

Seacliff Terrace

oceanside | california

52 Units | PERMIT READY
Coastal Development Permit

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PROJECT DOCUMENTS AVAILABLE ON WEB LINKS BELOW:

1. [Tentative Map](#)
2. [Civil Plans](#)
3. [Substantial Conformation Application](#)
4. [Final Working Drawings](#)

EXECUTIVE SUMMARY

CH Oceanside, LLC is offering for sale a 52 unit plus 1,000 SF of retail fully approved project on the west side of I-5, northwest of the Highway 76 / North Coast Highway intersection.

The site overlooks the San Luis Rey River with great views of the Oceanside yacht basin and white water ocean views.

Seacliff Terrace is a four-story product, plus an expansive 4,300 SF roof deck, over two levels of subterranean parking designed by Withee Malcolm Architects. The units average 1,319 square feet, and are two & three bedroom units with 2 baths. There are two retail spaces totaling 1,000 square feet, plus a dedicated restroom, on the first level.

This project recently received substantial conformance to add a 4,300 SF roof deck with firepits, BBQ areas, pool table, shuffle board and lounging area opportunities. Also completed was an extensive design development effort to value engineer and streamline the design of the project. Among many other recent changes, the unit types were reduced to 6 floorplans. In addition, a nearly 1,500 SF exercise room, lounge, lobby and mailroom was added on the first level. These additional amenities compare favorably with all the luxury condo developments in the County.

This project has complete architectural working drawings (including all other MEP's, Structural, etc.), as well as final engineering, in final plan check for permits; an approved Tentative Map, Development Plan, Coastal Permit and Certified EIR.

The Final Map will be ready to record and Permits ready to pull almost immediately after the close of escrow.

Seacliff Terrace is one of the few remaining opportunities in San Diego County to build a coastal luxury condominium project with yacht basin and white water views.

Click links below for panoramic views from the 3rd & 4th floor, and rooftop deck.

[Third Floor Views](#)

[Fourth Floor Views](#)

[Roof Deck Views](#)

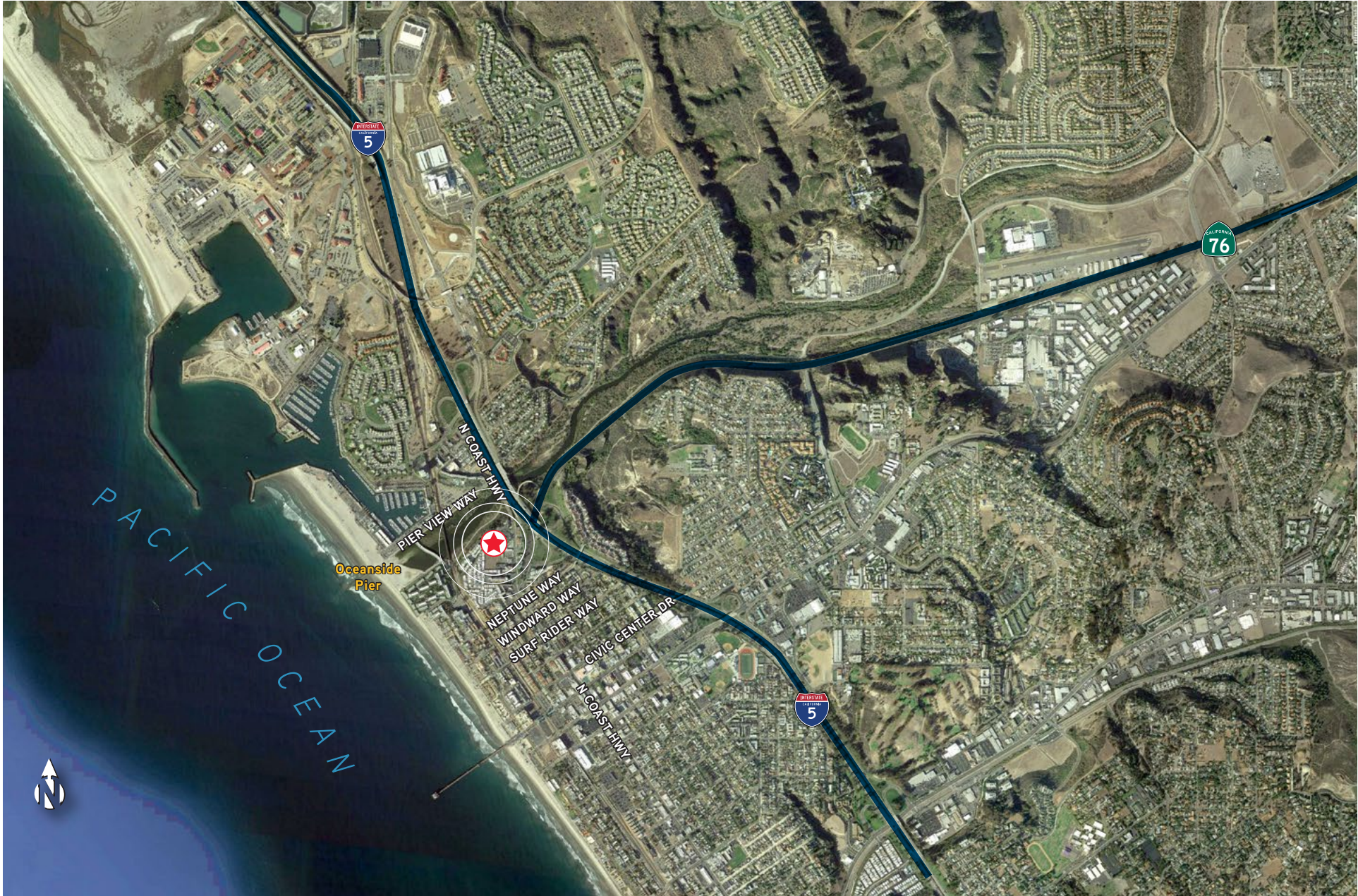
[Birds Eye View](#)

Visit the Seacliff Terrace website for other pertinent project information:

[SEACLIFF TERRACE - WEBSITE](#)

SUBMIT ALL OFFERS TO:

GUNDER CREAGER
c/o Colliers International
4350 La Jolla Village Dr., Ste. 500
San Diego, CA 92122
gunder.creager@colliers.com



