## Seacliff Terrace

oceanside | california



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### PROJECT DOCUMENTS AVAILABLE ON WEB LINKS BELOW:

- 1. Tentative Map
- 2. Civil Plans
- 3. Substantial Conformation Application
- 4. Final Working Drawings

#### **EXECUTIVE SUMMARY**

CH Oceanside, LLC is offering for sale a 52 unit plus 1,000 SF of retail fully approved project on the west side of I-5, northwest of the Highway 76 / North Coast Highway intersection.

The site overlooks the San Luis Rey River with great views of the Oceanside yacht basin and white water ocean views.

Seacliff Terrace is a four-story product, plus an expansive 4,300 SF roof deck, over two levels of subterranean parking designed by Withee Malcolm Architects. The units average 1,319 square feet, and are two & three bedroom units with 2 baths. There are two retail spaces totaling 1,000 square feet, plus a dedicated restroom, on the first level.

This project recently received substantial conformance to add a 4,300 SF roof deck with firepits, BBQ areas, pool table, shuffle board and lounging area opportunities. Also completed was an extensive design development effort to value engineer and streamline the design of the project. Among many other recent changes, the unit types were reduced to 6 floorplans. In addition, a nearly 1,500 SF exercise room, lounge, lobby and mailroom was added on the first level. These additional amenities compare favorably with all the luxury condo developments in the County.

This project has complete architectural working drawings (including all other MEP's, Structural, etc.), as well as final engineering, in final plan check for permits; an approved Tentative Map, Development Plan, Coastal Permit and Certified EIR.

The Final Map will be ready to record and Permits ready to pull almost immediately after the close of escrow.

Seacliff Terrace is one of the few remaining opportunities in San Diego County to build a coastal luxury condominium project with yacht basin and white water views.

Click links below for panoramic views from the 3rd & 4th floor, and rooftop deck.

Third Floor Views
Fourth Floor Views
Roof Deck Views
Birds Eye View

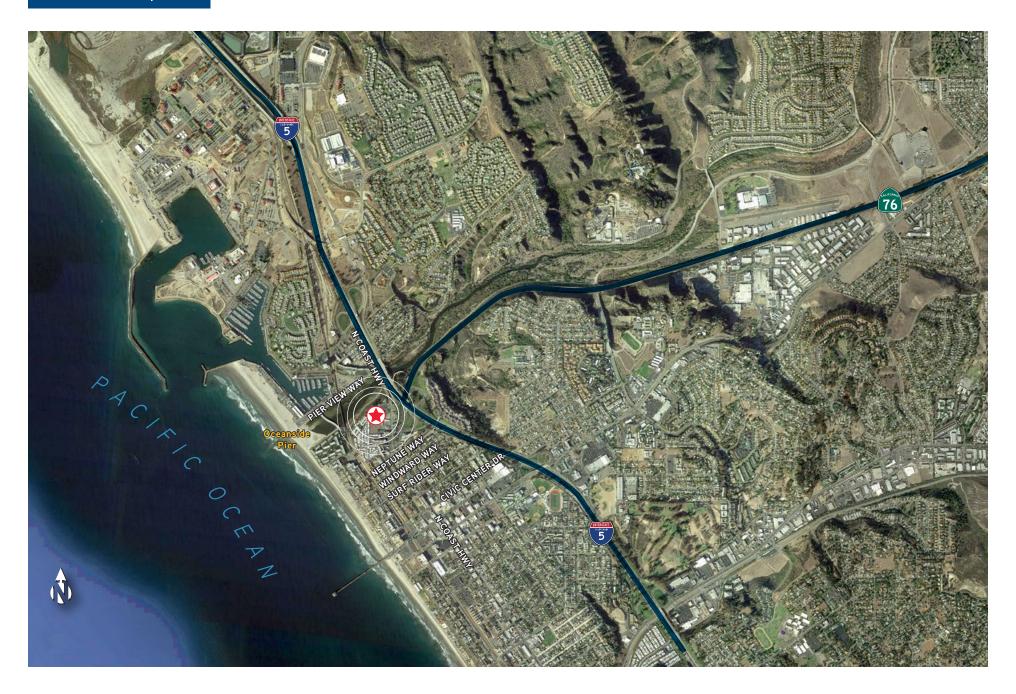
Visit the Seacliff Terrace website for other pertinent project information:

