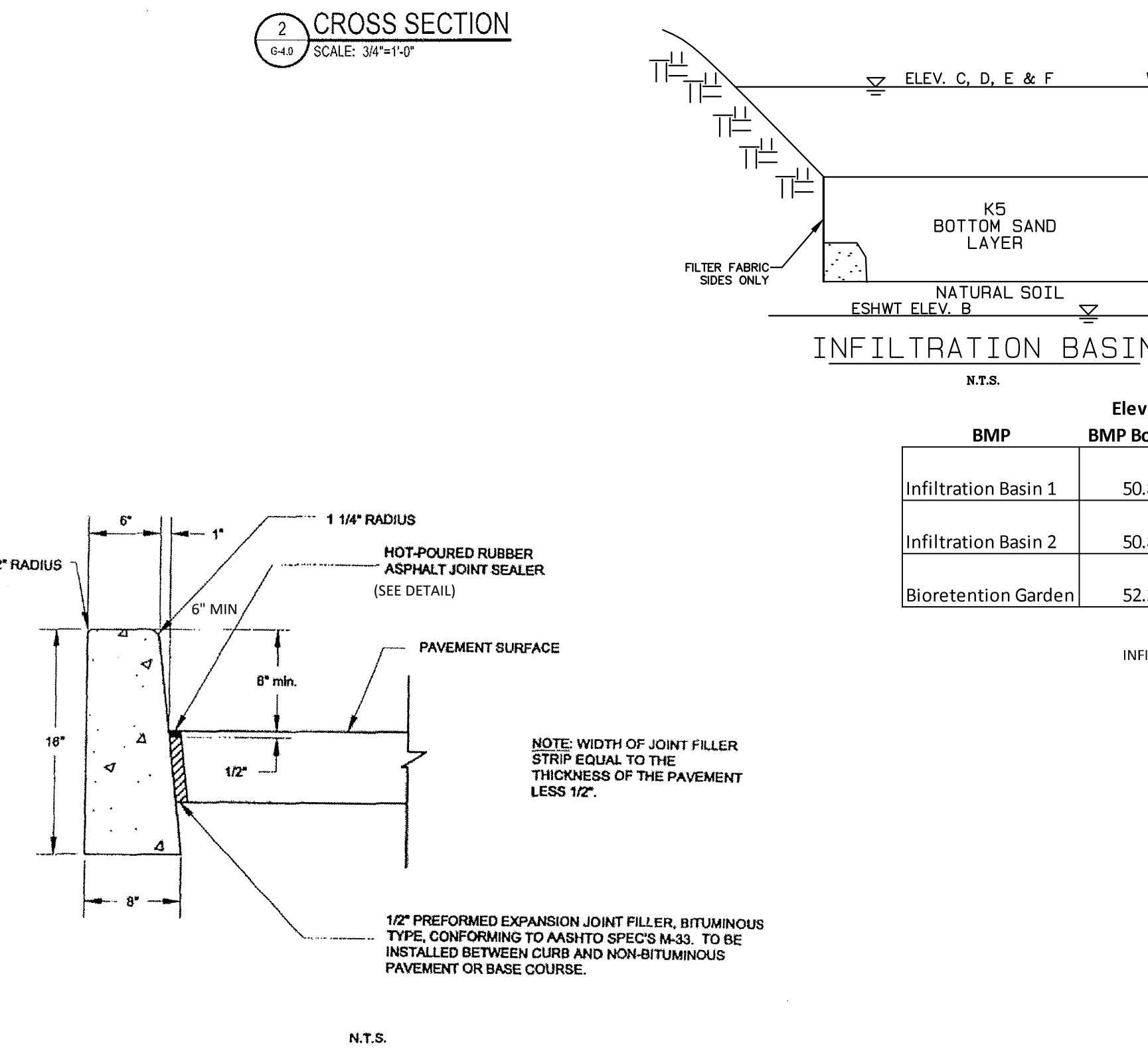
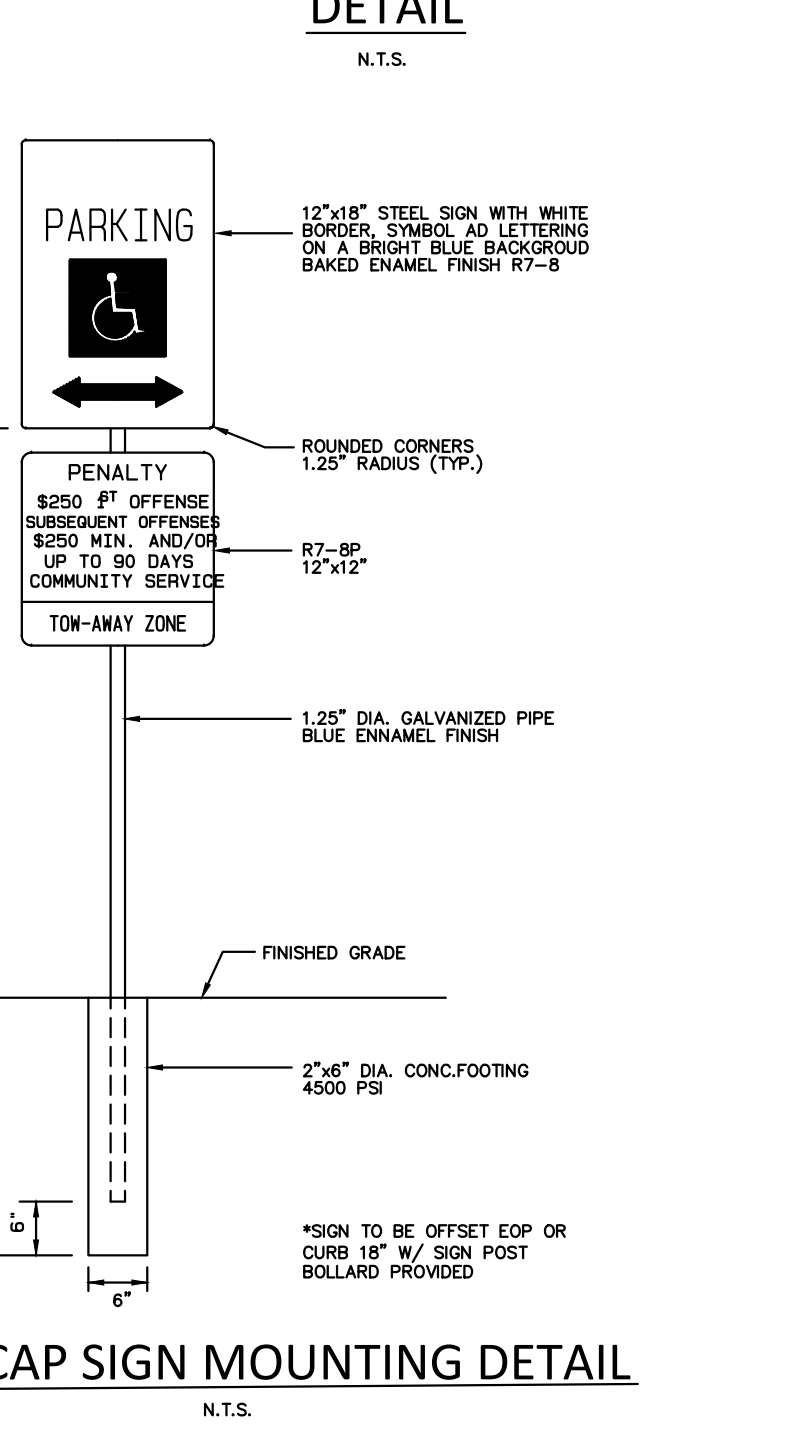
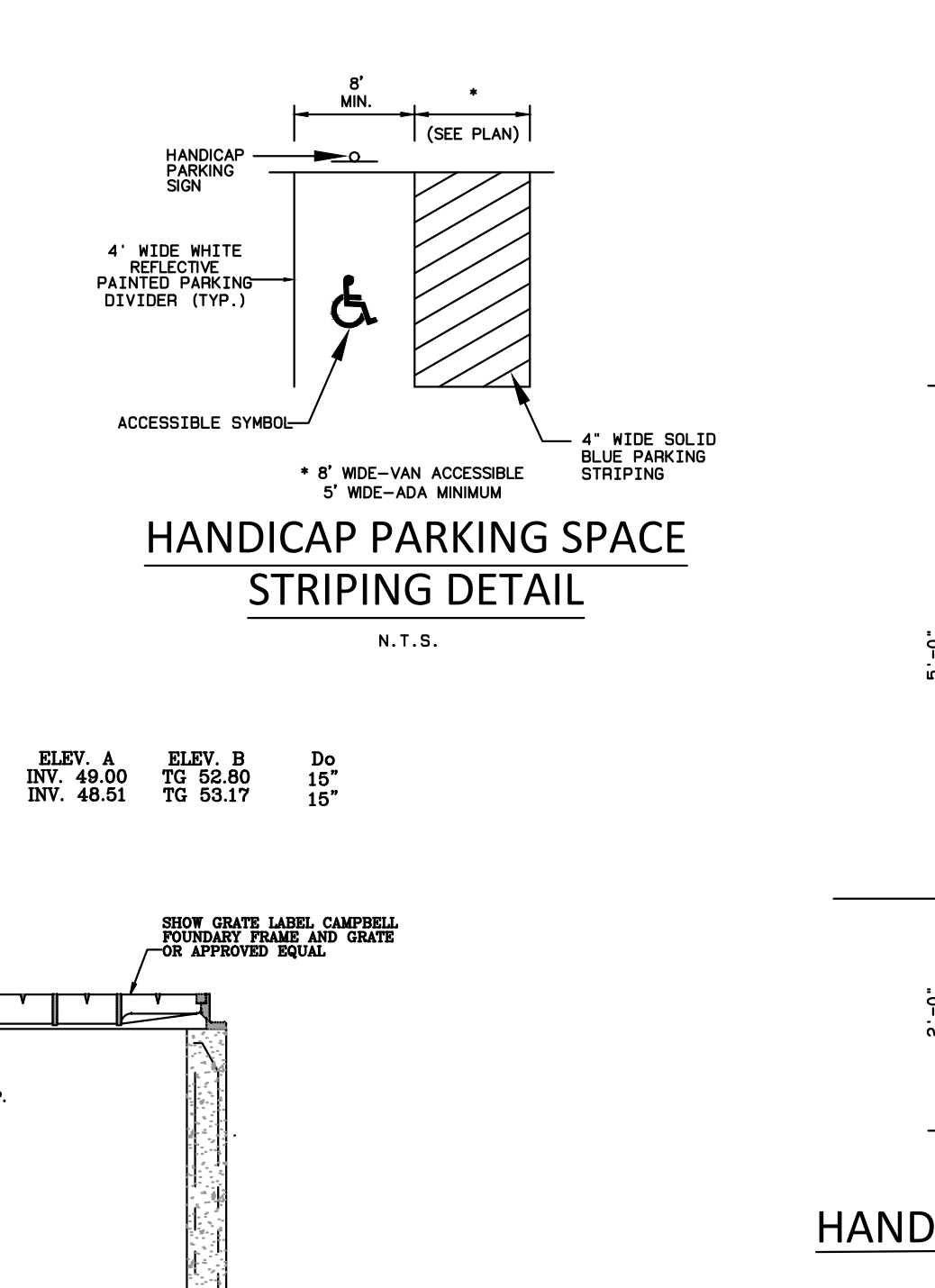
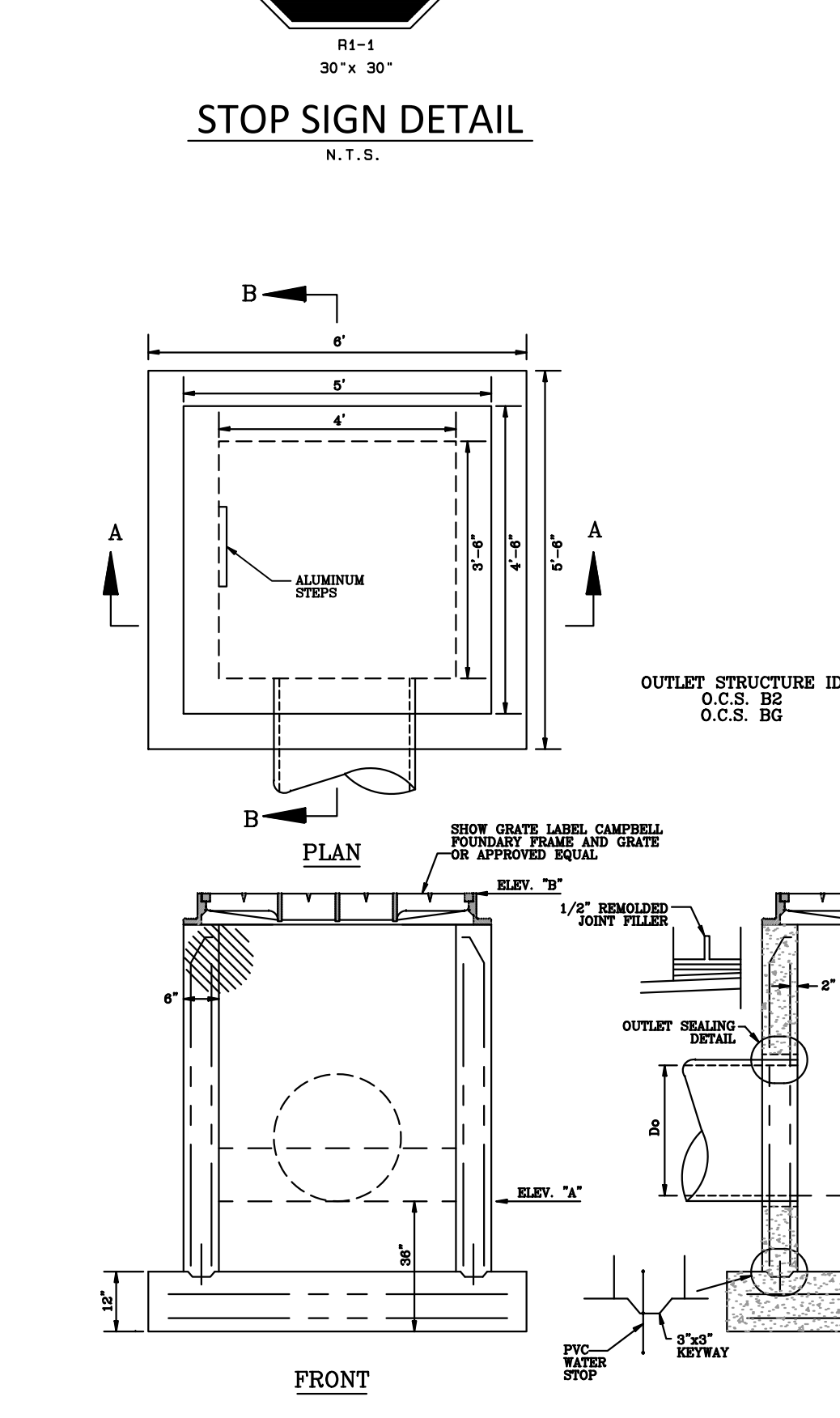