AERIALS | Southwest View



AERIALS | Northwest View



AERIALS



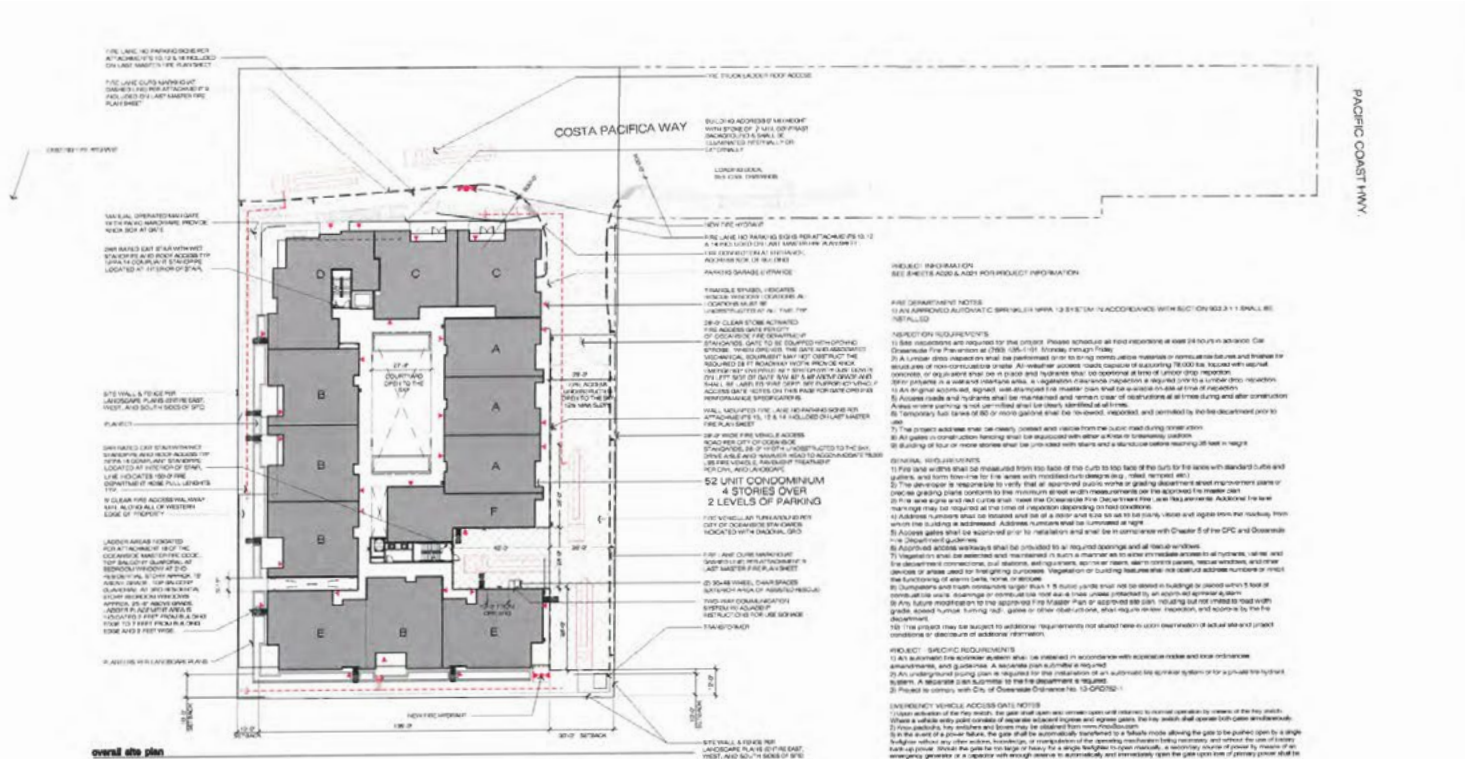
AERIALS



AERIALS



SITE PLAN



ATTACHMENT 3
Fire Master Plan Submittal Checklist

PROJECT INFORMATION	YES	NO/NEEDS
1. Has the fire master plan been approved by the fire department?		
2. Has the fire master plan been approved by the fire department?		
3. Has the fire master plan been approved by the fire department?		
4. Has the fire master plan been approved by the fire department?		
5. Has the fire master plan been approved by the fire department?		
6. Has the fire master plan been approved by the fire department?		
7. Has the fire master plan been approved by the fire department?		
8. Has the fire master plan been approved by the fire department?		
9. Has the fire master plan been approved by the fire department?		
10. Has the fire master plan been approved by the fire department?		



Construction Documents For

Seacliff Terrace

COSTA PACIFICA WAY, OCEANSIDE, CALIFORNIA 92054
C.H. OCEANSIDE LLC
437 S. PACIFIC COAST HWY, SUITE 212, SOLANA BEACH, CA 92075

WITH ES & ALCOLE ARCHITECTS, L.P.

3051 West 109th Street
Beverly, CA 90504
1.310.371.8888
1.310.217.0428

fire master plan

A063

MAY 26, 2015

1ST P.C. SUBMITTAL

CONCEPTUAL RENDERINGS



CONCEPTUAL RENDERINGS



CONCEPTUAL RENDERINGS | Roof Deck



PROJECT SUMMARY

Property Location

South side of Costa Pacifica Way,
west of Pacific Coast Boulevard

APN's

143-040-23 50,965 square feet
143-040-54 21,780 square feet

Acreage

Gross: 72,678 square feet

Units

52 units plus 1,000 square feet of retail

Services

Water/Sewer: City of Oceanside
School Districts: Oceanside Unified School
Gas & Electric: SDG&E
Cable: Cox Cable

Construction Type

4 levels Type V-A over 2 levels of Type 1-A

Entitlements

Tentative Map (RT13-00001), Development Plan (RD13-00001), Two Conditional Use Permits (RCUP13-00001 & 00002), Regular Coastal Permit (RRP13-00001) & Variance (RV13-00001)

Environmental

Certified EIR

Affordable Units

There is no affordable housing fee or requirement to build inclusionary housing on-site.

Tax Rate

1.06185%

Estimated Improvements

\$3,510 per unit

Consultants

Paid by Seller \$664,000

Estimated Bonds & Fees

\$18,045 per unit

Estimated Total

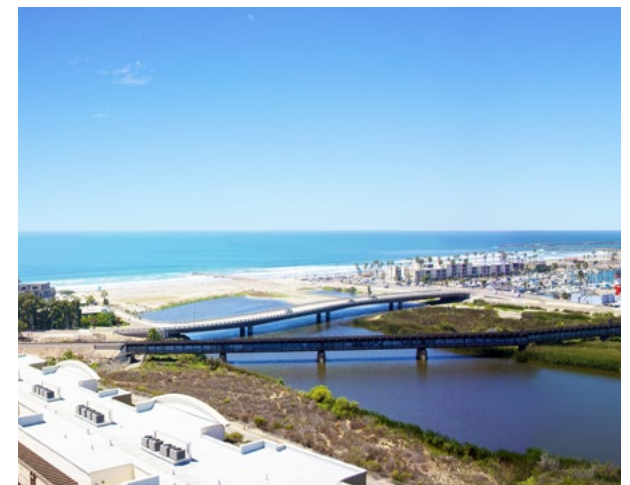
\$21,555 per unit

Unit Features

The 2 and 3 bedroom stacked flat units range from 1,111 to 1,788 square feet, with 2 bathrooms. They have private entry corridors with decks from 85 to 476 square feet, along with private balcony storage and a lush courtyard interior. There are washer & dryer hook-ups in each unit.

Amenities

Landscaped interior courtyard, onsite retail shops with outside view patio, public deck featuring harbor and ocean views. City approved roof deck, with dining and lounge areas featuring unobstructed ocean views, and a direct link to City's coastal bike path, and beach access, exercise room, mailroom, lounge & lobby.



PROJECT SUMMARY

Unit Mix

UNIT	NET AREA	PER FLOOR	TOTAL UNITS	TOTAL NET AREA	DECK NET AREA
A	1,111 sf	3	12	13,332	88 sf
B	1,309 sf	4	16	20,944	147 sf
C	1,286 sf	2	8	10,288	149 sf
D	1,788 sf	1	4	7,152	476 sf
E	1,461 sf	2	8	11,688	112 sf
F	1,292 sf	1	4	5,168	85 sf
TOTALS	8,247 sf	13	52	68,572	1,057 sf
	WEIGHTED AVERAGE				AVERAGE
	1,318 sf				176 sf

Parking Spaces

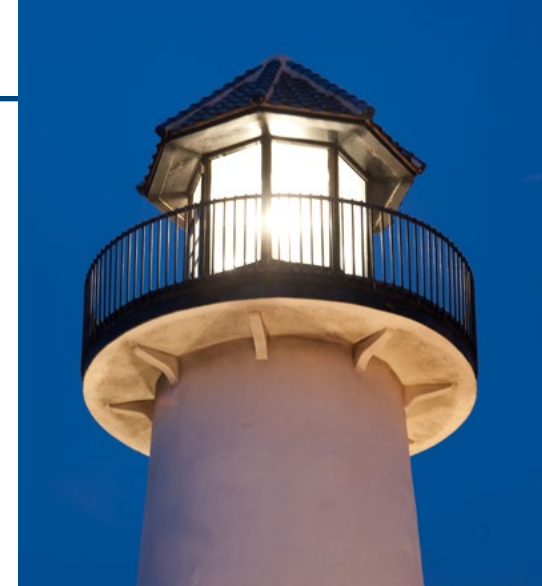
Residential	104
Guests	5
Retail	5
TOTAL REQUIRED	114
TOTAL PROVIDED	114