SEACLIFF TERRACE - WEBSITE

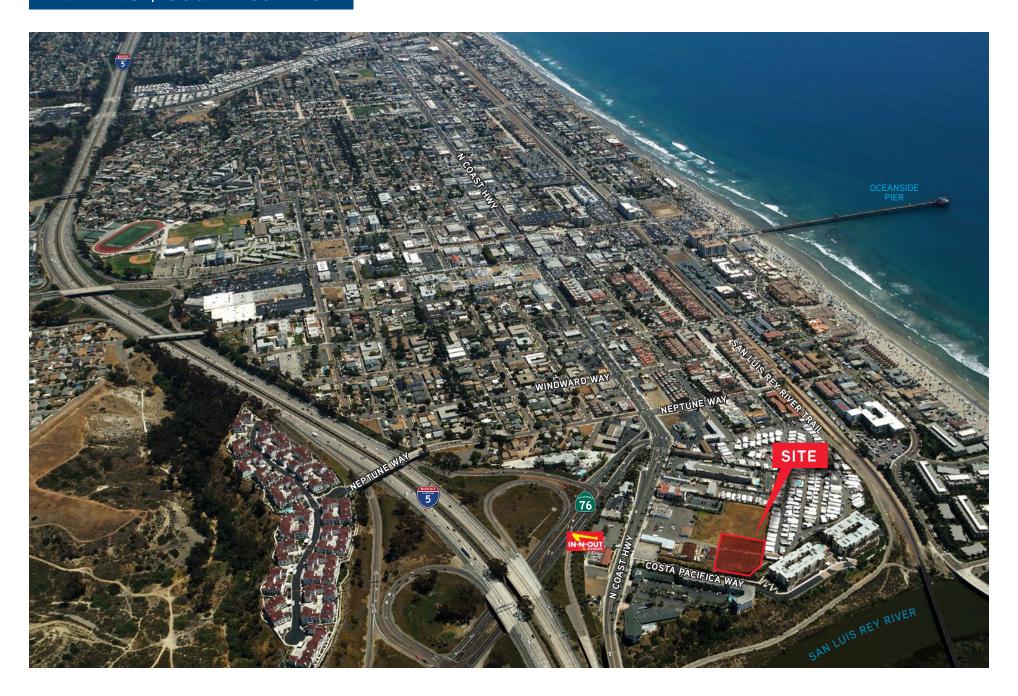
#### **SUBMIT ALL OFFERS TO:**

GUNDER CREAGER c/o Colliers International 4350 La Jolla Village Dr., Ste. 500 San Diego, CA 92122 gunder.creager@colliers.com