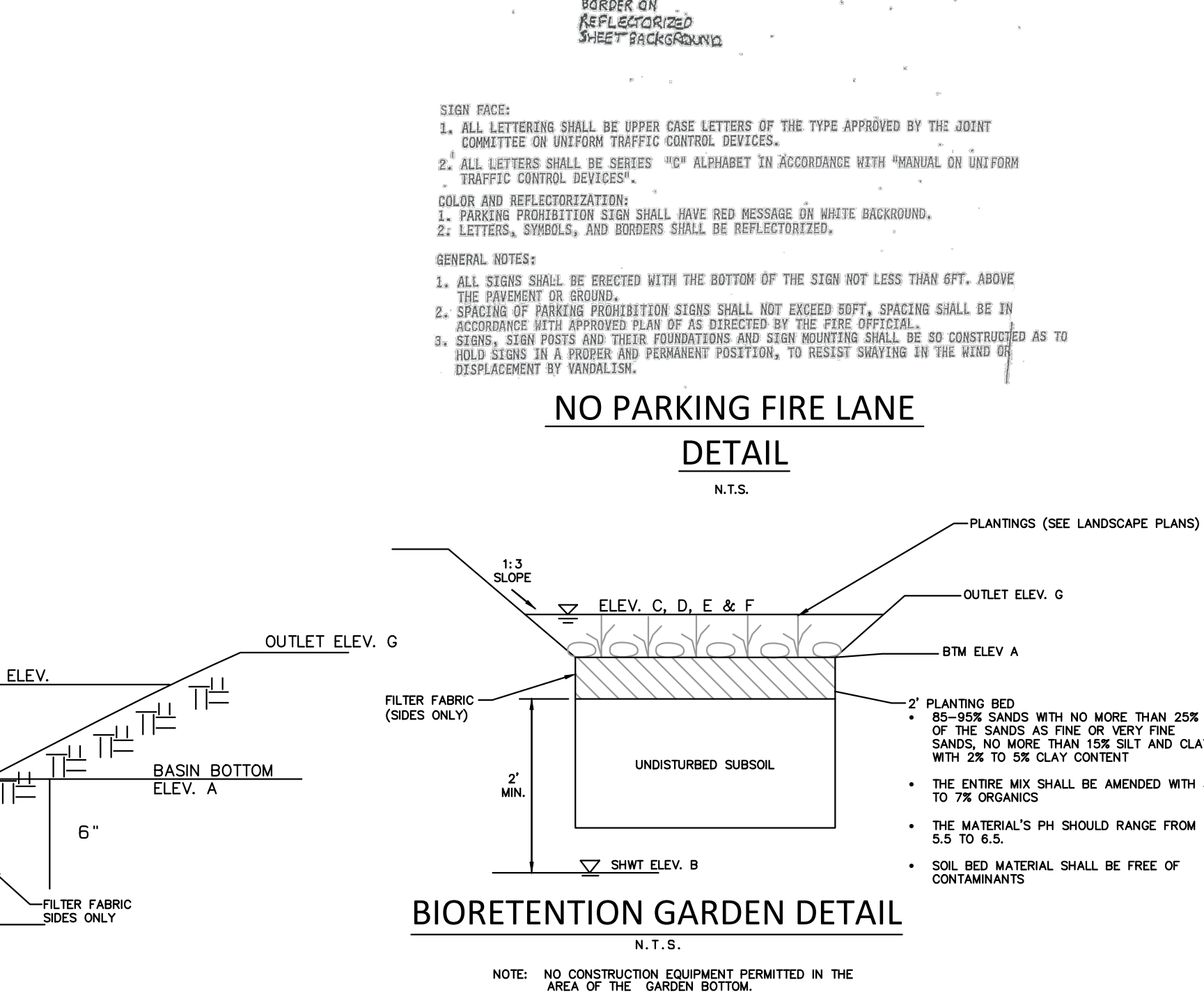
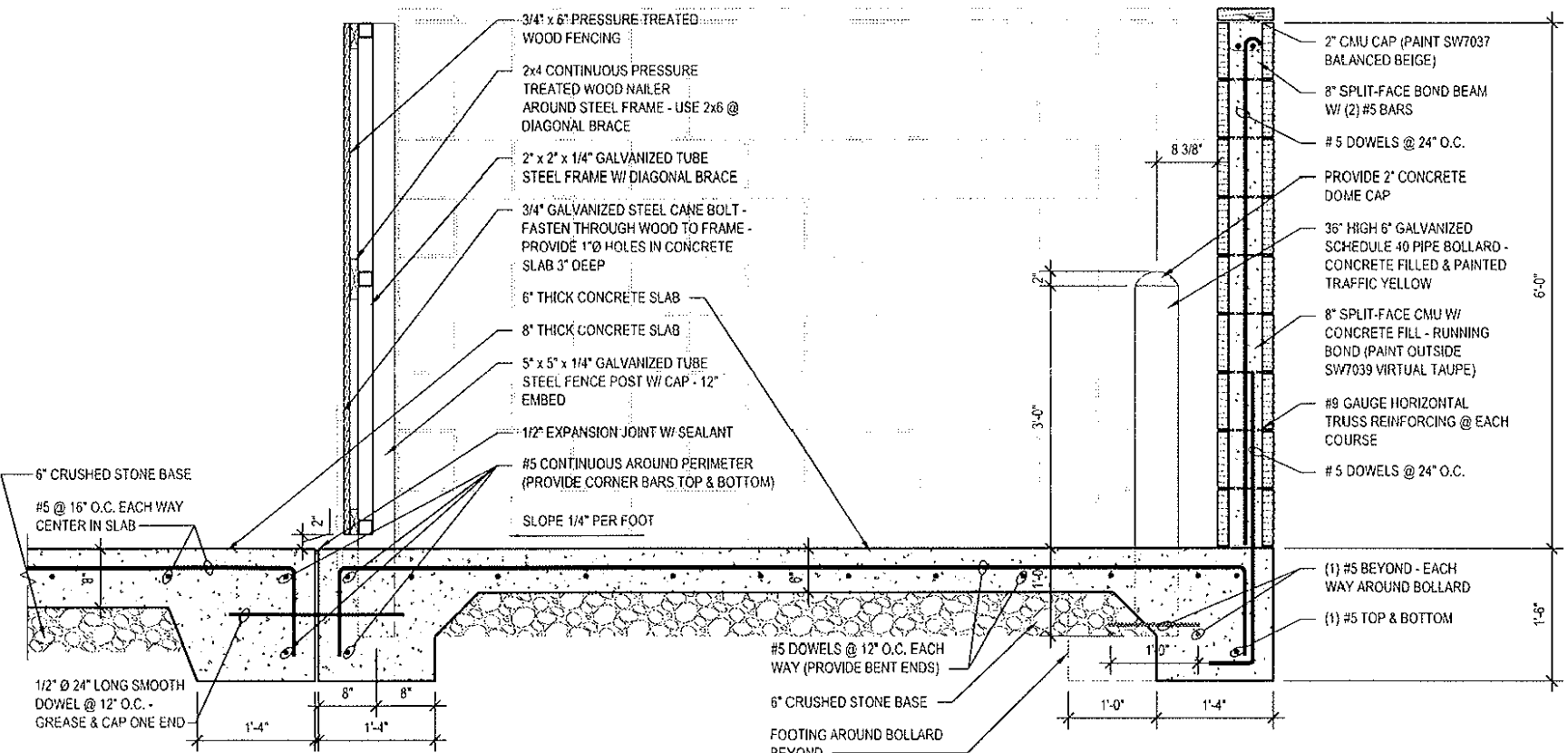
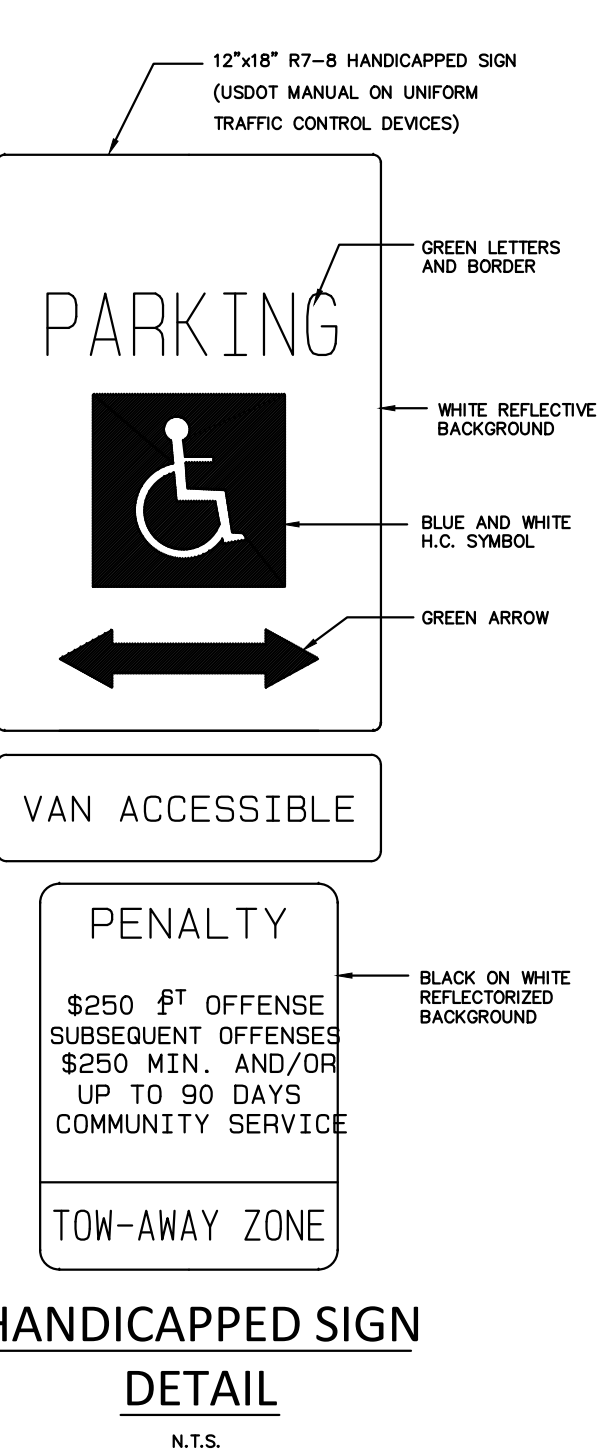
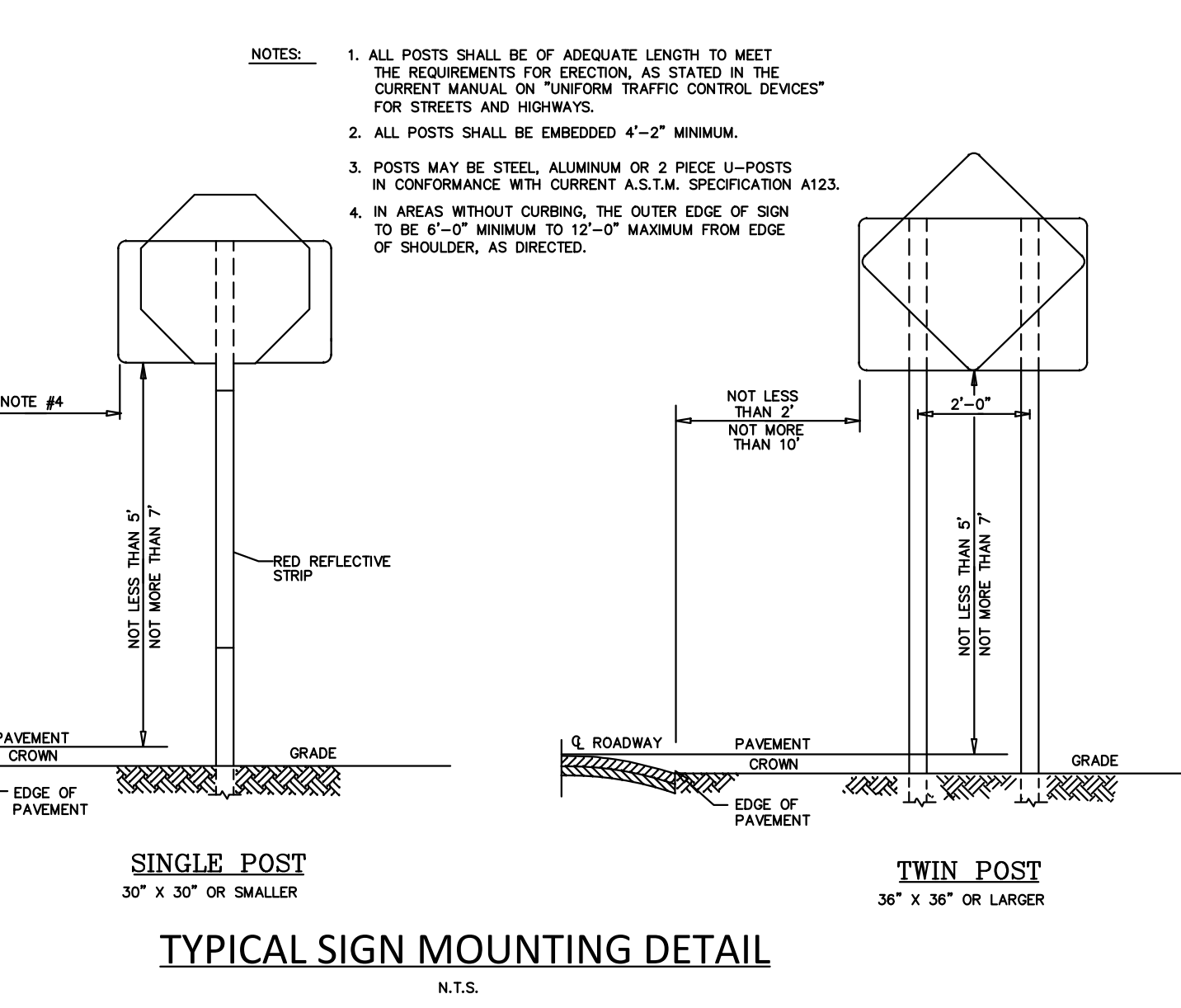