Required Open Space

10,400 square feet

Provided Open Space

16,215 square feet



ESTIMATED BONDS & FEES AND CONSULTANTS

PRELIMINARY COSTS BUDGET SUMMARY

Seacliff Terrace
Mixed Use Development
City of Oceanside

BONDS/FEES					
BONDS					
Performance 1%	915,092 @	0.50%	=	\$4,575	
Labor & Materials .5%	915,092 @	0.50%	=	\$4,575	
Warranty Bond .25%	915,092 @	0.25%	=	\$2,288	
PLAN CHECK & INSPECTION (DUE PRIOR TO FINAL MAP RECORDATION)					
PLAN CHECK					
Grading	LS@\$	0	=	\$0	
Storm, Sewer, Street, Water @ 2.25%		\$565,003	=	\$0	
Landscape @ 3.5%			=	\$0	
Storm, Sewer, Street, Water @ 2.5%		\$565,003	=	\$0	
Coastal Development Permit	DU@\$		=	\$0	
Grading Deposit	LS@\$		=	\$0	
Conditional Use Permit	LS@\$		=	\$0	
Variance (excl. exist sf)	LS@\$		=	\$0	
Dev. Plan-Comm/Ind 10 to 100 ac	LS@\$		=	\$0	
Drainage Fees Major Watercourse	AC@\$		=	\$0	
Stormwater O & M Report Review	1.00 LS@\$	2,994	=	\$0 PAID BY SELLER	
Technical Study Review- Drainage Study	1.00 LS@\$	830	=	\$0 PAID BY SELLER	
Landscape @ 5%			=	\$0	
Tentative Map Base Fee	LS@\$		=	\$0	
Tentative Map Per Lot	DU@\$		=	\$0	
Final Map \$657 + \$56/lot	LS@\$		=	\$0	
Environmental Fees			=	\$0	
Full Review	LS@\$		=	\$0	
Focused/Per Issue	LS@\$		=	\$0	
Assess/Clear/Neg. Dec	LS@\$		=	\$0	
Neighborhood Notification/PC	LS@\$		=	\$0	
Neighborhood Notification/CC	LS@\$		=	\$0	
DUE AT FINAL ENGINEERING					
Drainage - Major Watercourse	1.67 AC@\$	3,842	=	\$6,416	
Drainage - Local Facility	1.67 AC@\$	7,500	=	\$12,525	
Final Map	1 LS@\$	6,760 +\$56/Unit	=	\$0 PAID BY SELLER	
DUE AT BUILDING PERMIT					
THOROUGHFARE - Non-Residential (includes 75% reduction for non-residential)	11.5 TRIP@\$	255.00	=	\$2,933	
THOROUGHFARE/RTCIP - Multi-Family	52.0 DU@\$	2,297.20	=	\$119,454	
TRAFFIC SIGNAL	458.0 TRIP@\$	15.71	=	\$7,195	
SCHOOL - Residential	68,572 SF@\$	3.20	=	\$219,430	
SCHOOL - Non-Residential	1,000 SF@\$	0.51	=	\$510	
PARK DEDICATION & IMPROVEMENTS	52 DU@\$	3,505.00	=	\$182,156	
PUBLIC FACILITIES - Residential	52 DU@\$	2,072.00	=	\$107,744	
PUBLIC FACILITIES - Non-Residential	1,000 1,000SF@\$	713.00	=	\$713	
INCLUSIONARY HOUSING - In Lieu	68,816 SF@\$	2.11	=	\$0 N/A	
INCLUSIONARY HOUSING - Admin Fee	1,000+\$100/Unit		=	\$0 N/A	
SEWER BUY-IN FEE - Residential	1 METER@\$	94,689.00	=	\$94,689	
OSIDE WATER METER - Residential	1 METER@\$	2,614.00	=	\$2,614	
WATER BUY_IN FEE - Residential	1 METER@\$	68,954.00	=	\$68,954	
SDCWA CAPACITY CHGS - Residential	1 METER@\$	46,080.00	=	\$46,080	
SEWER BUY-IN FEE - Non-Residential	1 METER@\$	15,782.00	=	\$15,782	
OSIDE WATER METER - Non-Residential	1 METER@\$	674.00	=	\$674	
WATER BUY_IN FEE - Non-Residential	1 METER@\$	11,492.00	=	\$11,492	
SDCWA CAPACITY CHGS - Non-Residential	1 METER@\$	7,680.00	=	\$7,680	
OSIDE WATER METER - Irrigation	1 METER@\$	674.00	=	\$674	
WATER BUY_IN FEE - Irrigation	1 METER@\$	11,492.00	=	\$11,492	
SDCWA CAPACITY CHGS - Irrigation	1 METER@\$	7,680.00	=	\$7,680	
ADDRESSES (each)	1 LS@\$	75.00	=	\$0 PAID BY SELLER	
BLDG DEPT PLAN CHECK FEES PAID TO DATE	1 EA@\$	27,053.00	=	\$0 PAID BY SELLER	
ENG DEPT PLAN CHECK FEES PAID TO DATE	1 EA@\$	29,095.00	=	\$0 PAID BY SELLER	
SUBTOTAL				\$938,326	
TOTAL BONDS & FEES				\$938,326	
COST PER UNIT.....				\$18,045	
CONSULTANT FEES & SERVICES - POST TENTATIVE MAP (PAID OR TO BE PAID BY SELLER)					
a)	Civil Engineering (Office)	1 LS@\$	97,970	=	\$97,970 PAID BY SELLER
	Land Planning	1 LS@\$	7,000	=	\$7,000 PAID BY SELLER
	Soils Engineering	1 LS@\$	2,500	=	\$2,500 PAID BY SELLER
	Acoustical Engineering	1 LS@\$	5,600	=	\$5,600 PAID BY SELLER
	Dry Utilities Engineering	1 LS@\$	10,400	=	\$10,400 PAID BY SELLER
	Building & Fire Code Consulting	1 LS@\$	5,000	=	\$5,000 PAID BY SELLER
	Engineering Reimbursables	1 LS@\$	2,147	=	\$2,147 PAID BY SELLER
	Site Lighting Design Consulting	1 LS@\$	8,105	=	\$8,105 PAID BY SELLER
	Landscape Architect	1 LS@\$	11,400	=	\$11,400 PAID BY SELLER
	Architect	1 LS@\$	314,405	=	\$314,405 PAID BY SELLER
	Structural Engineering & Shoring	1 LS@\$	104,300	=	\$104,300 PAID BY SELLER
	MEP Design	1 LS@\$	55,455	=	\$55,455 PAID BY SELLER
	Blueprints & Reproduction	1 LS@\$	2,000	=	\$2,000 PAID BY SELLER
b)	Construction Management Consulting	1 LS@\$	35,000	=	\$35,000 PAID BY SELLER
	Legal	1 LS@\$	3,100	=	\$3,100 PAID BY SELLER
SUBTOTAL				\$664,382	
TOTAL CONSULTANT FEES & SERVICES				\$0 PAID BY SELLER	
COST PER UNIT.....				\$0	

ELEVATIONS & FLOOR PLANS



BUD HEIGHT DIAGRAM NORTH ELEVATION
SCALE: 1"=10'



EXTERIOR WALL OPENINGS DIAGRAM WEST ELEVATION
SCALE: 1"=10'



EXTERIOR WALL OPENINGS DIAGRAM SOUTH ELEVATION
SCALE: 1"=10'



BUD ANALYSIS DIAGRAM LEVEL 4
SCALE: 1"=10'



BUD ANALYSIS DIAGRAM LEVELS 1, 2, & 3
SCALE: 1"=10'

allowable floor area (table 603):

LEVEL: 1st FLOOR	TYPE: 1A	USE: UNLIMITED	MAX ALLOWABLE GROSS FLOOR AREA (SQ. FT.): UNLIMITED
NO. OF FLOORS: 1	NO. OF UNITS: 1	NO. OF UNITS PER FLOOR: 1	NO. OF UNITS PER FLOOR: 1
TOTAL ALLOWABLE FLOOR AREA (SQ. FT.): UNLIMITED	TOTAL PROVIDED FLOOR AREA (SQ. FT.): 11,480	STATUS: ALLOWED - PROVIDED: TOLERANCE COMPLEX 100 BUDGET	

LEVEL 1: 1st FLOOR

TYPE: 1A	USE: UNLIMITED	MAX ALLOWABLE GROSS FLOOR AREA (SQ. FT.): UNLIMITED
NO. OF FLOORS: 1	NO. OF UNITS: 1	NO. OF UNITS PER FLOOR: 1
TOTAL ALLOWABLE FLOOR AREA (SQ. FT.): UNLIMITED	TOTAL PROVIDED FLOOR AREA (SQ. FT.): 11,480	STATUS: ALLOWED - PROVIDED: TOLERANCE COMPLEX 100 BUDGET

maximum allowable total building area

LEVEL: 1st FLOOR	TYPE: 1A	USE: UNLIMITED	MAX ALLOWABLE GROSS FLOOR AREA (SQ. FT.): UNLIMITED
NO. OF FLOORS: 1	NO. OF UNITS: 1	NO. OF UNITS PER FLOOR: 1	NO. OF UNITS PER FLOOR: 1
TOTAL ALLOWABLE FLOOR AREA (SQ. FT.): UNLIMITED	TOTAL PROVIDED FLOOR AREA (SQ. FT.): 11,480	STATUS: ALLOWED - PROVIDED: TOLERANCE COMPLEX 100 BUDGET	

FIRE SEPARATION DISTANCE (exterior walls):