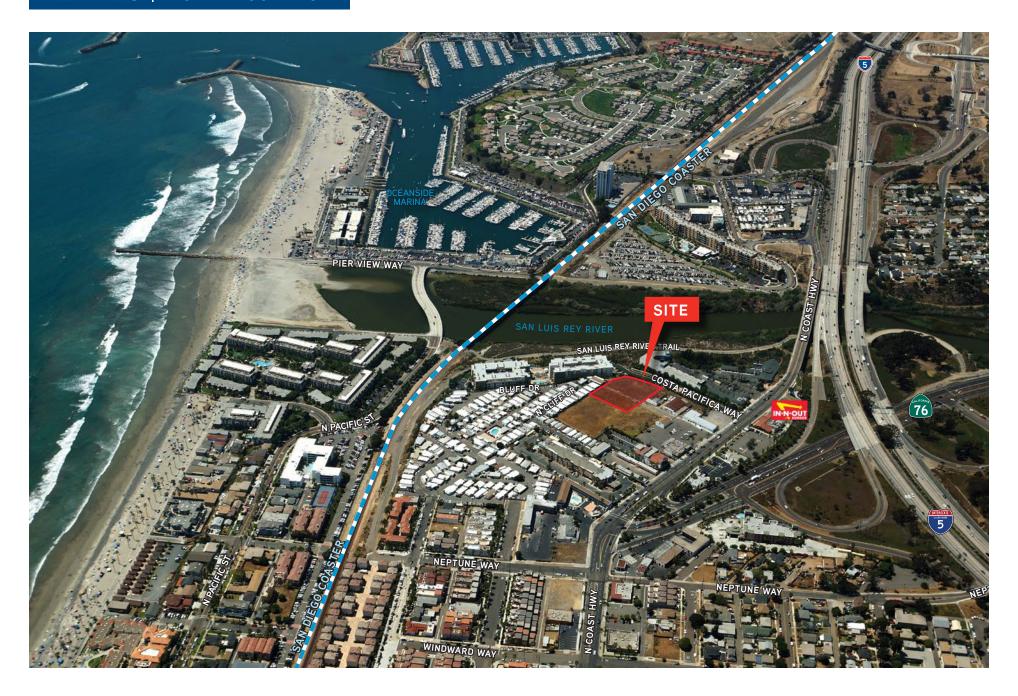
### AERIALS | Far



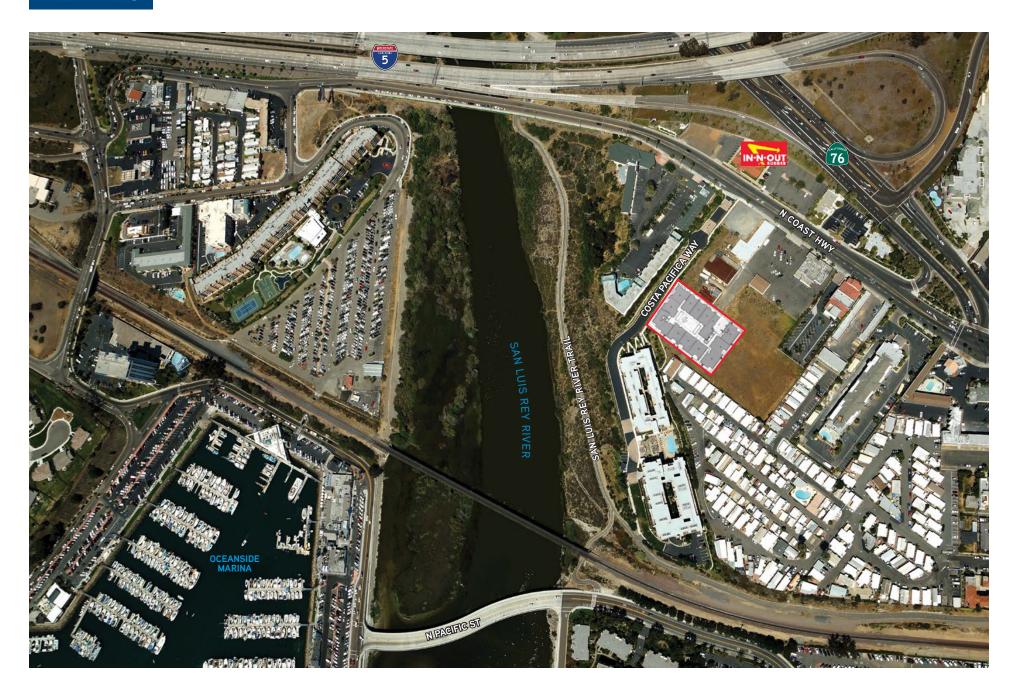
### AERIALS | Southwest View



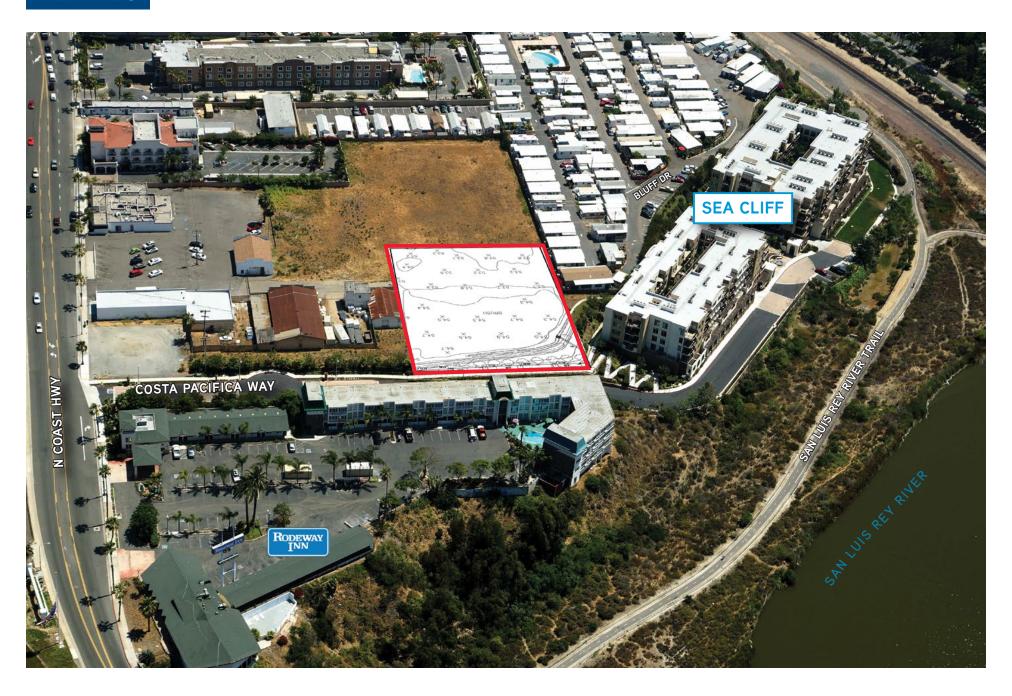
### AERIALS | Northwest View



### AERIALS



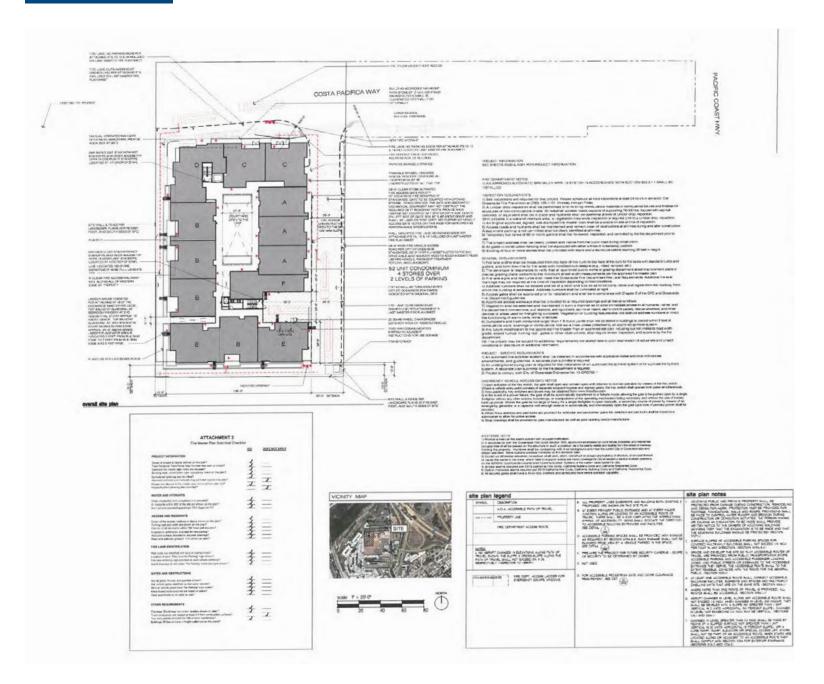
### AERIALS



### AERIALS



### SITE PLAN





### CONCEPTUAL RENDERINGS



### CONCEPTUAL RENDERINGS



### CONCEPTUAL RENDERINGS | Roof Deck



### PROJECT SUMMARY

#### Property Location

South side of Costa Pacifica Way, west of Pacific Coast Boulevard

#### APN's

143-040-23 50.965 square feet 143-040-54 21,780 square feet

#### Acreage

Gross: 72,678 square feet

#### Units

52 units plus 1,000 square feet of retail

#### Services

City of Oceanside Water/Sewer: School Districts: Oceanside Unified School

Gas & Electric: SDG&E Cable Cox Cable

#### Construction Type

4 levels Type V-A over 2 levels of Type 1-A

#### Entitlements

Tentative Map (RT13-00001), Development Plan (RD13-00001). Two Conditional Use Permits (RCUP13-00001 & 00002), Regular Coastal Permit (RRP13-00001) & Variance (RV13-00001)

#### Environmental

Certified EIR

#### Affordable Units

There is no affordable housing fee or requirement to build inclusionary housing on-site.