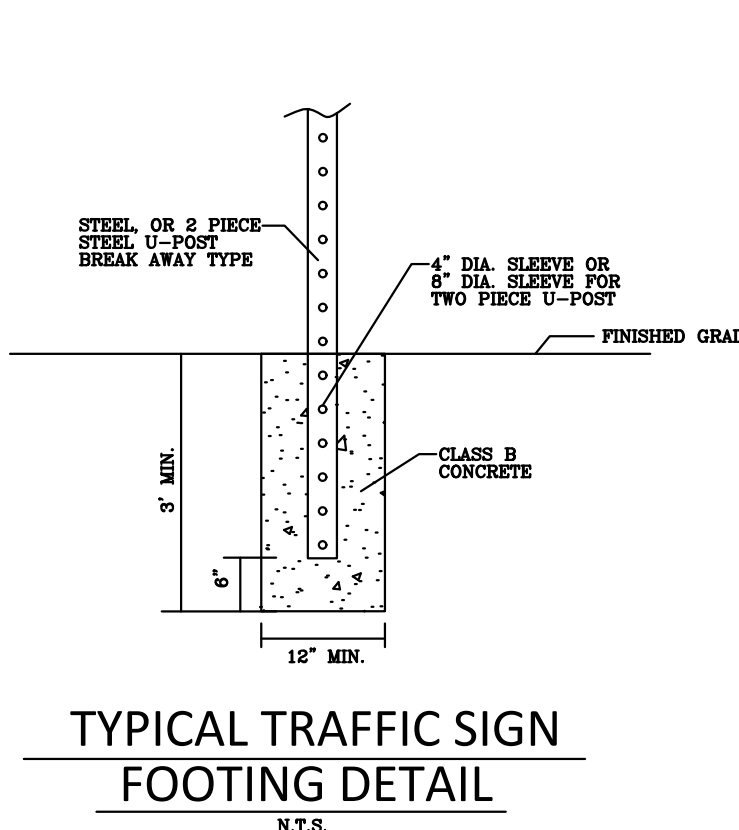
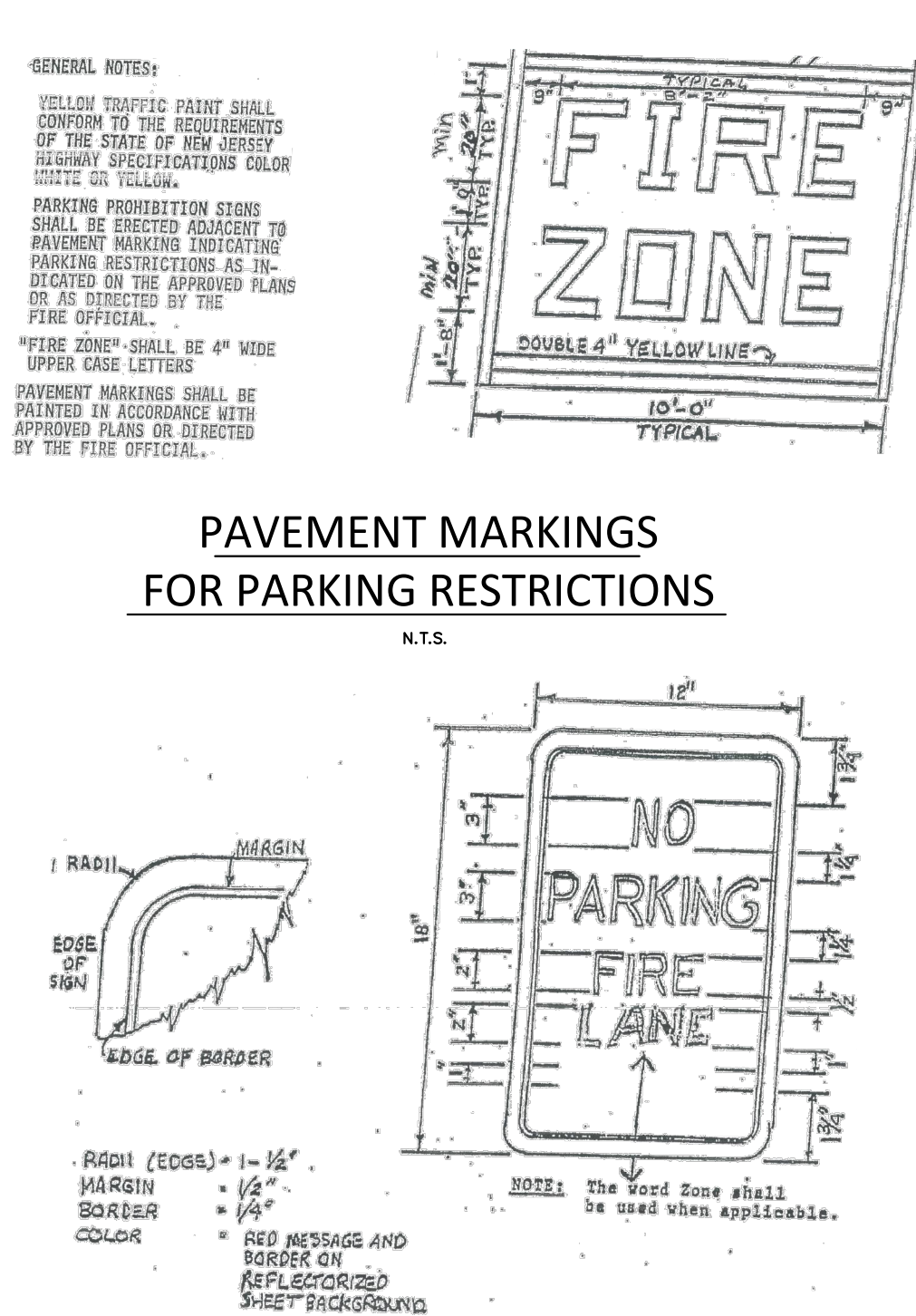
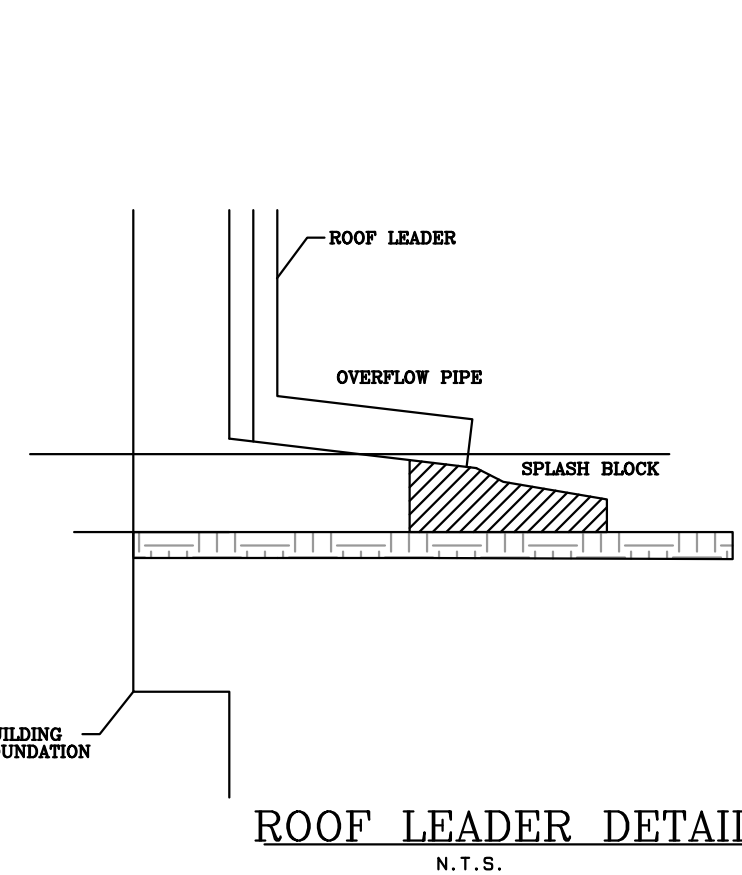
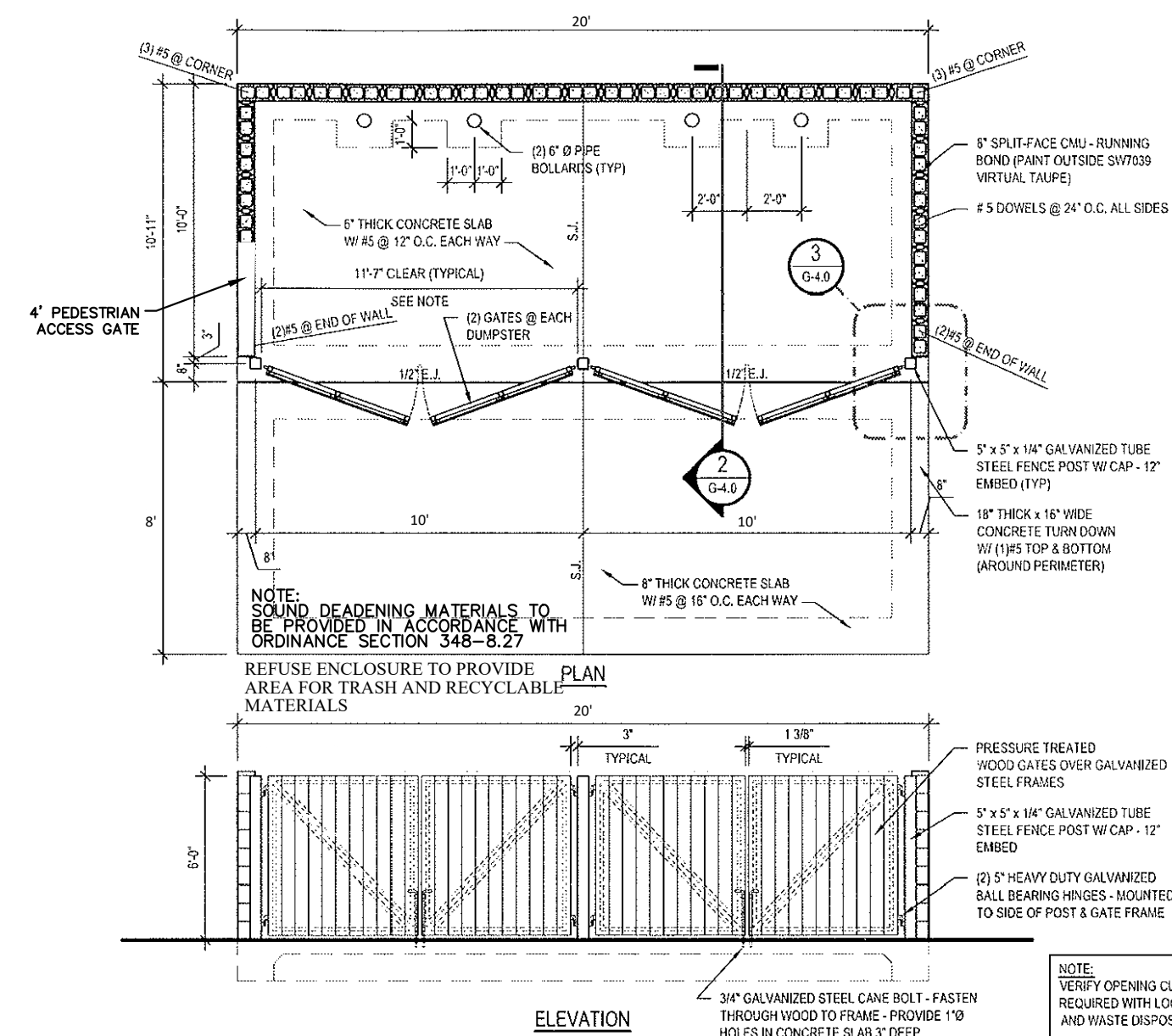
Michael V. Molas  
  