LEVEL	TYPE	USE	SEPARATION DISTANCE (FT.)	PROVIDED	STATUS
LEVEL 1	1A	UNLIMITED	10'	10'	ALLOWED
LEVEL 2	1A	UNLIMITED	10'	10'	ALLOWED
LEVEL 3	1A	UNLIMITED	10'	10'	ALLOWED
LEVEL 4	1A	UNLIMITED	10'	10'	ALLOWED

PROJECT INFORMATION/ ZONING

project description:
THIS PROJECT IS A PROPOSED 100% AFFORDABLE HOUSING DEVELOPMENT WITH A TOTAL OF 52 UNITS, 100% AFFORDABLE HOUSING DEVELOPMENT.

legal description of site:
LOT 1, TRACT 10000, COUNTY OF SAN DIEGO, CALIFORNIA.

ette & zoning information

1. ZONING INFORMATION:
ZONING DISTRICT: R-100
ZONING MAP SHEET: 10000

2. BUILDING INFORMATION:
BUILDING TYPE: APARTMENT
BUILDING HEIGHT: 4 STORIES
BUILDING AREA: 11,480 SQ. FT.
TOTAL UNITS: 52

FAR area calculation summary

LEVEL: 1st FLOOR	TYPE: 1A	USE: UNLIMITED	MAX ALLOWABLE GROSS FLOOR AREA (SQ. FT.): UNLIMITED
NO. OF FLOORS: 1	NO. OF UNITS: 1	NO. OF UNITS PER FLOOR: 1	NO. OF UNITS PER FLOOR: 1
TOTAL ALLOWABLE FLOOR AREA (SQ. FT.): UNLIMITED	TOTAL PROVIDED FLOOR AREA (SQ. FT.): 11,480	STATUS: ALLOWED - PROVIDED: TOLERANCE COMPLEX 100 BUDGET	

BUILDING CODE ANALYSIS

governing code:
2021 CALIFORNIA BUILDING CODE (CBC)

occupancy:
GROUP: R-100 (RESIDENTIAL)

occupancy separation required:
FLOOR: 1st FLOOR
WALLS: 10' MINIMUM

type of construction:
TYPE: 1A (UNLIMITED)

fire sprinkler notes:
FIRE SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS PROJECT.

UNIT SUMMARY (updated 05/14/23)

CURRENT UNIT SUMMARY - NET AREAS						
UNIT	NET AREA	DECK NET AREA	TOTAL (NET+DECK)	# PER FLOOR	TOTAL # UNITS	TOTAL NET AREA (NET+DECK) TOTAL # UNITS
A	1,111 sf	88 sf	1,199 sf	3	12	14,388 sf
B	1,309 sf	147 sf	1,456 sf	4	16	23,296 sf
C	1,286 sf	149 sf	1,435 sf	2	8	11,480 sf
D	1,788 sf	476 sf	2,264 sf	1	4	9,056 sf
E	1,463 sf	112 sf	1,575 sf	2	8	12,584 sf
F	1,292 sf	85 sf	1,377 sf	1	4	5,508 sf
TOTALS	8,247 sf	1,057 sf	9,304 sf	13	52	76,312 sf

CURRENT UNIT SUMMARY - GROSS AREAS (F.A.R. AREAS)					
UNIT	GROSS FAR AREA	# PER FLOOR	GROSS AREA/FLOOR	TOTAL # UNITS	TOTAL GROSS AREA
A	1,168 sf	3	3,504 sf	12	14,016 sf
B	1,376 sf	4	5,504 sf	16	22,016 sf
C	1,340 sf	2	2,680 sf	8	10,880 sf
D	1,887 sf	1	1,887 sf	4	7,548 sf
E	1,547 sf	2	3,094 sf	8	12,376 sf
F	1,370 sf	1	1,370 sf	4	5,480 sf
TOTALS	8,708 sf	13	18,079 sf	52	72,316 sf

DATE:	05/14/23
DESIGNER:	SEA CLIFF TERRACE
CLIENT:	OCEANSIDE
PROJECT:	100% AFFORDABLE HOUSING DEVELOPMENT
ADDRESS:	150 P.C. SUBMITTAL

Construction Documents For:

Seacliff Terrace
COSTA PACIFICA WAY, OCEANSIDE, CALIFORNIA 92054
CH OCEANSIDE LLC
457 S. PACIFIC COAST HWY, SUITE 212, SOLANA BEACH, CA 92075



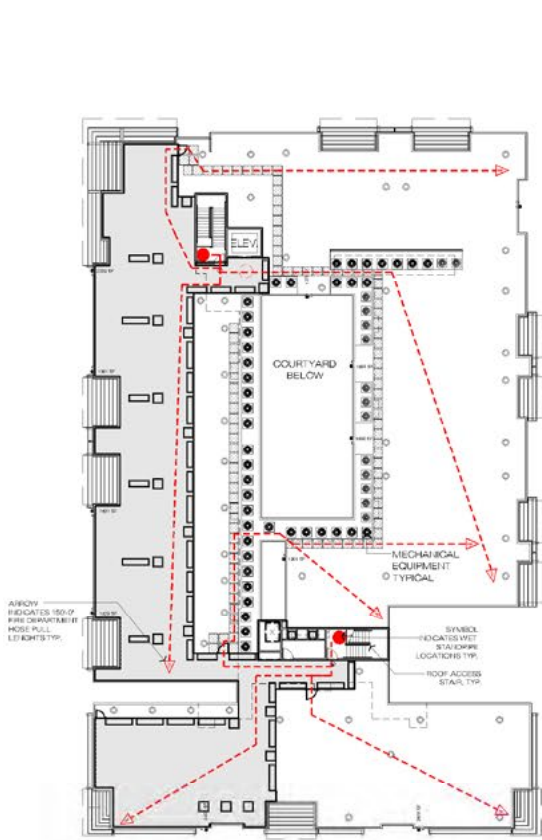
PROJECT INFO

A020

MAY 25, 2023

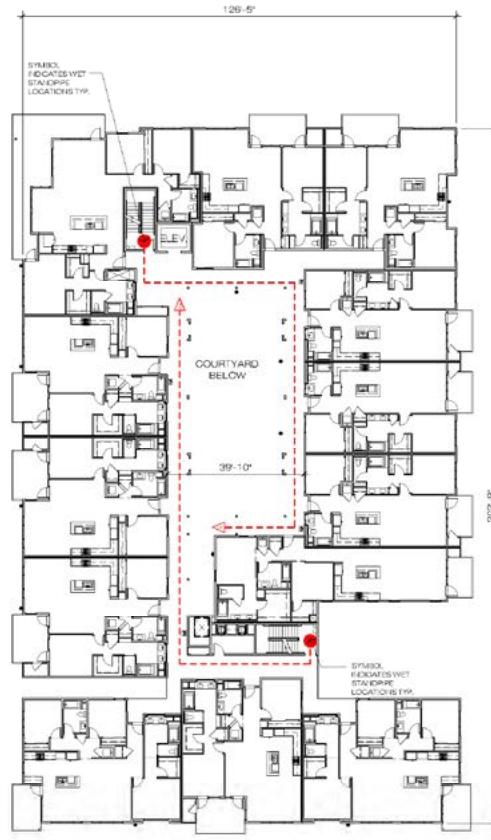
150 P.C. SUBMITTAL

ELEVATIONS & FLOOR PLANS



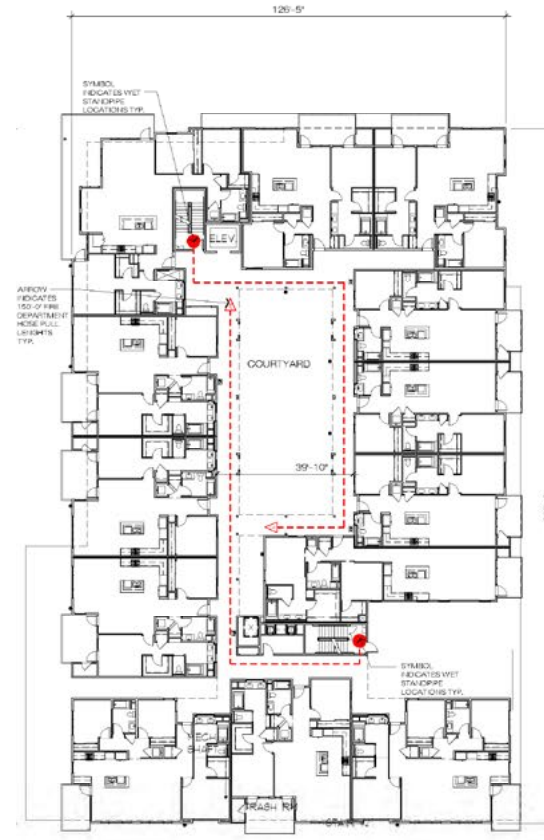
BUILDING PLAN - ROOF LEVEL

BUILDING PLAN
Roof Level



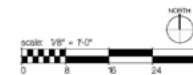
BUILDING PLAN - TYPICAL LEVEL 2, 3, 4

BUILDING PLAN
Typical Level 2, 3, 4



BUILDING PLAN - LEVEL 1

BUILDING PLAN
Level 1



ED. NO.	006
DATE	
BY	
CHK. ADDRESS	
DATE	
SCALE	

Construction Documents For:
Seacliff Terrace
 COSTA PACIFICA WAY, OCEANSIDE, CALIFORNIA 92054
 C.H. OCEANSIDE LLC
 437 S. PACIFIC COAST HWY, SUITE 212, SOLANA BEACH, CA 92075