#### Tax Rate

1.06185%

#### **Estimated Improvements**

\$3,510 per unit

#### Consultants

Paid by Seller \$664,000

#### Estimated Bonds & Fees

\$18,045 per unit

#### Estimated Total

\$21,555 per unit

#### Unit Features

The 2 and 3 bedroom stacked flat units range from 1,111 to 1,788 square feet, with 2 bathrooms. They have private entry corridors with decks from 85 to 476 square feet, along with private balcony storage and a lush courtyard interior. There are washer & dryer hook-ups in each unit.

#### **Amenities**

Landscaped interior courtyard, onsite retail shops with outside view patio, public deck featuring harbor and ocean views. City approved roof deck, with dining and lounge areas featuring unobstructed ocean views, and a direct link to City's coastal bike path, and beach access, exercise room, mailroom, lounge & lobby.





### PROJECT SUMMARY

#### **Unit Mix**

UNIT	NET AREA	PER FLOOR	TOTAL UNITS	TOTAL NET AREA	DECK NET AREA
А	1,111 sf	3	12	13,332	88 sf
В	1,309 sf	4	16	20,944	147 sf
С	1,286 sf	2	8	10,288	149 sf
D	1,788 sf	1	4	7,152	476 sf
Е	1,461 sf	2	8	11,688	112 sf
F	1,292 sf	1	4	5,168	85 sf
TOTALS	8,247 sf	13	52	68,572	1,057 sf
	WEIGHTED AVERAGE 1,318 sf				AVERAGE 176 sf