Licensed Landscape Architect  
N.J. Lic. No. 21AS00078000

DRAWN BY	MVM	DATE	11/11/22
DESIGNED BY	MVM	SCALE	1"=30'
CHECKED BY	MVM	DRAWN NO.	PC-893
RELEASED BY	LGW	PROJECT NO.	3599.0003
SHEET NO.	9	OF	13









BMP	Elev A BMP Bottom	Elev B SHWT	Elev C WQDS WS	Elev D 2 Yr WS	Elev E 10 Yr WS	Elev F 100 Yr WS	Elev G Outlet
Infiltration Basin 1	50.8	> 41.53	51.55	51.69	52.08	52.97	Interconnected Pipe
Infiltration Basin 2	50.8	> 41.55	51.33	51.54	52.03	52.83	OCS B2
Bioretention Garden	52.3	> 39.53	52.96	53.06	53.26	53.41	OCS BG

- INFILTRATION BASIN AND BIORETENTION GARDEN NOTES:
1. ALL EXCAVATION OF THE BASIN AREA MUST BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT POSSIBLE. ALL EQUIPMENT SHOULD BE PLACED OUTSIDE OF THE BOTTOM AREA. CONSTRUCTION MUST NOT COMPACT SOILS BELOW BASIN BOTTOM.
  2. BASIN TO BE FULLY CONSTRUCTED WITH PERMANENT STABILIZATION OF THE BASIN EMBANKMENTS INCLUDING THE TOP OF BANK. EXCAVATION OF THE BASIN TO THE TOP OF THE SAND ELEVATION WITH FILTER FABRIC PROVIDED DURING THIS INTERIM CONDITION.
  3. FINAL BASIN CONSTRUCTION SHOULD BE DELAYED UNTIL ALL OTHER CONSTRUCTION WITHIN THE DEVELOPMENT HAS TAKEN PLACE TO A POINT WHERE THE UP-GRADIENT SOILS ARE PROPERLY STABILIZED.
  4. UPON FULL STABILIZATION OF ALL AREAS DRAINING TO THE BASIN, REMOVE THE ACCUMULATED SEDIMENT AND FILTER FABRIC FROM THE BASINS AND GARDENS AND EXCAVATE BASIN TO THE FINAL BOTTOM ELEVATION. THE BOTTOM AREA MUST BE AS LEVEL AS POSSIBLE TO UNIFORMLY DISTRIBUTE RUNOFF.
  5. POST CONSTRUCTION SOIL TESTING MUST BE PERFORMED FOR THE BASIN IN ACCORDANCE WITH CHAPTER 12 OF THE BMP MANUAL. IF TESTING REVEALS ADDITIONAL SILT AND SEDIMENT AMONG THE BASIN SURFACE AREAS IT SHALL BE REMOVED AS INSTRUCTED BY THE DESIGN ENGINEER AND THE AREAS RETESTED PRIOR TO PLACEMENT OF THE SAND LAYER.
  6. THE BASIN BOTTOM 6" SAND LAYER MUST CONSIST OF K5 SAND WITH A MAXIMUM OF 15% FINES AND A MINIMUM PERMEABILITY RATE OF 20 INCHES PER HOUR. PRIOR TO INSTALLATION THE MATERIAL MUST BE CERTIFIED AND THE TICKET PROVIDED TO THE DESIGN ENGINEER.
  7. AS-BUILT DRAWINGS PREPARED BY A NJ LICENSED LAND SURVEYOR FOR THE DRAINAGE SYSTEM AND STORMWATER BASIN SHALL BE COMPLETED.

THE OWNER OF THE PROPERTY WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY. THE STORMWATER MANAGEMENT OPERATIONS AND MAINTENANCE MANUAL PROVIDES DETAILS ON THE NECESSARY MAINTENANCE PROCEDURES.

06/06/23	REV PER OCSO LTR 05/04/23	MSM	JS	
03/13/23	REV PER NJDEP CAFRA REVIEW 02/21/23, TRMJA REVIEW 3/07/23, CORP CONDITIONS OF APPROVAL, ONE LETTER 2/27/23, OLA LETTER 2/24/23, TR PLANNER LETTER 1/26/23, OCSO LETTER 1/18/23, TRP LETTER 1/13/23	CSM	JS	
03/13/23	REV PER NJDEP CAFRA REVIEW 02/21/23	MSM	JS	