Sheet title: **fire master plan**

Sheet: **A064**

MAY 26, 2016
 1ST P.G. SUBMITTAL

ELEVATIONS & FLOOR PLANS



south elevation



west elevation



elevation keynotes

- 1) REVISIONS PERMITTED
- 2) GLASS GUARDRAIL
- 3) WALL, WINDOW AND DOOR
- 4) STUCCO FIN
- 5) METAL ROOF
- 6) STONEFRONT SYSTEM AT RETAIL
- 7) ADDRESS WALL 6" HIGH WITH TOP OF CONC. FINISH SHALL BE FINISHED AND LEVEL PROVISIONS
- 8) A
- 9) A
- 10) A
- 11) A
- 12) A

general elevation notes

ALL VERTICAL ELEVATIONS SHOWN ON EXTERIOR ELEVATIONS OR BUILDING SECTIONS UNLESS OTHERWISE NOTED SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL HORIZONTAL ELEVATIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.

WINDOW AND DOOR HEAD HEIGHTS

WINDOW AND DOOR HEAD HEIGHTS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.

WALL FINISHES

WALL FINISHES SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.

ROOF FINISHES

ROOF FINISHES SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.

GLASS FINISHES

GLASS FINISHES SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.

elevation notes

1) ALL DIMENSIONS SHALL BE TO FINISH SURFACE UNLESS OTHERWISE NOTED.

Construction Documents For:

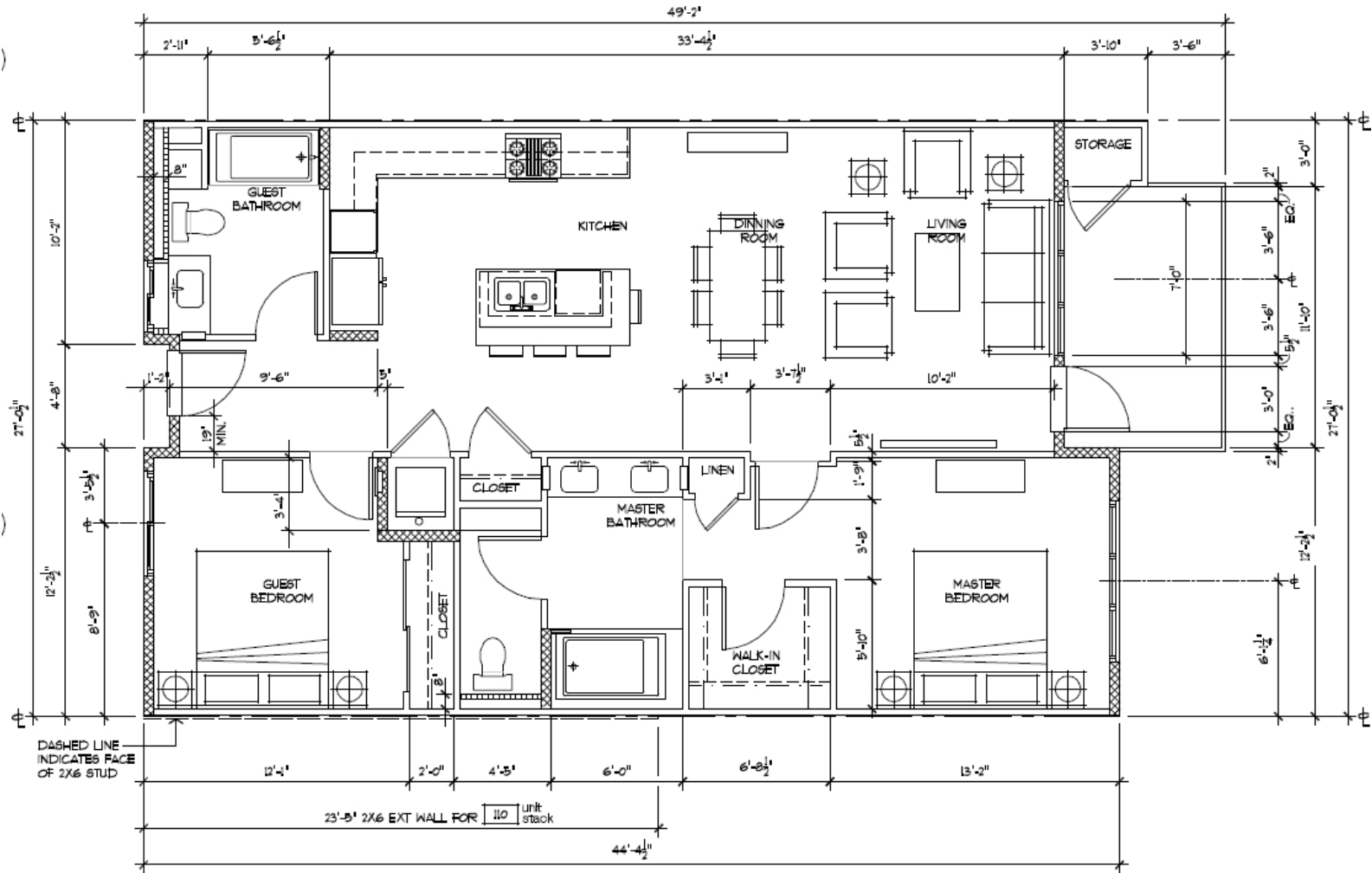
Seacliff Terrace

COSTA PACIFICA WAY, OCEANSIDE, CALIFORNIA 92054
 CH, OCEANSIDE LLC
 437 S. PACIFIC COAST HWY, SUITE 212, SOLANA BEACH, CA 92075

WITHESS MALCOLM ARCHITECTS, LLP
 2251 West 190th Street
 Torrance, CA 90504
 T 310.217.8885
 F 310.217.0425