Residential 104 Guests Retail TOTAL REQUIRED 114 TOTAL PROVIDED 114

# Required Open Space 10,400 square feet

# Provided Open Space 16,215 square feet





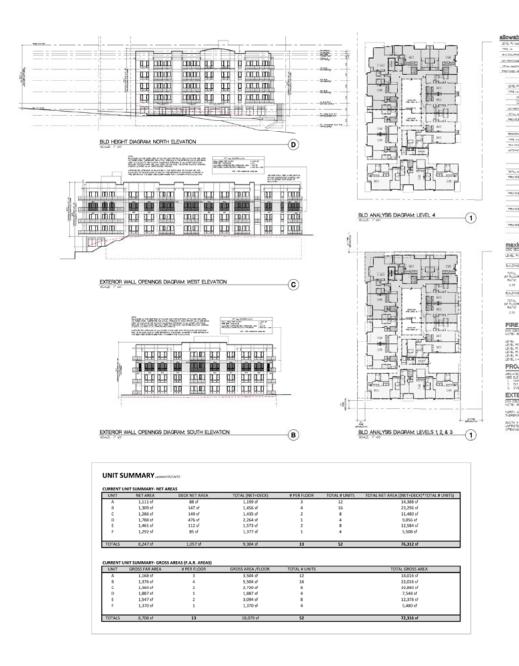


### ESTIMATED BONDS & FEES AND CONSULTANTS

#### PRELIMINARY COSTS BUDGET SUMMARY

Seacliff Terrace Mixed Use Development City of Oceanside

BONDS/FEES					
BONDS Performance 1%	915,092 @	0.50%	=	\$4,575	
Labor & Materials 5%	915,092 @	0.50%	_	\$4,575	
Warranty Bond .25%	915,092 @	0.25%	=	\$2,288	
PLAN CHECK & INSPECTION (DUE PRIOR TO FINAL MAP RECORDATION)					
PLAN CHECK					
Grading	LS\$@	0	=	\$0	
Storm, Sewer, Street, Water @ 2.25%		\$565,003	=	\$0	
Landscape @ 3.5%			=	\$0	
Storm, Sewer, Street, Water @ 2.5% Coastal Development Permit	DU@\$	\$565,003	=	\$0 \$0	
Grading Deposit	LS@\$		_	\$0	
Conditional Use Permit	LS@\$		_	\$0	
Variance (excl. exist sf)	LS@\$		=	\$0	
Dev. Plan-Comm/Ind 10 to 100 ac	LS@\$		=	\$0	
Drainage Fees Major Watercourse	AC@\$		=	\$0	
Stormwater O & M Report Review Technical Study Review- Drainage Study	1.00 LS@\$ 1.00 LS@\$	2,994 830	=	\$0 \$0	PAID BY SELLE PAID BY SELLE
Landscape @ 5%	1.00 L3@\$	630	-	\$0	FAID BY SELLE
Tentative Map Base Fee	LS@\$		=	\$0	
Tentative Map Per Lot	DU@\$		=	\$0	
Final Map \$657 + \$56/lot	LS@\$		=	\$0	
Environmental Fees					
Full Review	LS@\$		=	\$0 \$0	
Focused/Per Issue Assess/Clear/Neg. Dec	LS@\$ LS@\$		=	\$0 \$0	
Neighborhood Notification/PC	LS@\$		=	\$0 \$0	
Neighborhood Notification/CC	LS@\$		=	\$0	
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DUE AT FINAL ENGINEERING					
Drainage - Major Watercourse	1.67 AC@\$ 1.67 AC@\$	3,842 7.500	=	\$6,416 \$12.525	
Drainage - Local Facility Final Map	1.67 AC@\$ 1 LS@\$	7,500 6,760 +\$56/Unit	=		PAID BY SELLE
rinai Map	i Ls@\$	0,700 +\$30/UNIL	=	\$0	PAID BY SELLE
DUE AT BUILDING PERMIT					
THOROUGHFARE - Non-Residential (includes 75% reduction for non-residential)	11.5 TRIP@\$	255.00	=	\$2,933	
THOROUGHFARE/RTCIP - Multi-Family	52.0 DU@\$	2,297.20	=	\$119,454	
TRAFFIC SIGNAL	458.0 TRIP@\$ 68.572 SF@\$	15.71 3.20	=	\$7,195 \$219.430	
SCHOOL - Residential SCHOOL - Non-Residential	1,000 SF@\$	3.20 0.51	=	\$219,430 \$510	
PARK DEDICATION & IMPROVEMENTS	52 DU@\$	3,503.00	_	\$182,156	
PUBLIC FACILITIES - Residential	52 DU@\$	2,072.00	=	\$107,744	
PUBLIC FACILITIES - Non-Residential	1,000 1,000SF@\$	713.00	=	\$713	
INCLUSIONARY HOUSING - In Lieu	68,816 SF@\$	2.11	=		N/A
INCLUSIONARY HOUSING - Admin Fee	1,000+\$100/U		=		N/A
SEWER BUY-IN FEE - Residential	1 METER@\$	94,689.00	=	\$94,689	
O'SIDE WATER METER - Residential WATER BUY_IN FEE - Residential	1 METER@\$ 1 METER@\$	2,614.00 68,954.00	-	\$2,614 \$68,954	
SDCWA CAPACITY CHGS - Residential	1 METER@\$	46,080.00	-	\$46.080	
SEWER BUY-IN FEE - Non-Residential	1 METER@\$	15,782.00	=	\$15,782	
O'SIDE WATER METER - Non-Residential	1 METER@\$	674.00	=	\$674	
WATER BUY_IN FEE - Non-Residential	1 METER@\$	11,492.00	=	\$11,492	
SDCWA CAPACITY CHGS - Non-Residential	1 METER@\$	7,680.00	=	\$7,680	
O'SIDE WATER METER - Irrigation WATER BUY_IN FEE - Irrigation	1 METER@\$ 1 METER@\$	674.00 11,492.00	=	\$674 \$11,492	
SDCWA CAPACITY CHGS - Irrigation	1 METER@\$	7,680.00	-	\$7,680	
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SUBTOTAL				\$938,326	
TOTAL BONDS & FEES				\$938,326	
COST PER UNIT				\$18,045	
CONSULTANT FEES & SERVICES - POST TENTATIVE MAP (PAID OR TO BE PAID BY SE	LLER)				
Civil Engineering (Office)	1 LS@\$	97,970	=	\$97,970	PAID BY SELLE
Land Planning	1 LS@\$	7,000	=		PAID BY SELLE
Soils Engineering	1 LS@\$	2,500	=		PAID BY SELLI
Acoustical Engineering	1 LS@\$	5,600	=		
Dry Utilities Engineering Building & Fire Code Consulting	1 LS@\$ 1 LS@\$	10,400 5,000	=	\$5,000	PAID BY SELLI PAID BY SELLI
Engineering Reimbursables	1 LS@\$	2,147	=	\$2.147	PAID BY SELL
Site Lighting Design Consulting	1 LS@\$	8,105	=	\$8,105	PAID BY SELL
Landscape Architect	1 LS@\$	11,400	=	\$11,400	PAID BY SELLI
Architect	1 LS@\$	314,405	=		PAID BY SELL
Structural Engineering & Shoring	1 LS@\$	104,300	=	\$104,300	PAID BY SELLI
MEP Design Blueprints & Reproduction	1 LS@\$ 1 LS@\$	55,455 2,000	=	\$55,455	PAID BY SELL PAID BY SELL
Construction Management Consulting	1 LS@\$ 1 LS@\$	35,000	=		PAID BY SELL PAID BY SELL
Legal	1 LS@\$	3,100	=		PAID BY SELL
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COST PER UNIT					