DATE	REVISION	DRAWN	CHECKED	RELEASED
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**CONSTRUCTION DETAILS**

**PRELIMINARY AND FINAL MAJOR SITE PLAN**

**1520 ROUTE 37 WEST**

LOT 13 - BLOCK 472

TAX MAP SHEET NO. 54

SITUATED IN

TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

**CIVIL ENGINEERS**

**LAND SURVEYORS**

**PLANNERS**

**LANDSCAPE ARCHITECTS**

**RESERVE SPECIALISTS**

**ARCHITECTS**

**FWH ASSOCIATES, P.A.**

1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223

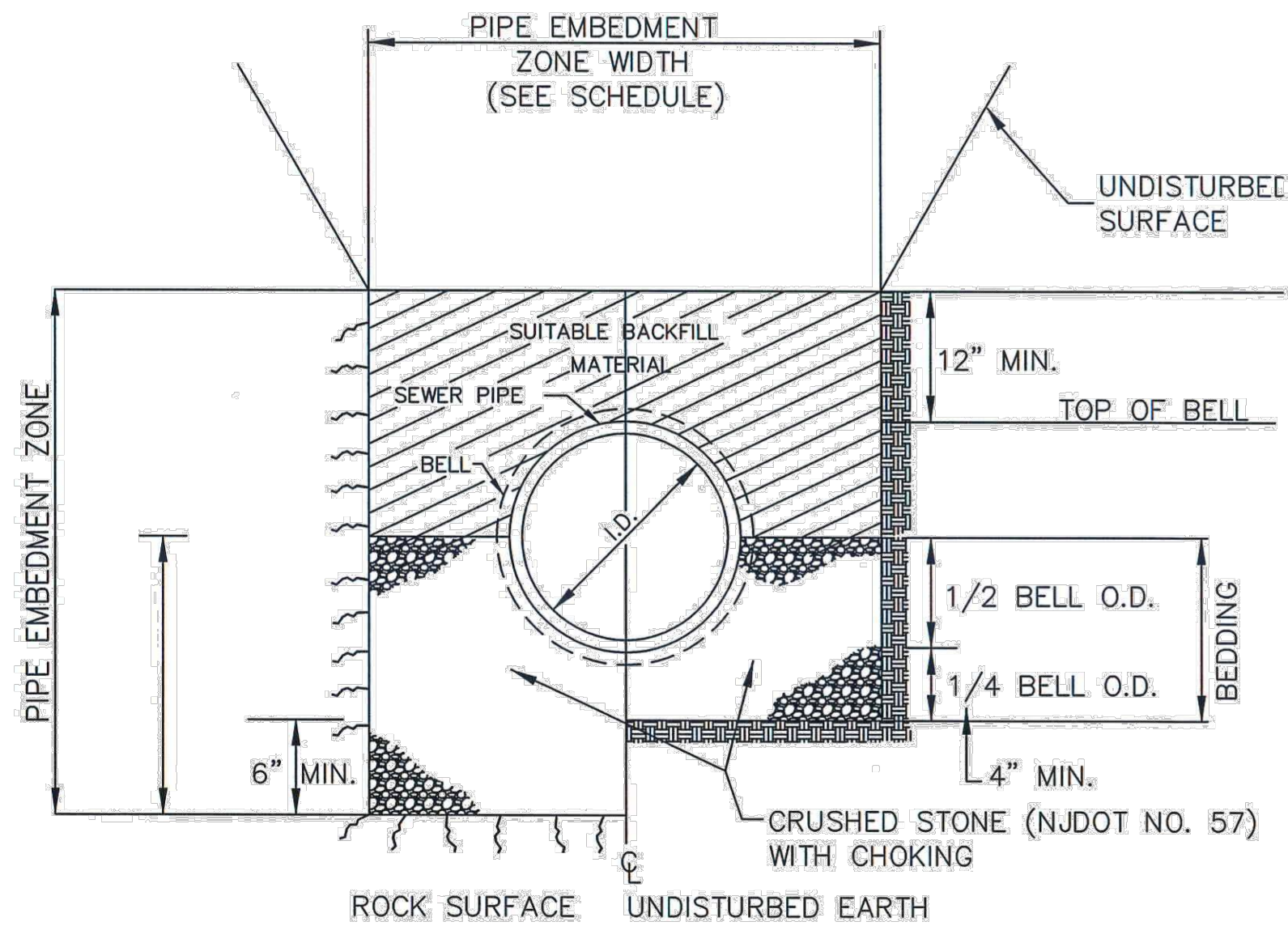
**Brian P. Murphy**

PROFESSIONAL ENGINEER

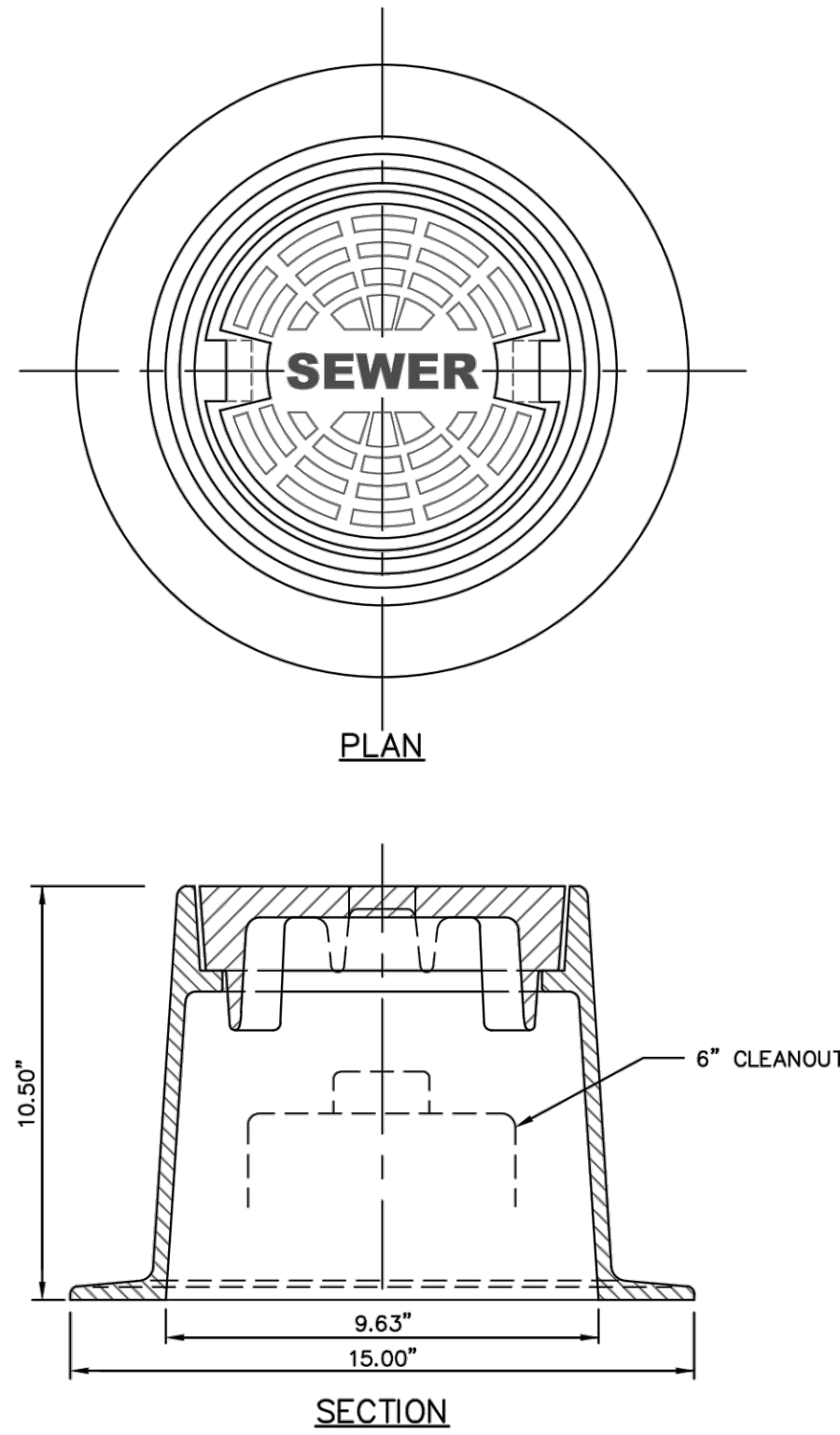
N.J. LIC. NO. 42000

DRAWN BY	MSM	DATE	11/15/22
CHECKED BY	JS	SCALE	N.T.S.
RELEASED BY	BPM	DRAWER NO.	PC-893
SHEET NO.	11	PROJECT NO.	3599.0003

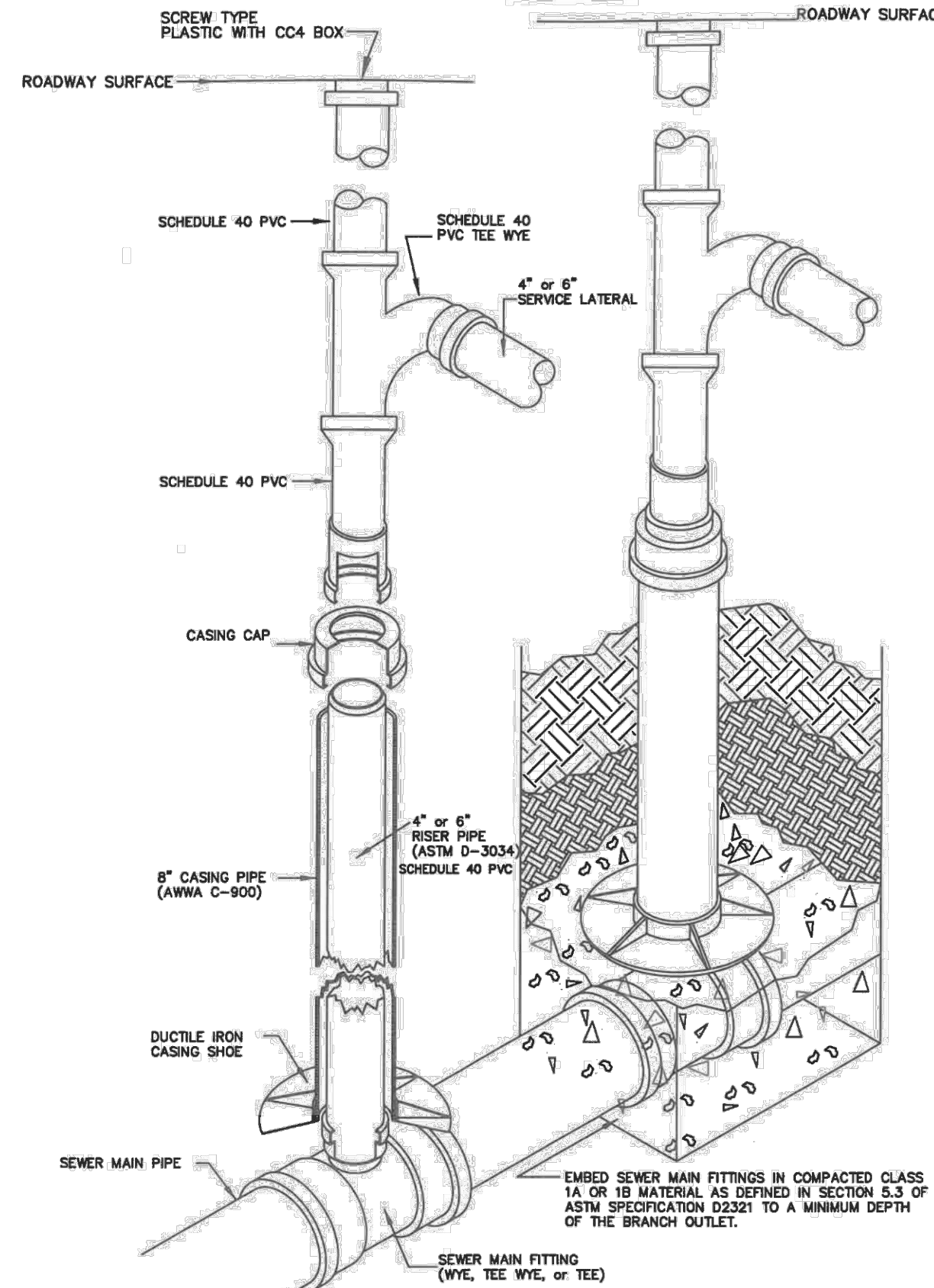




CLASS "B" MODIFIED BEDDING  
CHOKED CRUSHED STONE



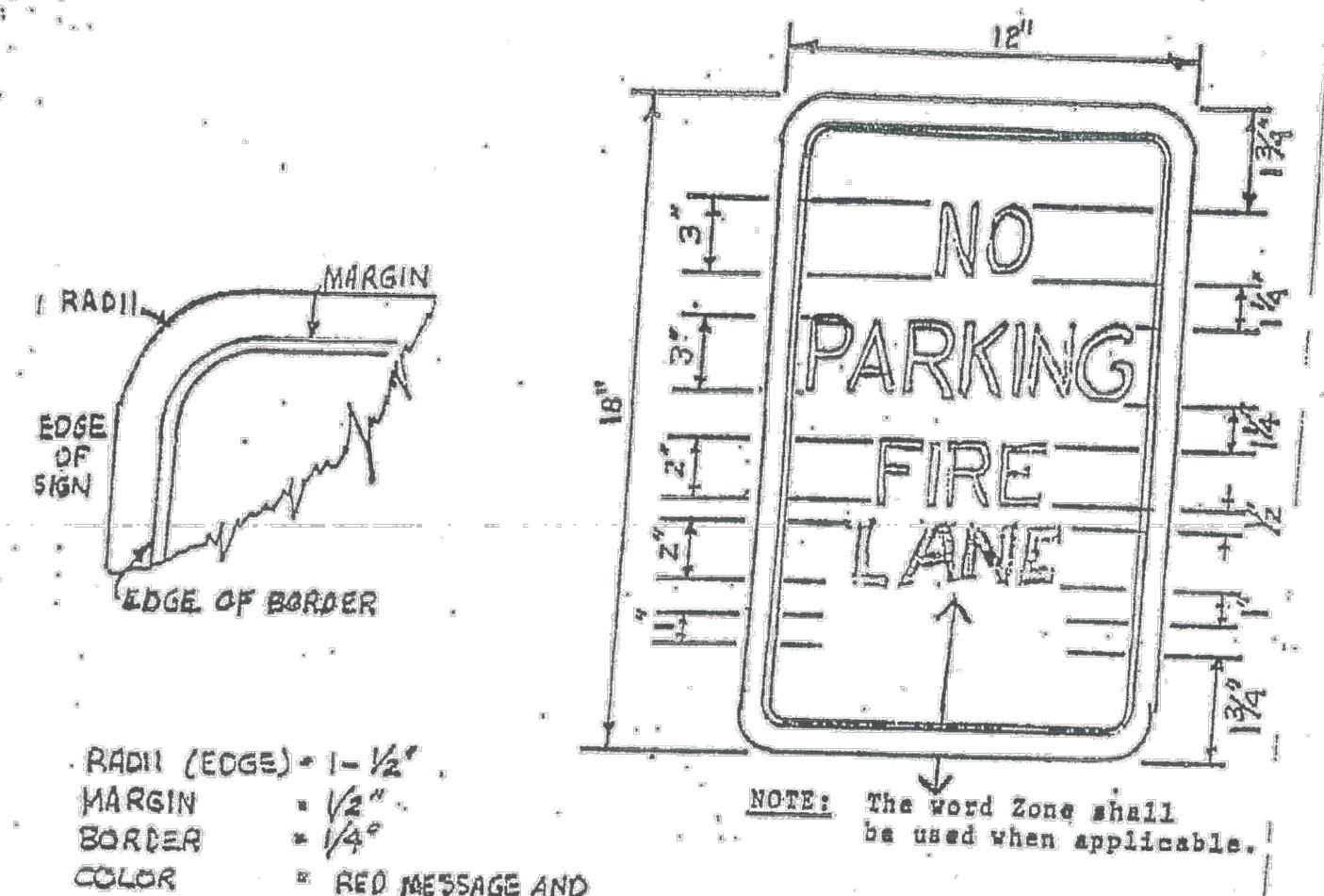
CC6 BOX & COVER FOR ALL 6" CLEANOUTS



#### ASSEMBLY

- EXISTING DEEP STACK AND MAIN PORTIONS WITH EXISTING CONCRETE ENCASUREMENT TO BE REMOVED ENTIRELY AND REPLACED.
- DEEP STACK CONNECTION REPLACEMENT SHALL CONNECT TO EXISTING PIPE MAIN VIA PROPER TRANSITION COUPLING.
- PLACE CASING SHOE OVER SEWER MAIN OUTLET.
- MAKE SQUARE CUTS ON CASING PIPE-INSTALL IN SHOE AND CUT TO PROPER ELEVATION. (SHORT SEGMENTS WITH COUPLINGS FOR CONVENIENCE IS PERMITTED)
- INSTALL RISER PIPE IN SEWER MAIN FITTING AND CUT TO APPROPRIATE LENGTH. (2" ABOVE CASING CAP)