Sheet No. **ELEVATIONS**
A312
 MAY 28, 2016
 1ST P.C. SUBMITTAL

ELEVATIONS & FLOOR PLANS



unit type A: floor plan

- 110 unit stack
- 111 unit stack
- 112 unit stack

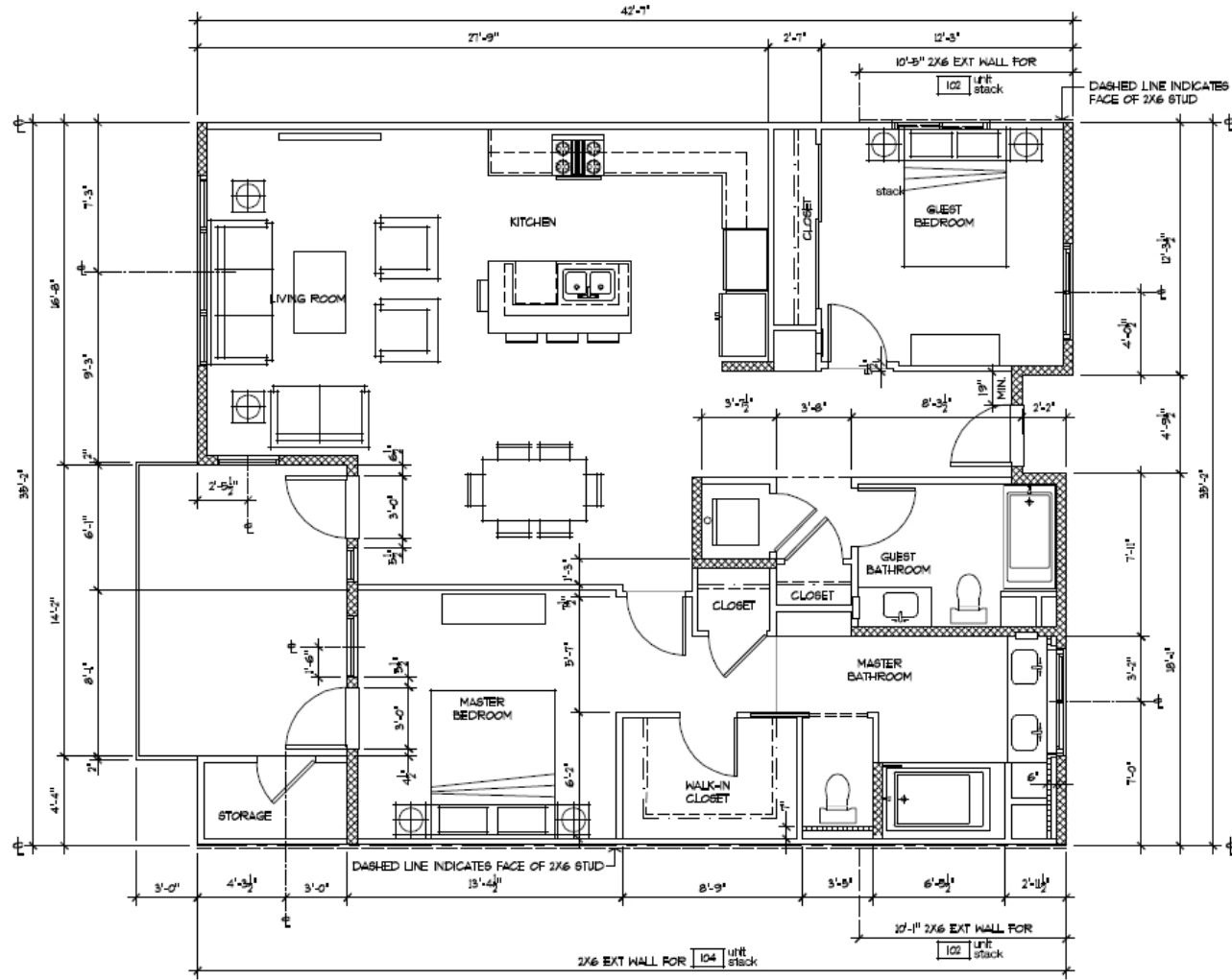
1



scale: 1/4" = 1'-0"



ELEVATIONS & FLOOR PLANS



unit type B: floor plan

- 102 unit stack
- 104 unit stack
- 105 unit stack
- 106 unit stack

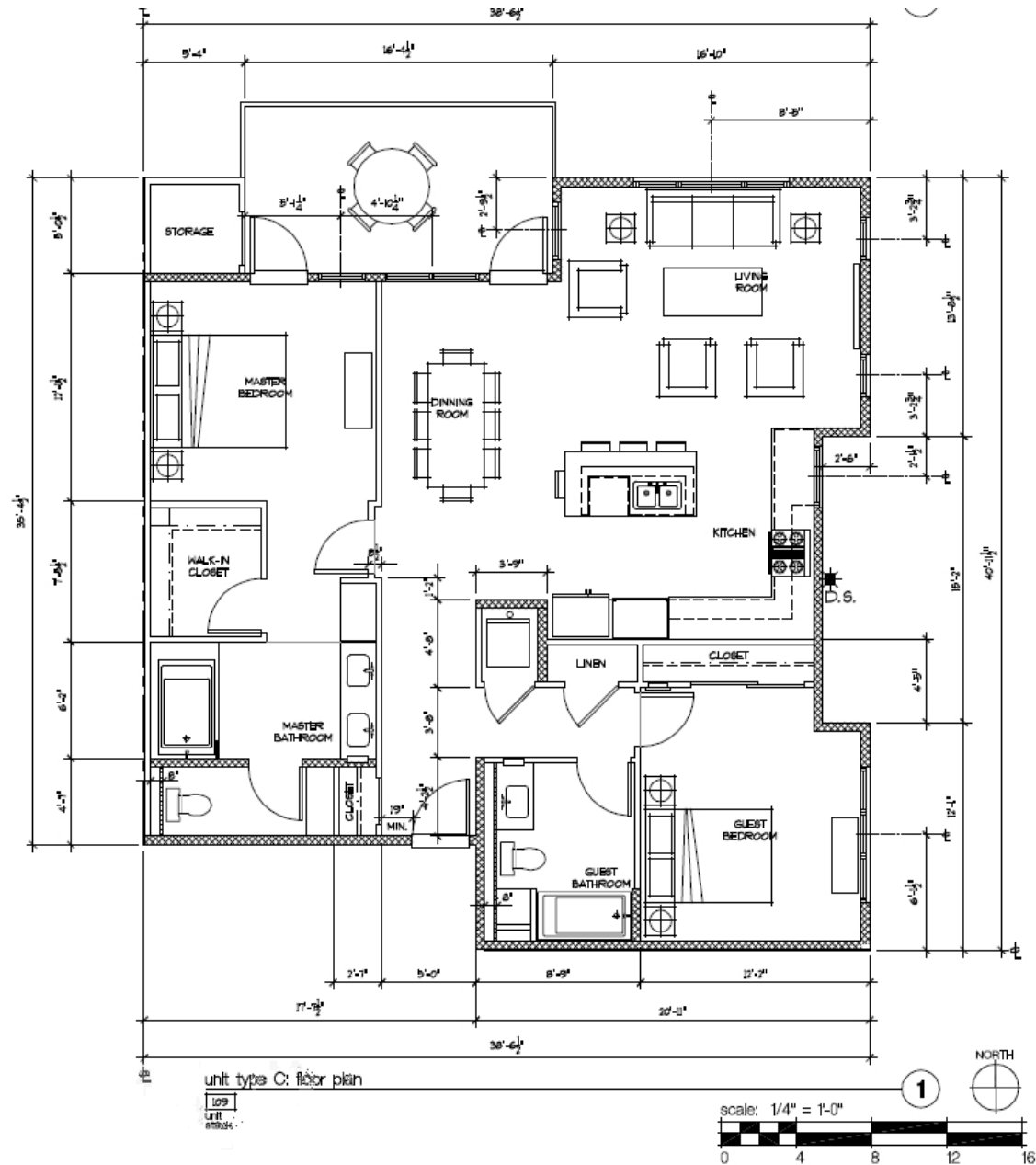
1

NORTH

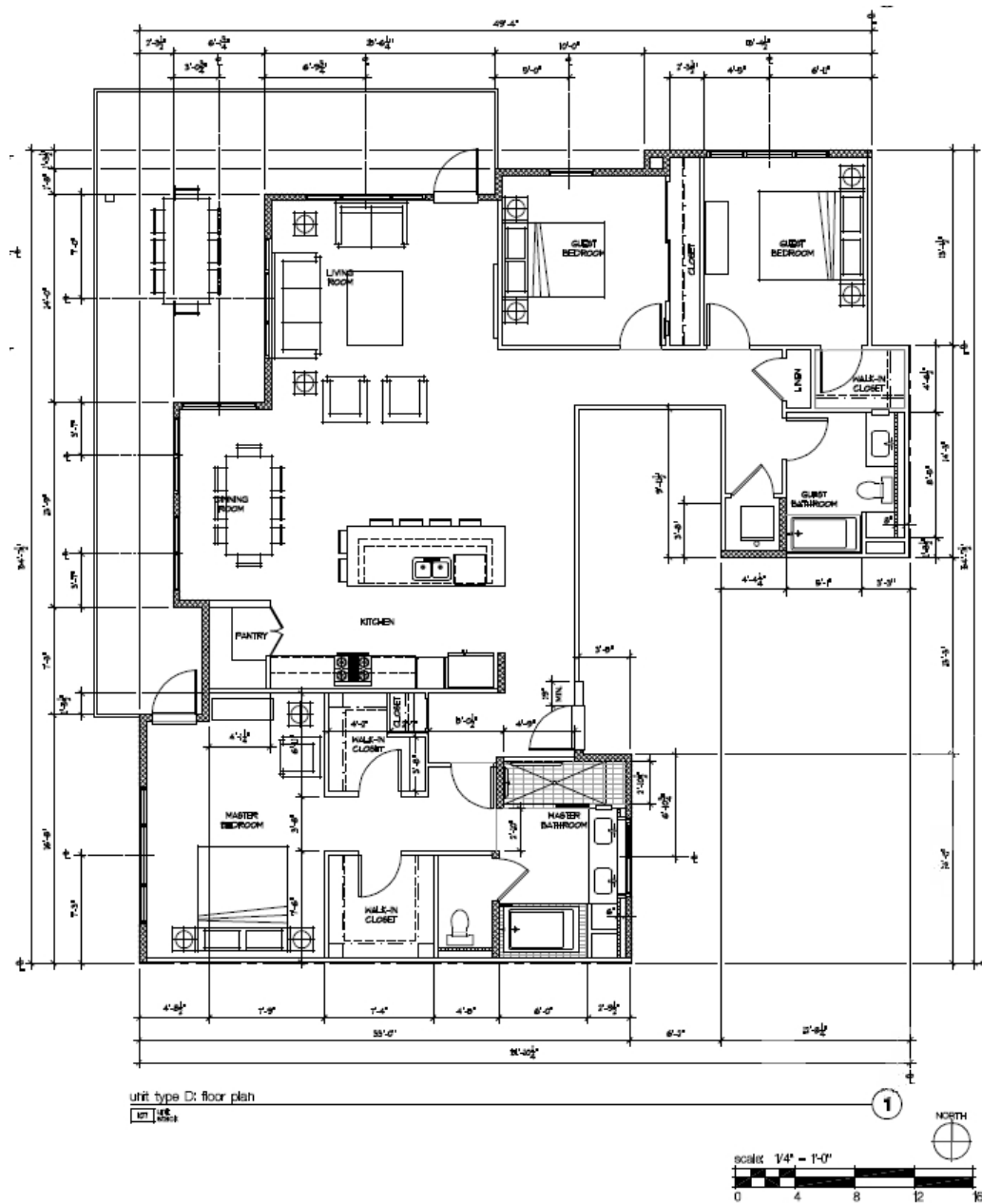
scale: 1/4" = 1'-0"