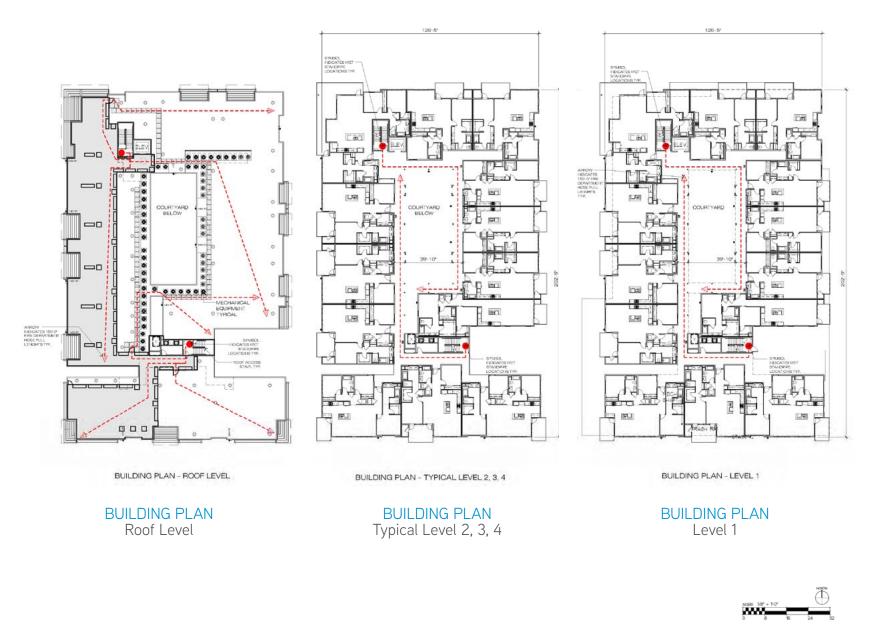


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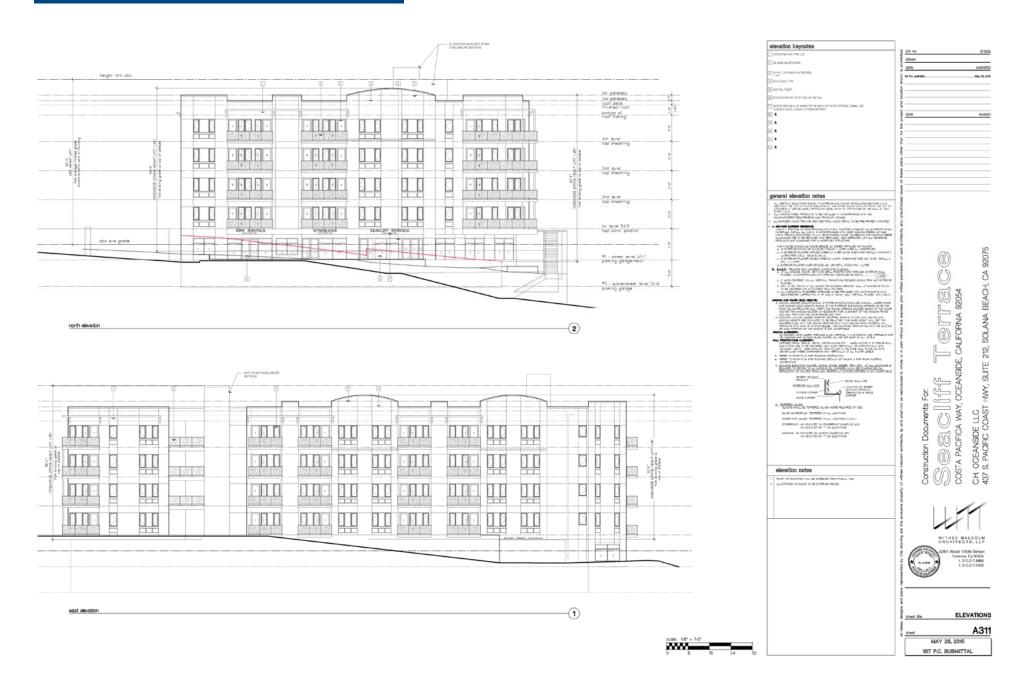
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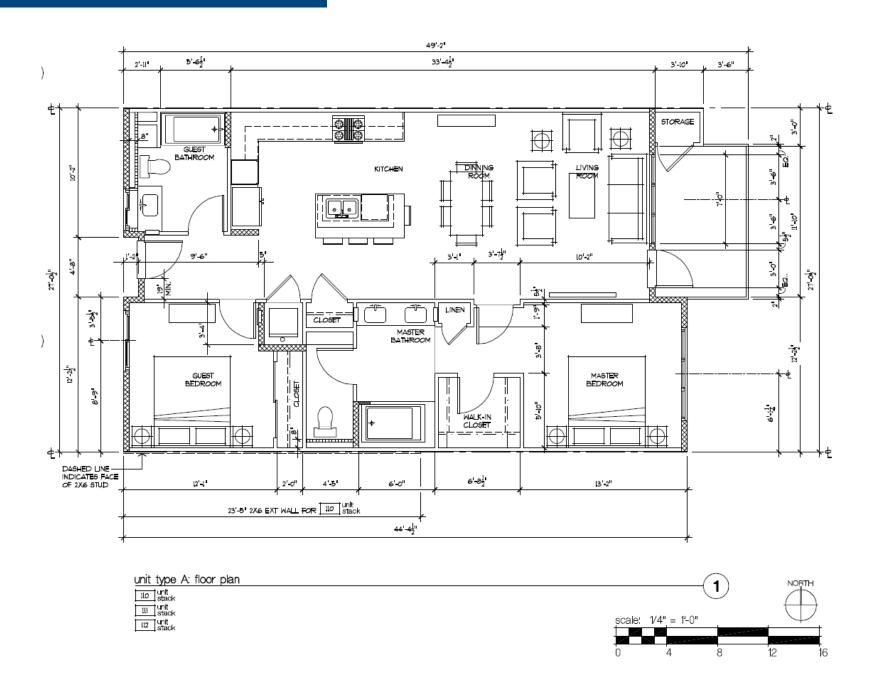