#### STANDARD DETAIL-PARKING PROHIBITION SIGN



#### SIGN FACE:

- ALL LETTERING SHALL BE UPPER CASE LETTERS OF THE TYPE APPROVED BY THE JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL LETTERS SHALL BE SERIES "C" ALPHABET IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

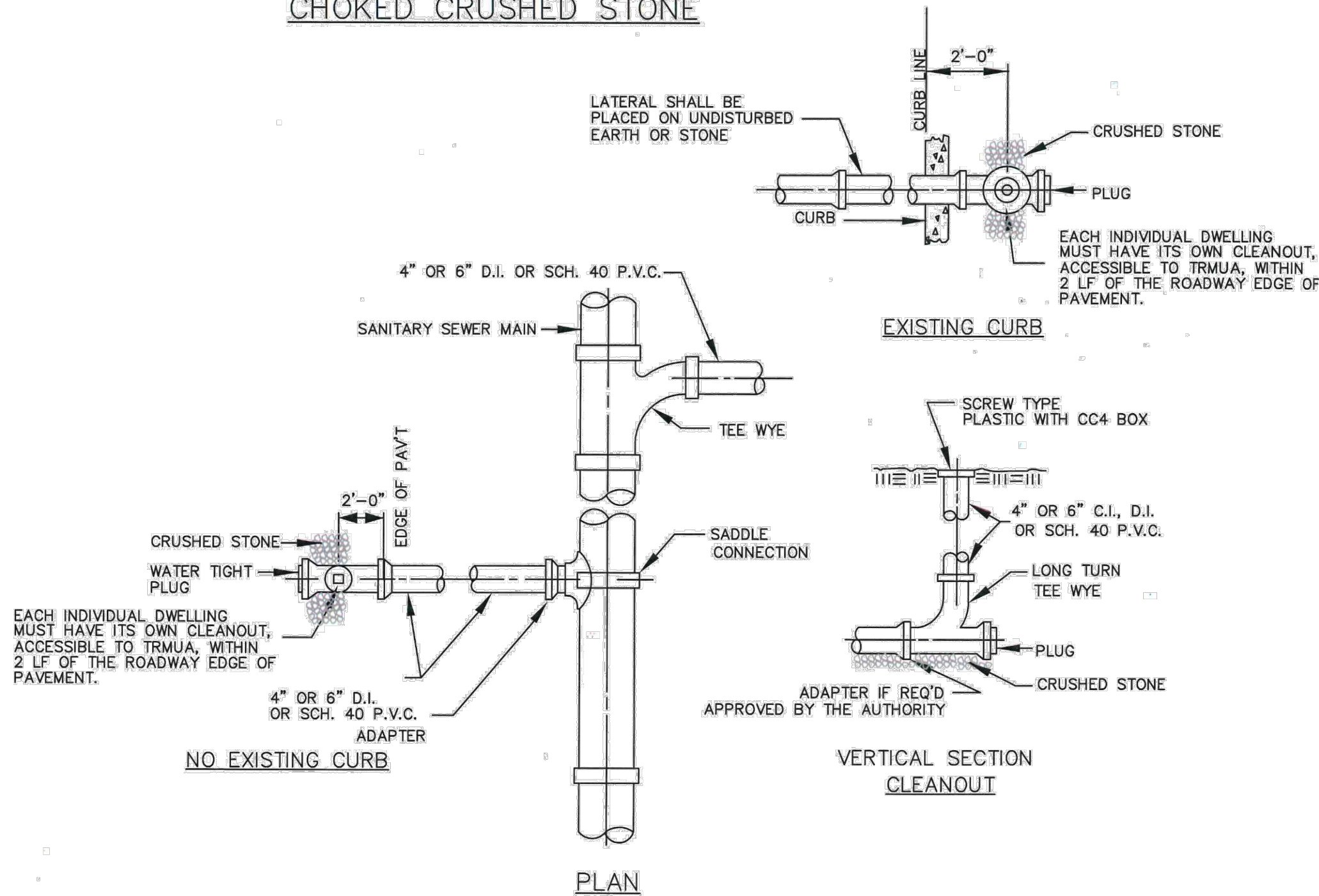
#### COLOR AND REFLECTORIZATION:

- PARKING PROHIBITION SIGN SHALL HAVE RED MESSAGE ON WHITE BACKGROUND.
- LETTERS, SYMBOLS, AND BORDERS SHALL BE REFLECTORIZED.

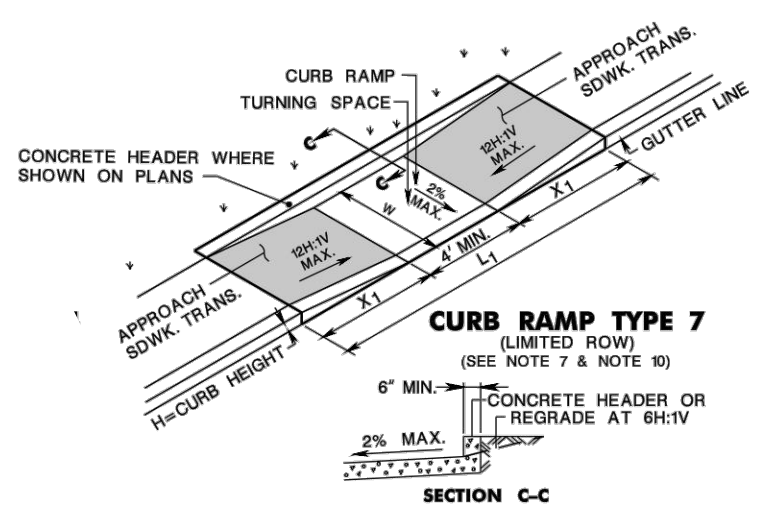
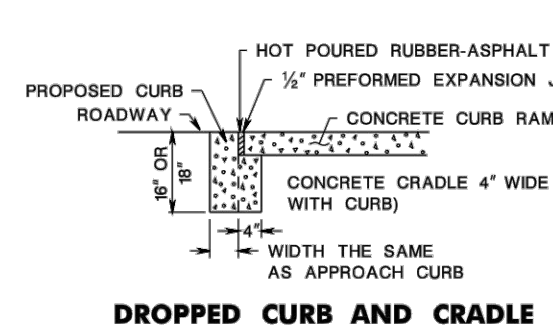
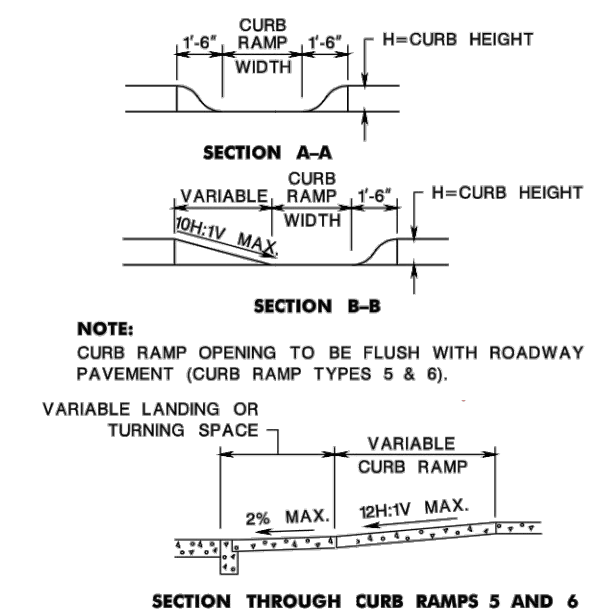
#### GENERAL NOTES:

- ALL SIGNS SHALL BE ERECTED WITH THE BOTTOM OF THE SIGN NOT LESS THAN 6FT. ABOVE THE PAVEMENT OR GROUND.
- SPACING OF PARKING PROHIBITION SIGNS SHALL NOT EXCEED 50FT. SPACING SHALL BE IN ACCORDANCE WITH APPROVED PLAN OF AS DIRECTED BY THE FIRE OFFICIAL.
- SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.

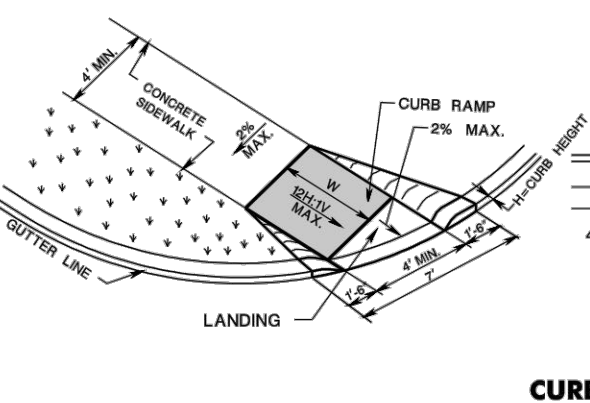
NO PARKING FIRE LANE  
DETAIL



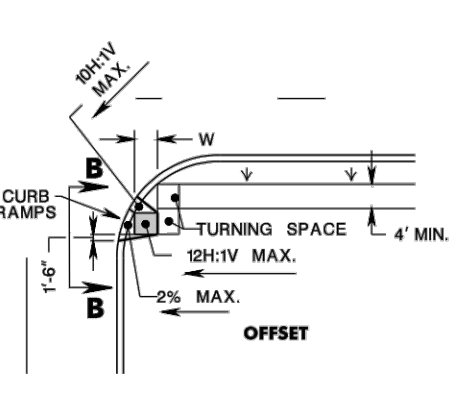
TYPICAL HOUSE  
CONNECTION INSTALLATION



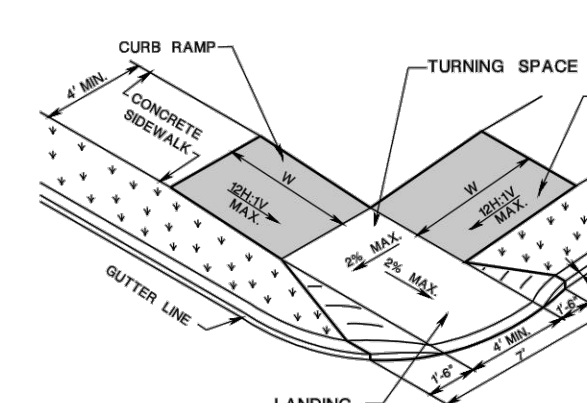
- KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.
- CURB (DROPPED CURB) CUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT THE ENTIRE WIDTH OF THE RAMP (4 FEET MIN.) AT ALL CURB RAMP.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED. SEE PLANS.
- THE 12H:1V MAX SLOPE IS THE RUNNING SLOPE FOR CURB RAMP.
- CURB RAMP TYPE 1 THROUGH 7 ARE NORMALLY PLACED ON THE RADIUS RETURN AT THE INTERSECTION AND ON A TANGENT SECTION AS DRAWN.