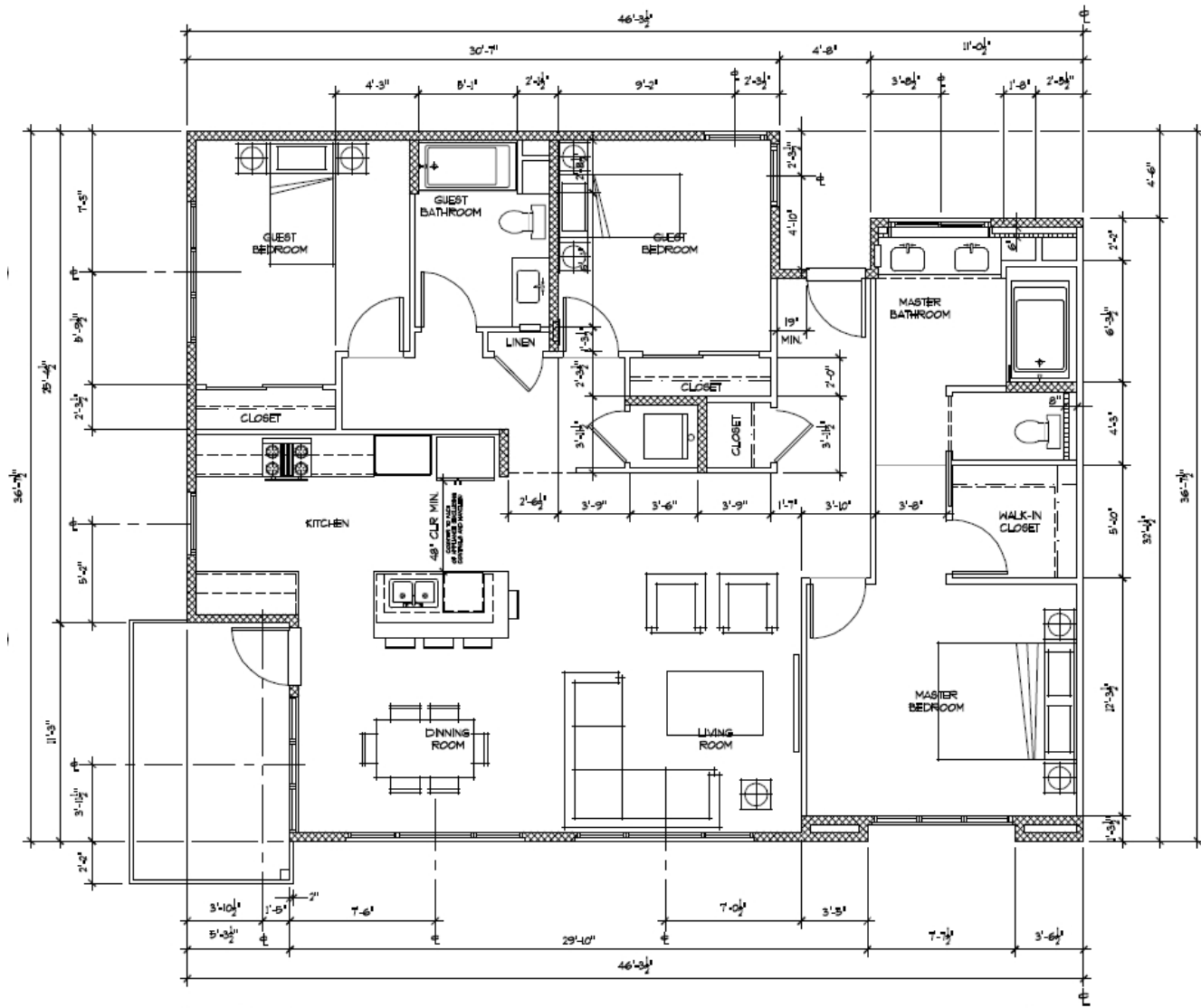
ELEVATIONS & FLOOR PLANS



ELEVATIONS & FLOOR PLANS



ELEVATIONS & FLOOR PLANS



unit type E: floor plan

22	1/4" H
23	1/4" H

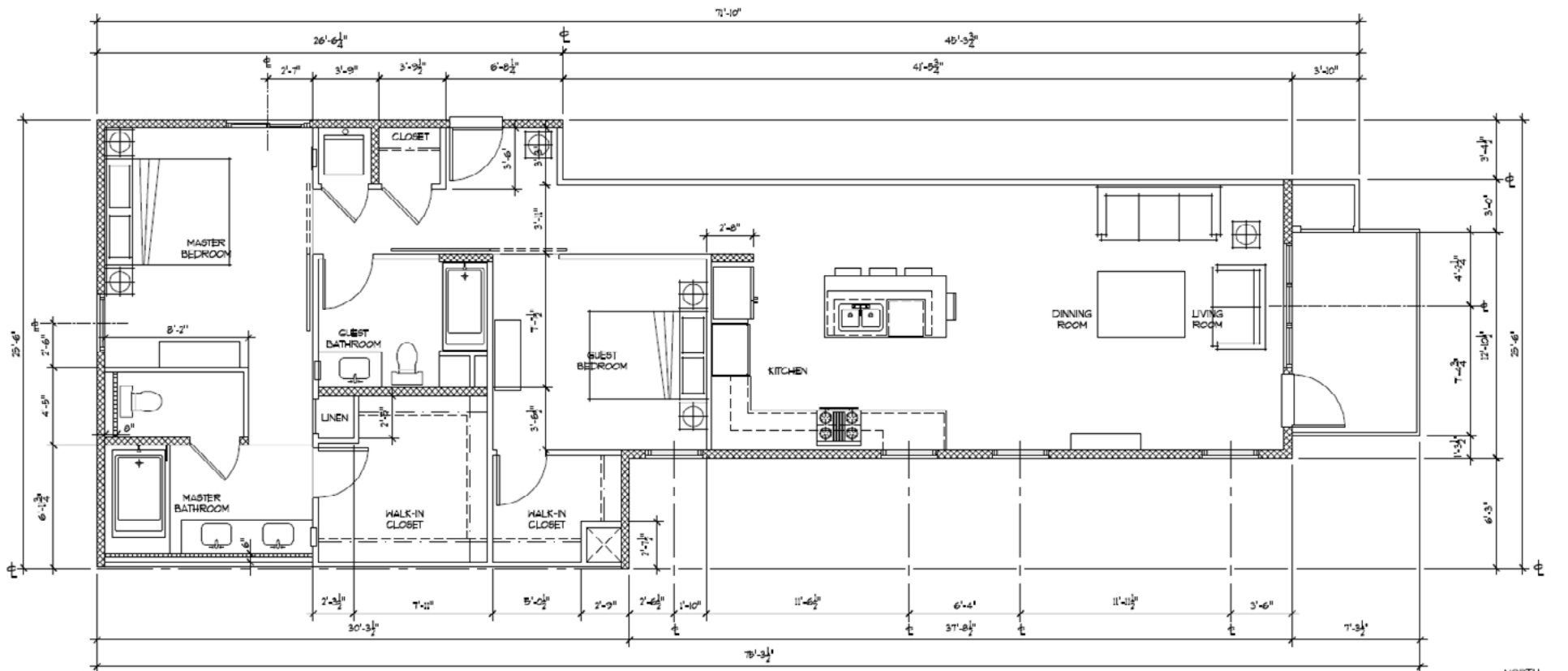
1



scale: 1/4" = 1'-0"