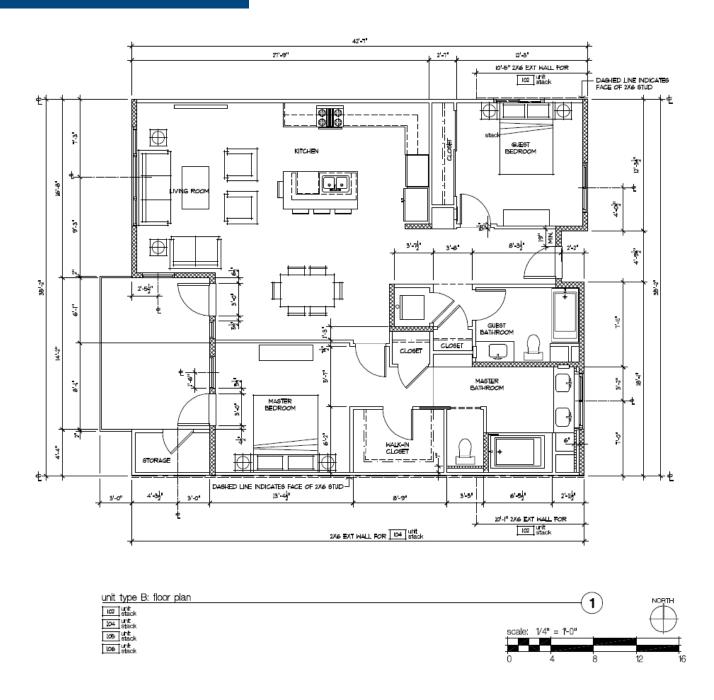


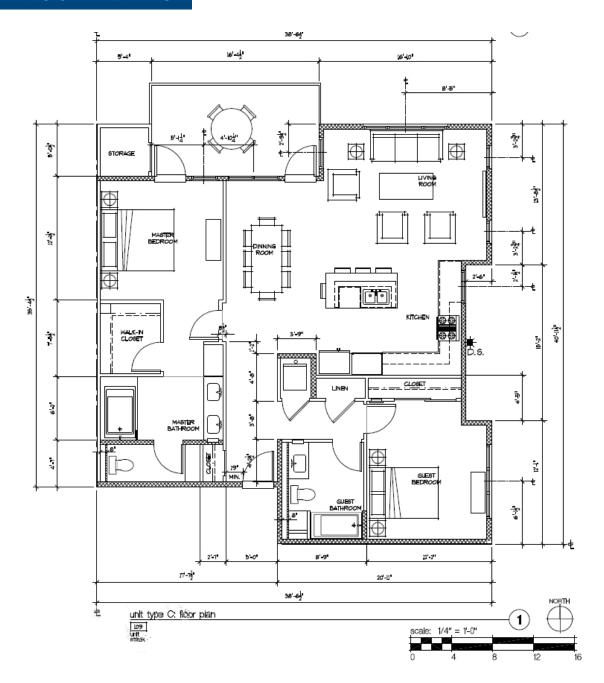


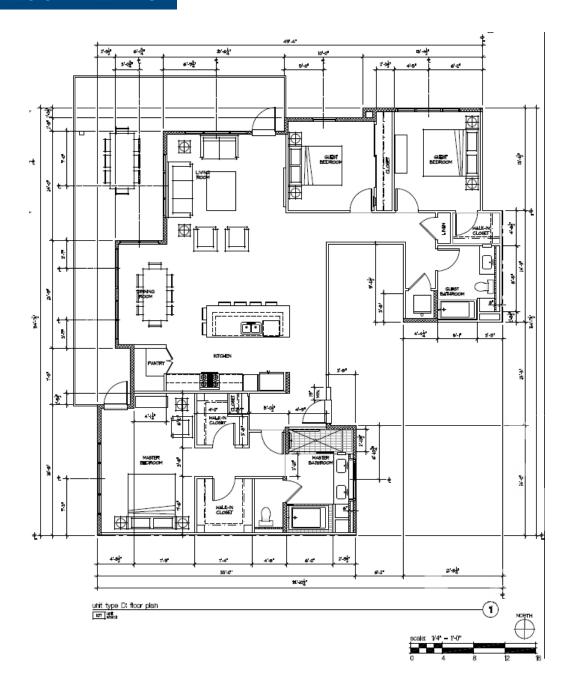


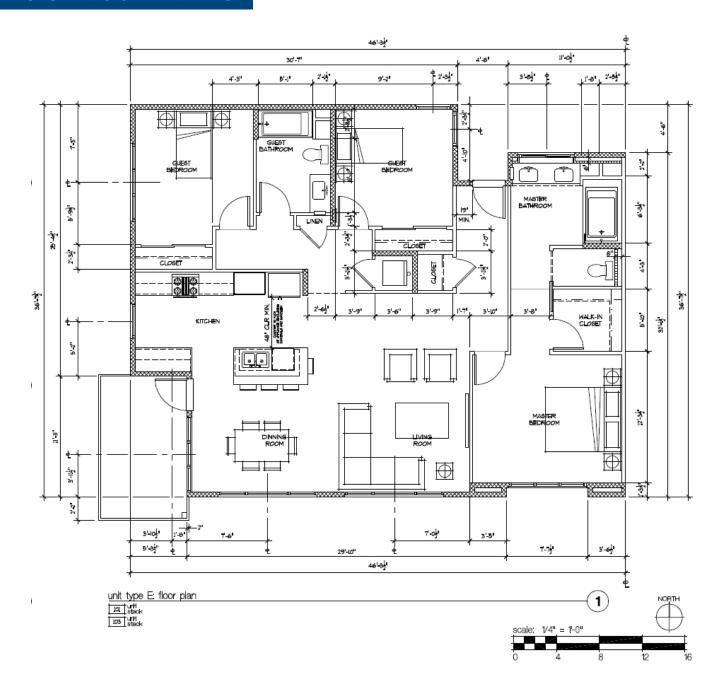
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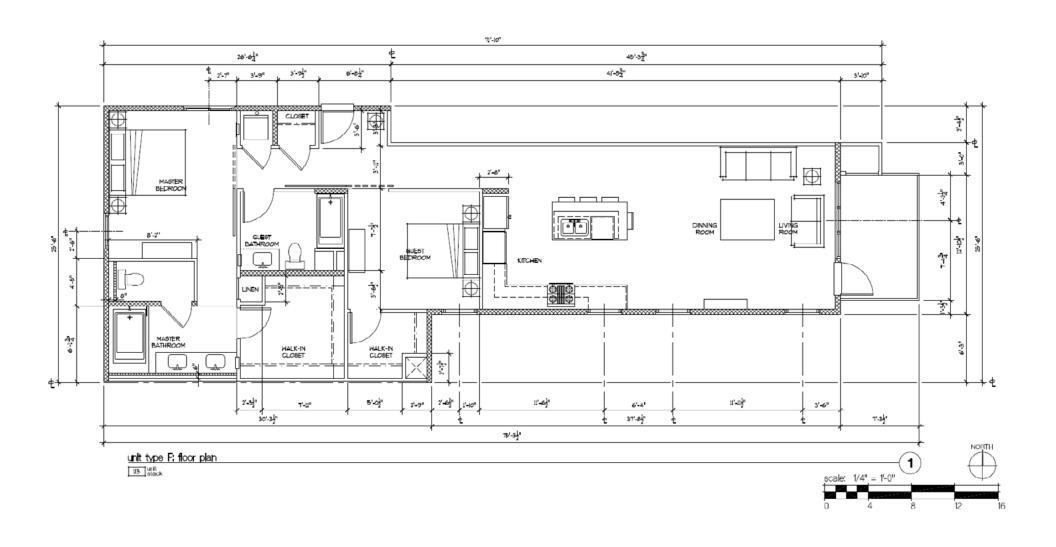