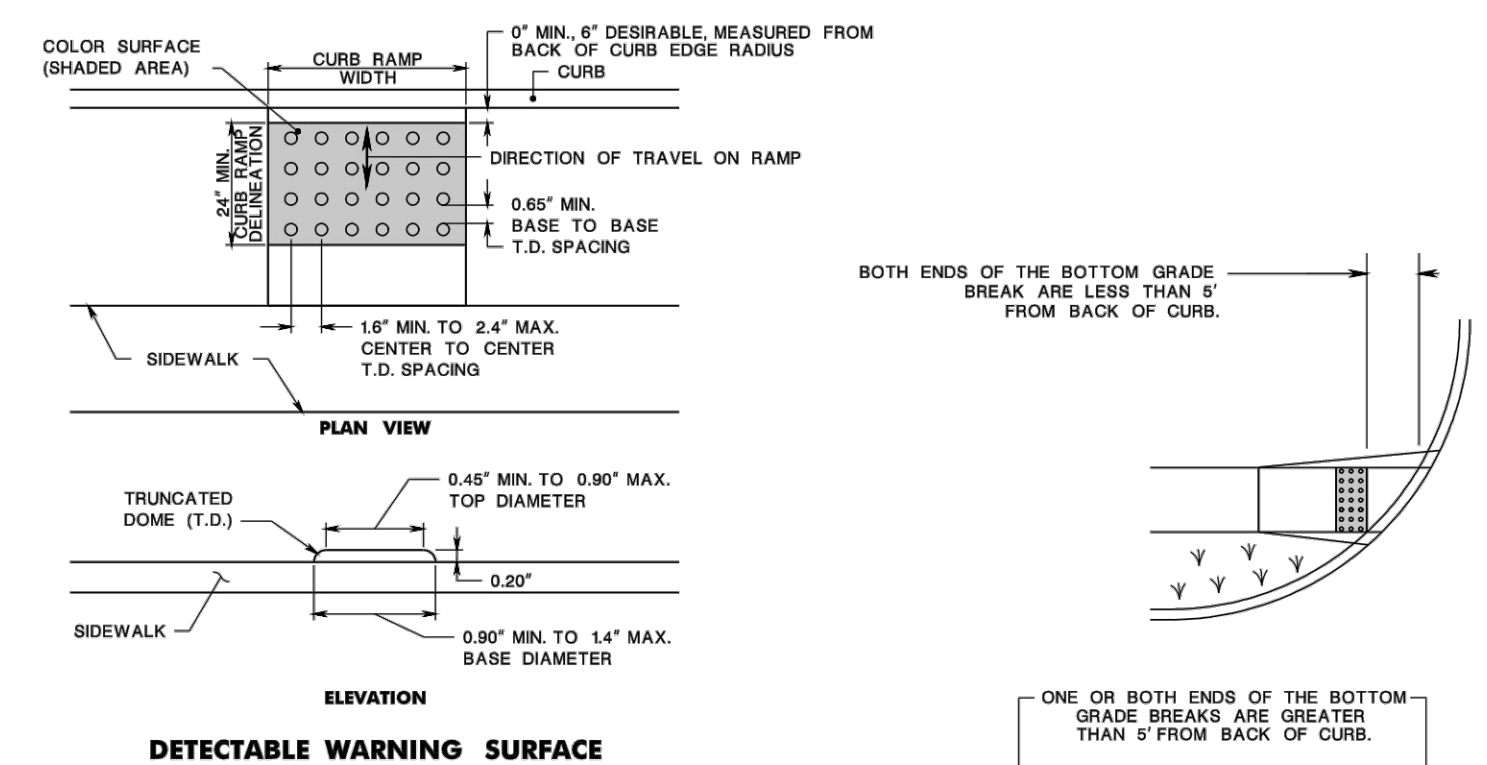
CURB RAMP TYPE 5



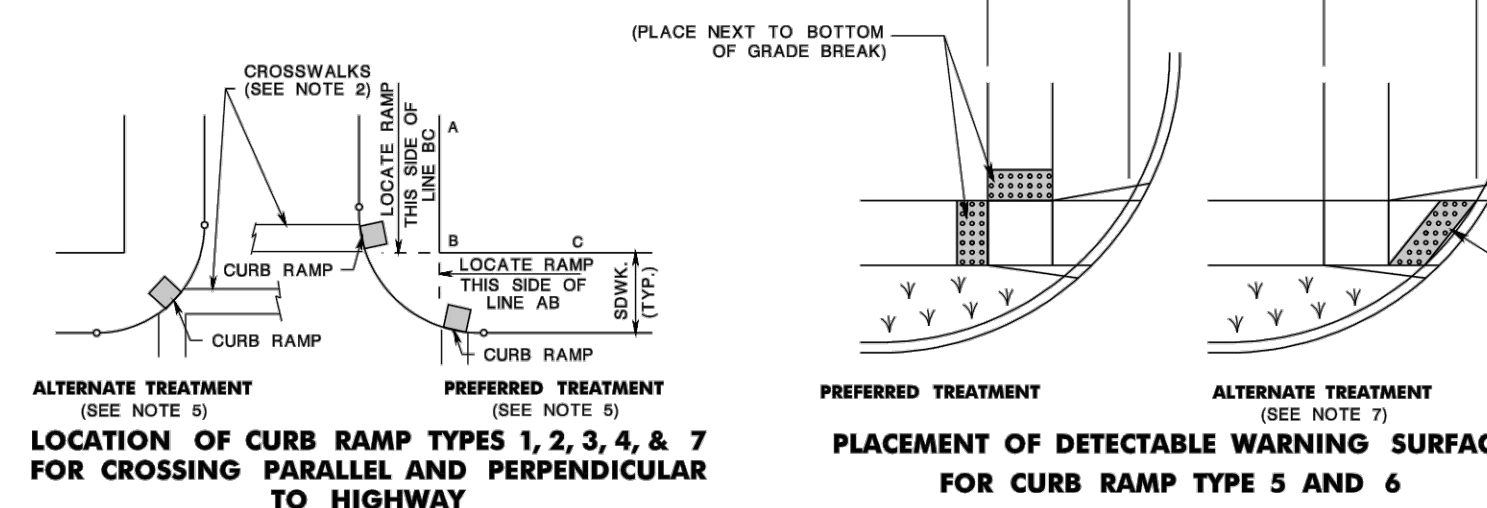
CURB RAMP TYPE 6



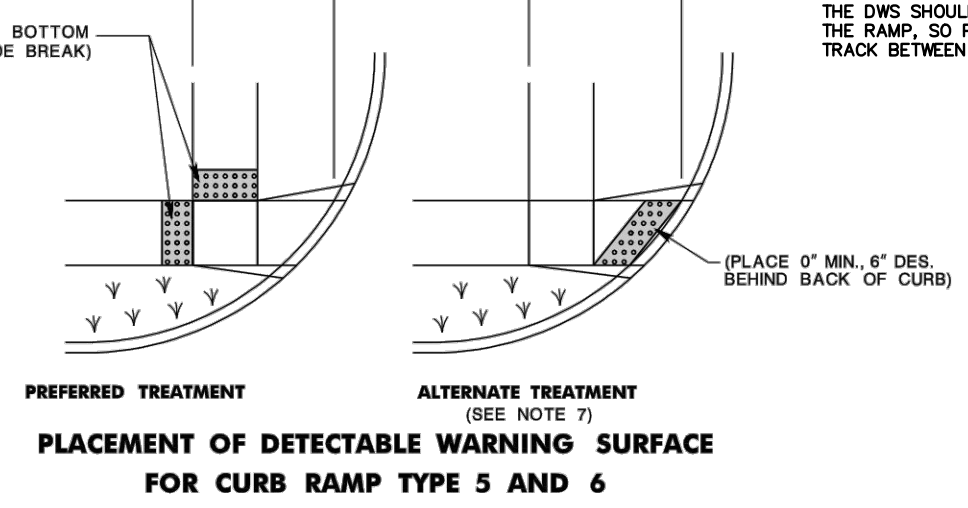
CURB RAMP TYPE 7



DETECTABLE WARNING SURFACE



LOCATION OF CURB RAMP TYPES 1, 2, 3, 4, & 7 FOR CROSSING PARALLEL AND PERPENDICULAR TO HIGHWAY



PLACEMENT OF DETECTABLE WARNING SURFACE FOR CURB RAMP TYPE 5 AND 6

09/15/23	REV PER TRMUA EMAIL 9/14/23	CSM	JS
DATE	REVISION	DRAWN	CHECKED

**CONSTRUCTION DETAILS**

PRELIMINARY AND FINAL MAJOR SITE PLAN  
1520 ROUTE 37 WEST  
LOT 13 - BLOCK 472  
TAX MAP SHEET NO. 54  
SITUATED IN  
TOMS RIVER TOWNSHIP, OCEAN COUNTY, N.J.

CIVIL ENGINEERS  
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**FWH ASSOCIATES, P.A.**

1856 Rt. 9, Toms River, NJ 08755 T: 732.797.3100 F: 732.797.3223

Brian P. Murphy

PROFESSIONAL ENGINEER  
N.J. LIC. NO. 42000

DRAWN BY	MSM	DATE	11/15/22
CHECKED BY	JS	SCALE	N.T.S.
RELEASED BY	BPM	PROJECT NO.	3599.0003
SHEET NO.	12	OF	13



## ChargePoint CT4000 Complete

### Specifications and Ordering Information

Integrated technology and service bundle that includes:

- Outdoor-rated, networked, CT4000 family commercial charging station with integral modem and cable management system
- Activation and station configuration
- Subscriptions to ChargePoint network management services and station protection via Assure

### Ordering Information

Specify number of years and model number.

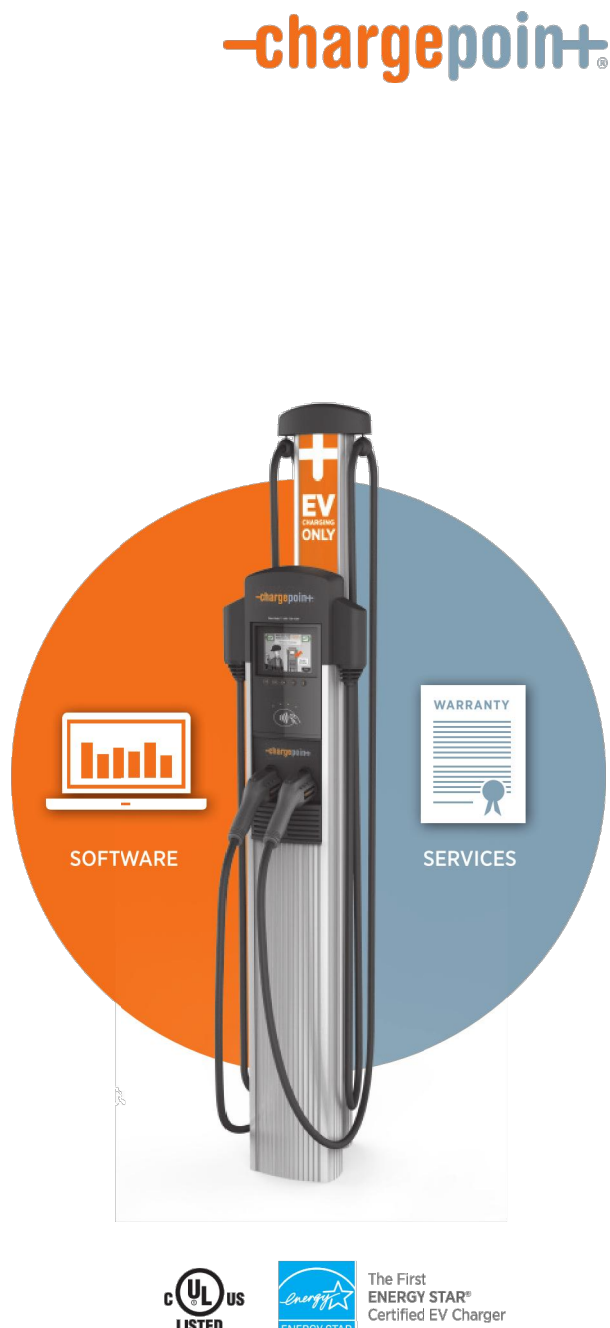
The order code sequence is: CPCn- Model

Integrated technology and service bundle		Order Code
Station Model	CT4013 Single Output, 208/240V Wall Unit CT4011 Single Output, 208/240V Bollard Unit CT4023 Dual Output, 208/240V Wall Unit CT4021 Dual Output, 208/240V Bollard Unit	CPCn-CT4013 CPCn-CT4011 CPCn-CT4023 CPCn-CT4021
Always Included**	Commercial Cloud Plan Activation and Station Configuration Site Validation Assure Plan Concrete Mounting Kit for Bollard Stations Power Management Kit for Dual Port Stations Station Manager and Driver Support Integral Modem - GW1	

\* Substitute n for desired years (1, 3, or 5 years).  
\*\* See highlights on page 6.