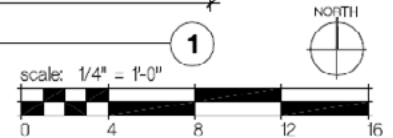


ELEVATIONS & FLOOR PLANS



unit type F: floor plan

1/3 unit stack



RESALE COMPS

Seacliff Resales

ADDRESS	SALE DATE	PRICE	SQ FT	\$/SF
1019 COSTA PACIFICA WAY # 1102	1/24/2014	\$535,000	1,143	\$468
1019 COSTA PACIFICA WAY # 1105	6/2/2014	\$610,000	1,143	\$534
1019 COSTA PACIFICA WAY # 1206	4/4/2014	\$675,000	1,519	\$444
1019 COSTA PACIFICA WAY # 1209	4/28/2015	\$545,000	1,454	\$375
1019 COSTA PACIFICA WAY # 1302	5/17/2016	\$695,000	1,143	\$608
1019 COSTA PACIFICA WAY # 1306	5/1/2014	\$640,000	1,519	\$421
1019 COSTA PACIFICA WAY # 1307	7/10/2015	\$470,000	1,143	\$411
1019 COSTA PACIFICA WAY # 1405	10/3/2014	\$625,000	1,143	\$547
1019 COSTA PACIFICA WAY # 1407	3/16/2015	\$485,000	1,143	\$424
1021 COSTA PACIFICA WAY # 2101	3/21/2014	\$650,000	1,412	\$460
1021 COSTA PACIFICA WAY # 2103	5/13/2015	\$675,000	1,387	\$487
1021 COSTA PACIFICA WAY # 2107	8/1/2013	\$423,000	1,143	\$370
1021 COSTA PACIFICA WAY # 2112	4/22/2016	\$432,500	1,057	\$409
1021 COSTA PACIFICA WAY # 2201	8/29/2013	\$630,000	1,412	\$446
1021 COSTA PACIFICA WAY # 2203	2/16/2012	\$600,000	1,387	\$433
1021 COSTA PACIFICA WAY # 2205	3/23/2016	\$707,500	1,387	\$510
1021 COSTA PACIFICA WAY # 2205	3/23/2016	\$707,500	1,387	\$510
1021 COSTA PACIFICA WAY # 2208	1/25/2016	\$465,000	1,143	\$407
1021 COSTA PACIFICA WAY # 2212	6/3/2016	\$430,750	1,057	\$408
1021 COSTA PACIFICA WAY # 2301	4/26/2016	\$651,888	1,412	\$462
1021 COSTA PACIFICA WAY # 2303	10/27/2014	\$665,000	1,387	\$479
1021 COSTA PACIFICA WAY # 2304	7/24/2015	\$705,000	1,387	\$508
1021 COSTA PACIFICA WAY # 2308	3/1/2016	\$498,000	1,143	\$436
1021 COSTA PACIFICA WAY # 2401	6/25/2010	\$760,000	1,412	\$538
1021 COSTA PACIFICA WAY # 2402	6/29/2010	\$680,000	1,387	\$490
1021 COSTA PACIFICA WAY # 2403	11/25/2014	\$675,000	1,387	\$487
1021 COSTA PACIFICA WAY # 2407	3/17/2016	\$549,000	1,143	\$480
1021 COSTA PACIFICA WAY # 2413	9/28/2015	\$490,000	1,191	\$411
1021 COSTA PACIFICA WAY # 2207	PENDING	\$530,000	1,143	\$464
1019 COSTA PACIFICA WAY # 1205	PENDING	\$698,000	1,143	\$611
TOTAL		\$17,903,138	38,257	\$468
AVERAGE		\$596,771	1,275	\$468

Seacliff Terrace Unit Sizes

UNIT	SQ FT
UNIT A	1,111
UNIT B	1,309
UNIT C	1,286
UNIT D	1,788
UNIT E	1,461
UNIT F	1,292
AVERAGE	1,375



SALE PROCESS

Price

\$6,900,000 (\$132,700/Unit)

Terms

All cash at the close of escrow.

Deposit

Upon acceptance of an offer, the selected Buyer shall deposit \$250,000 to open the escrow. Upon the successful completion of the Due Diligence period, the Buyer shall increase the deposit to \$500,000. The deposit shall become non-refundable and be released by escrow to the Sellers.

Offers

Submit all offers to:

Gunder Creager
c/o Colliers International
4350 La Jolla Village Dr., Suite 500
San Diego, CA 92122
Email: gunder.creager@colliers.com

Due Diligence

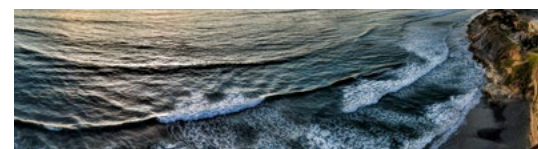
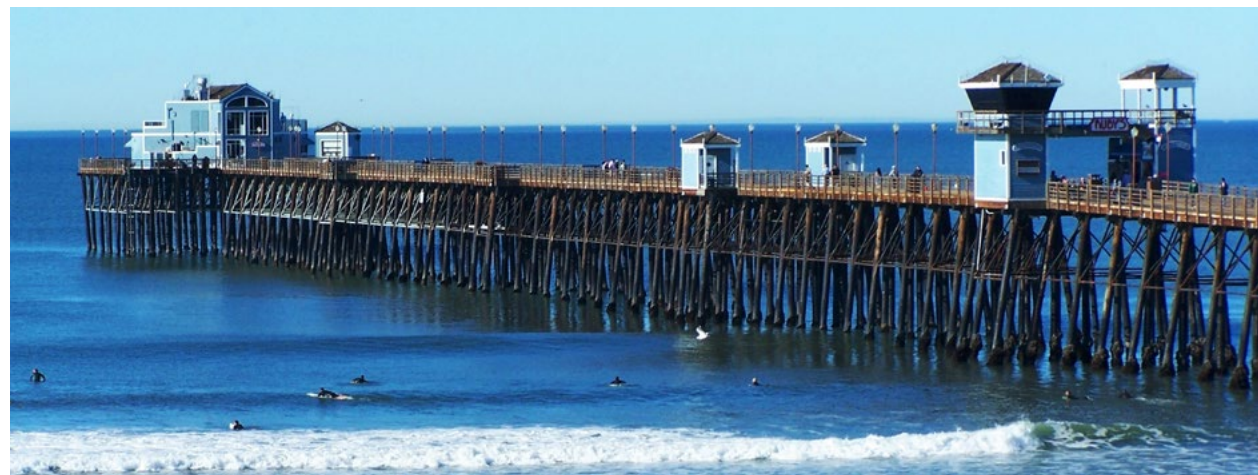
Buyer shall have forty-five (45) days from the acceptance of the Letter of Intent to complete their due diligence.

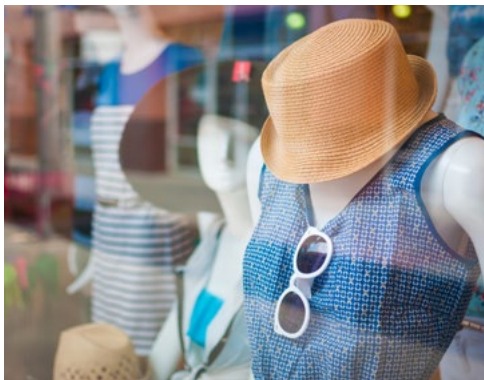
Escrow

Escrow shall be opened at the San Diego office of First American Title Company of San Diego.

Close

30 days after the end of the Due Diligence period.





CONTACT



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