### RESALE COMPS

### Seacliff Resales

ADDRESS	SALE DATE	PRICE	SQ FT	\$/SF
1019 COSTA PACIFICA WAY # 1102	1/24/2014	\$535,000	1,143	\$468
1019 COSTA PACIFICA WAY # 1105	6/2/2014	\$610,000	1,143	\$534
1019 COSTA PACIFICA WAY # 1206	4/4/2014	\$675,000	1,519	\$444
1019 COSTA PACIFICA WAY # 1209	4/28/2015	\$545,000	1,454	\$375
1019 COSTA PACIFICA WAY # 1302	5/17/2016	\$695,000	1,143	\$608
1019 COSTA PACIFICA WAY # 1306	5/1/2014	\$640,000	1,519	\$421
1019 COSTA PACIFICA WAY # 1307	7/10/2015	\$470,000	1,143	\$411
1019 COSTA PACIFICA WAY # 1405	10/3/2014	\$625,000	1,143	\$547
1019 COSTA PACIFICA WAY # 1407	3/16/2015	\$485,000	1,143	\$424
1021 COSTA PACIFICA WAY # 2101	3/21/2014	\$650,000	1,412	\$460
1021 COSTA PACIFICA WAY # 2103	5/13/2015	\$675,000	1,387	\$487
1021 COSTA PACIFICA WAY # 2107	8/1/2013	\$423,000	1,143	\$370
1021 COSTA PACIFICA WAY # 2112	4/22/2016	\$432,500	1,057	\$409
1021 COSTA PACIFICA WAY # 2201	8/29/2013	\$630,000	1,412	\$446
1021 COSTA PACIFICA WAY # 2203	2/16/2012	\$600,000	1,387	\$433
1021 COSTA PACIFICA WAY # 2205	3/23/2016	\$707,500	1,387	\$510
1021 COSTA PACIFICA WAY # 2205	3/23/2016	\$707,500	1,387	\$510
1021 COSTA PACIFICA WAY # 2208	1/25/2016	\$465,000	1,143	\$407
1021 COSTA PACIFICA WAY # 2212	6/3/2016	\$430,750	1,057	\$408
1021 COSTA PACIFICA WAY # 2301	4/26/2016	\$651,888	1,412	\$462
1021 COSTA PACIFICA WAY # 2303	10/27/2014	\$665,000	1,387	\$479
1021 COSTA PACIFICA WAY # 2304	7/24/2015	\$705,000	1,387	\$508
1021 COSTA PACIFICA WAY # 2308	3/1/2016	\$498,000	1,143	\$436
1021 COSTA PACIFICA WAY # 2401	6/25/2010	\$760,000	1,412	\$538
1021 COSTA PACIFICA WAY # 2402	6/29/2010	\$680,000	1,387	\$490
1021 COSTA PACIFICA WAY # 2403	11/25/2014	\$675,000	1,387	\$487
1021 COSTA PACIFICA WAY # 2407	3/17/2016	\$549,000	1,143	\$480
1021 COSTA PACIFICA WAY # 2413	9/28/2015	\$490,000	1,191	\$411
1021 COSTA PACIFICA WAY # 2207	PENDING	\$530,000	1,143	\$464
1019 COSTA PACIFICA WAY # 1205	PENDING	\$698,000	1,143	\$611
	TOTAL	\$17,903,138	38,257	\$468
	AVERAGE	\$596,771	1,275	\$468

### Seacliff Terrace Unit Sizes

UNIT	SQ FT
UNIT A	1,111
UNIT B	1,309
UNIT C	1,286
UNIT D	1,788
UNIT E	1,461
UNIT F	1,292
AVERAGE	1,375



### SALE PROCESS

#### Price

\$6,900,000 (\$132,700/Unit)

#### Terms

All cash at the close of escrow.

#### Deposit

Upon acceptance of an offer, the selected Buyer shall deposit \$250,000 to open the escrow. Upon the successful completion of the Due Diligence period, the Buyer shall increase the deposit to \$500,000. The deposit shall become non-refundable and be released by escrow to the Sellers.

#### Offers

Submit all offers to:

Gunder Creager c/o Colliers International 4350 La Jolla Village Dr., Suite 500 San Diego, CA 92122 Email: gunder.creager@colliers.com

#### Due Diligence

Buyer shall have forty-five (45) days from the acceptance of the Letter of Intent to complete their due diligence.

#### Esrow

Escrow shall be opened at the San Diego office of First American Title Company of San Diego.

#### Close

30 days after the end of the Due Diligence period.













#### **GUNDER CREAGER**

Senior Executive Vice President +1 858 677 5380 gunder.creager@colliers.com Lic. No. 00864355



4350 La Jolla Village Drive Suite 500 San Diego, CA 92122 +1 858 455 1515 main colliers.com/sandiego