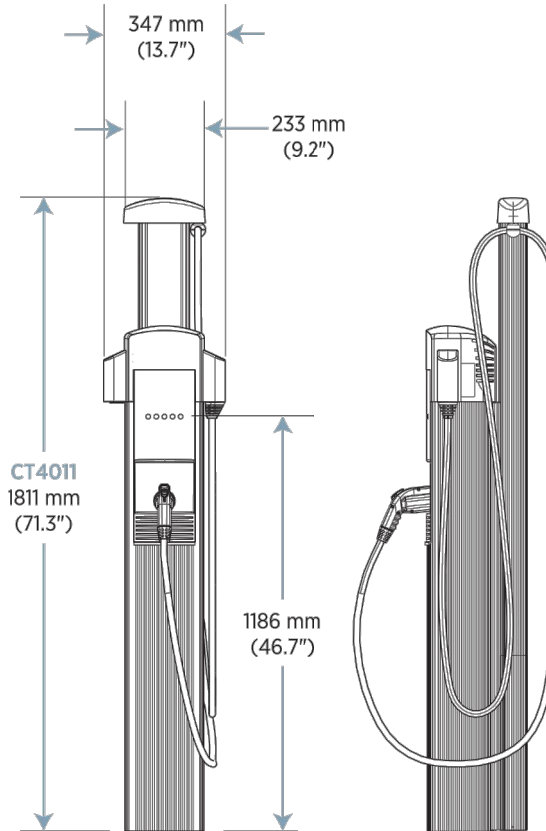
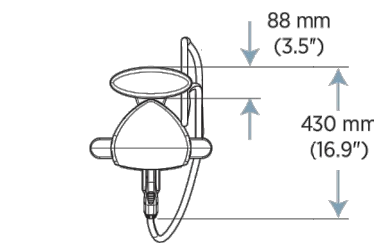
### Order Code Example

If ordering this	the order code is
Integrated technology and service bundle includes outdoor-rated, networked, CT4021 commercial charging station, concrete mounting kit, power share kit, activation, station configuration, plus 5-year subscriptions to network management services and station protection via Assure. CT4021 is a dual output, bollard unit — 208/240V with cable management.	CPCS-CT4021

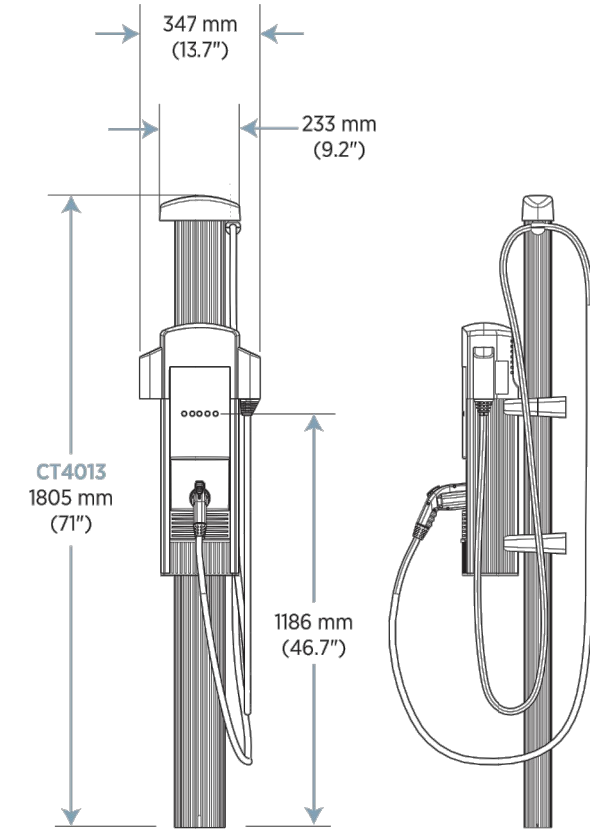
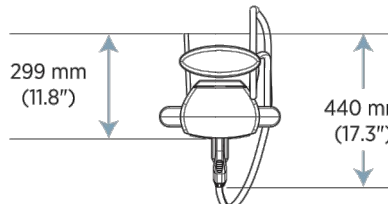


ChargePoint CT4000 Complete

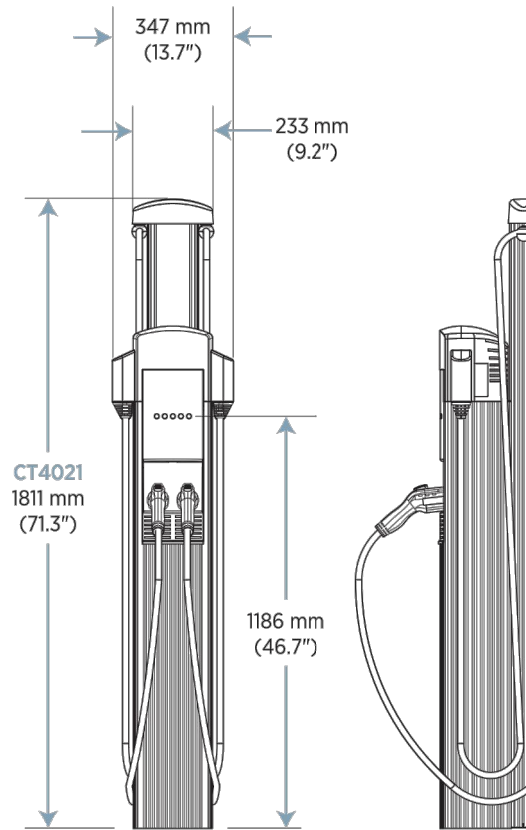
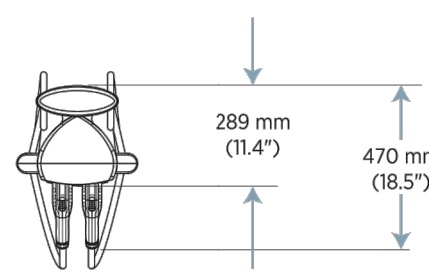
CT4011 1830 mm (6')  
Single-Port Bollard



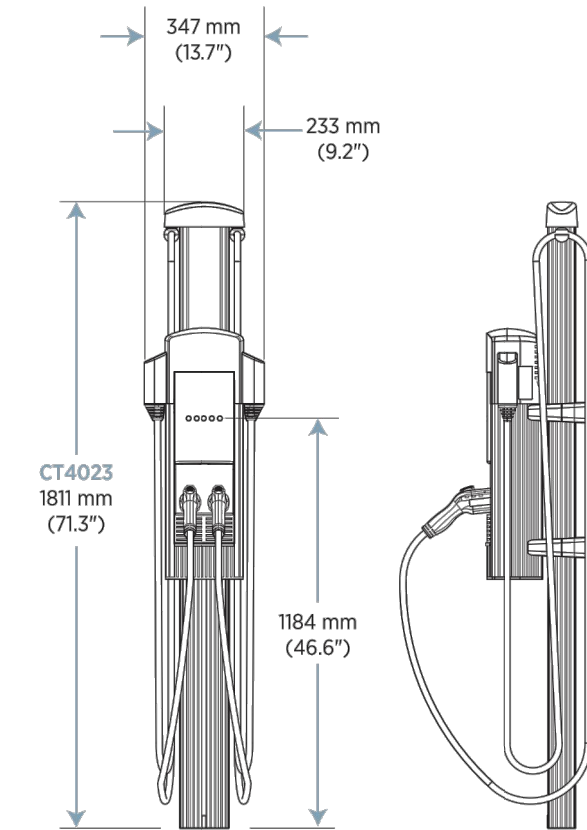
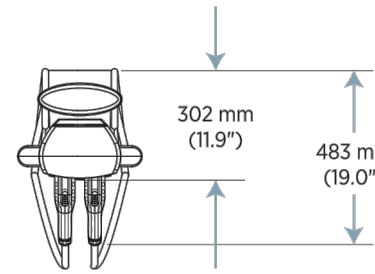
CT4013 1830 mm (6')  
Single-Port Wall Mount



CT4021 1830 mm (6')  
Dual-Port Bollard



CT4023 1830 mm (6')  
Dual-Port Wall Mount



ChargePoint CT4000 Complete

### ChargePoint CT4000 Complete Family Specifications

Electrical Input	Single Port (AC Voltage 208/240V AC)			Dual Port (AC Voltage 208/240V AC)		
	Input Current	Input Power Connection	Required Service Panel Breaker	Input Current	Input Power Connection	Required Service Panel Breaker
Standard	30A	One 40A branch circuit	40A dual pole (non-GFCI type)	30A x 2	Two independent 40A branch circuits	40A dual pole (non-GFCI type) x 2
Standard Power Share	n/a	n/a	n/a	32A	One 40A branch circuit	40A dual pole (non-GFCI type)
Power Select 24A	24A	One 30A branch circuit	30A dual pole (non-GFCI type)	24A x 2	Two independent 30A branch circuits	30A dual pole (non-GFCI type) x 2
Power Select 24A Power Share	n/a	n/a	n/a	24A	One 30A branch circuit	30A dual pole (non-GFCI type)
Power Select 16A	16A	One 20A branch circuit	20A dual pole (non-GFCI type)	16A x 2	Two independent 20A branch circuits	20A dual pole (non-GFCI type) x 2
Power Select 16A Power Share	n/a	n/a	n/a	16A	One 20A branch circuit	20A dual pole (non-GFCI type)
Service Panel GFCI	Do not provide external GFCI as it may conflict with internal GFCI (CCID)					
Wiring - Standard	3-wire (L1, L2, Earth)			5-wire (L1, L1, L2, L2, Earth)		
Wiring - Power Share	n/a			3-wire (L1, L2, Earth)		
Station Power	8 W typical (standby), 15 W maximum (operation)					

### Electrical Output

Standard	7.2 kW (240V AC @ 30A)	7.2 kW (240V AC @ 30A) x 2
Standard Power Share	n/a	7.2 kW (240V AC @ 30A) x 1 or 3.8 kW (240V AC @ 16A) x 2
Power Select 24A	5.8 kW (240V AC @ 24A)	5.8 kW (240V AC @ 24A) x 2
Power Select 24A Power Share	n/a	5.8 kW (240V AC @ 24A) x 1 or 2.9 kW (240V AC @ 12A) x 2
Power Select 16A	3.8 kW (240V AC @ 16A)	3.8 kW (240V AC @ 16A) x 2
Power Select 24A Power Share	n/a	3.8 kW (240V AC @ 16A) x 1 or 1.9 kW (240V AC @ 8A) x 2

### Functional Interfaces

Connector(s) Type	SAE J1772™	SAE J1772™ x 2
Cable Length - 1830 mm (6 ft)	5.5 m (18 ft)	5.5 m (18 ft) x 2
Cable Management	Yes	
Overhead Cable Management System	Yes	
LCD Display	145 mm (5.7 in) full color, 640 x 480, 30 fps full motion video, active matrix, UV protected	
Card Reader	ISO 15693, ISO 14443, NFC	
Locking Holster	Yes	Yes x 2

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ChargePoint CT4000 Complete

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### Highlights

Feature	Description
Commercial Cloud Plan	Network services and software, including: unlimited station configuration and policy changes, waitlist feature, power management configuration, valet services, access control setup and more. Also includes ongoing station manager and driver support.
Activation and Station Configuration	Connection of station to charging network. ChargePoint works remotely with the station administrator on set-up and configuration including: pricing, access control, administration rights, advertisements and more.
Site Validation	On-site verification of electrical site work and station installation required for Assure Plan.
Assure Plan	Comprehensive protection plan providing 24/7 station monitoring and service dispatch. Includes parts and labor coverage for repairs (labor only for vandalism), 98% annual uptime guarantee, one business day response time and more.
Concrete Mounting Kit for Bollard stations	Kit to allow installation of a bollard mount station on to concrete. The same kit supports casting into new concrete or installing on existing concrete. Reference installation guide for detailed instructions.
Power Management Kit for Dual Port stations	Kit to allow both ports on a dual-port station to share a single two-pole 40A circuit breaker. Reference installation guide for wiring diagrams.
Station Manager and Driver Support	24/7 Driver Support: Assists EV drivers with questions about charging. Station Manager Support: Supports station managers over the phone (5 AM - 6 PM PT) or via email.

### Safety and Connectivity Features

Ground Fault Detection	20 mA CCID with auto retry
Open Safety Ground Detection	Continuously monitors presence of safety (green wire) ground connection
Plug-Out Detection	Power terminated per SAE J1772™ specifications
Power Measurement Accuracy	+/- 2% from 2% to full scale (30A)
Power Report/Store Interval	15 minute, aligned to hour
Local Area Network	2.4 GHz WiFi (802.11 b/g/n)
Wide Area Network	LTE Category 4

### Safety and Operational Ratings

Enclosure Rating	Type 3R per UL 50E
Safety Compliance	UL listed and cUL certified; complies with UL 2594, UL 2231-1, UL 2231-2, and NEC Article 625
Surge Protection	6 kV @ 3,000A. In geographic areas subject to frequent thunderstorms, supplemental surge protection at the service panel is recommended
EMC Compliance	FCC Part 15 Class A
Operating Temperature	-40°C to 50°C (-40°F to 122°F)
Storage Temperature	-40°C to 60°C (-40°F to 140°F)
Non-Operating Temperature	-40°C to 60°C (-40°F to 140°F)
Operating Humidity	Up to 85% @ 50°C (122°F) non-condensing
Non-Operating Humidity	Up to 95% @ 50°C (122°F) non-condensing
Terminal Block Temperature Rating	105°C (221°F)
Network	All stations include Integral LTE modem

ChargePoint, Inc. reserves the right to alter product offerings and specifications at any time without notice, and is not responsible for typographical or graphical errors that may appear in this document.

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### Contact Us

EVCharging@Turtle.com



Listed by Underwriters Laboratories Inc.

DATE	REVISION	DRAWN	CHECKED	RELEASED
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13	13