

MINOR KITCHEN ALTERATION PLANS FOR FIRST FLOOR, THE SHELLS RESTAURANT, AT 261 MAIN ST., STAMFORD, CT 06901

GENERAL CONSTRUCTION NOTES

1. THE GENERAL NOTES LISTED HERE MAKE SPECIFIC REFERENCE TO ALL WORK ON THIS DRAWING AND SHALL APPLY EQUALLY TO ALL ACCOMPANYING DRAWINGS AS IF THEY WERE PART OF SAME.

2. THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL THE AREAS AFFECTED BY THIS WORK TO BECOME FAMILIAR WITH ANY PERTINENT FIELD CONDITIONS AND CRITICAL DIMENSIONS AND ALL DIFFICULTIES THAT WILL ATTEND THE EXECUTION OF THIS WORK. THE GENERAL CONTRACTOR SHALL PERFORM THIS INSPECTION PRIOR TO SUBMITTING HIS PROPOSAL. THE SUBMISSION OF HIS PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, MATERIALS, OR EQUIPMENT REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE.

3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, ERRORS, AMBIGUITIES, OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF ALL WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT AS HEREIN PROVIDED, THE GENERAL CONTRACTOR SHALL BE DEEMED TO HAVE FOUND SUCH PLANS, DRAWINGS AND/OR SPECIFICATIONS IN PROPER FORM FOR EXECUTION.

4. ALL MATERIALS OR LABOR FOR WORK WHICH IS SHOWN ON THE DRAWINGS AND SPECIFICATIONS OR IS REASONABLY INFERABLE THEREIN AS BEING NECESSARY TO PRODUCE A FINISHED JOB, SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WHETHER OR NOT THE WORK IS EXPRESSLY COVERED IN THE DRAWINGS AND SPECIFICATIONS. THIS APPLIES TO ALL WORK WITH THE EXCEPTION OF THOSE ITEMS INDICATED N.I.C. (NOT IN CONTRACT) OR BY OTHERS.

5. ALL SUB-CONTRACTORS ARE TO INSPECT THE JOB SITE, AND REPORT ANY DISCREPANCIES ON PLANS OR SITE TO THE ARCHITECT PRIOR TO ISSUING BIDS OR COMMENCEMENT OF CONSTRUCTION.

6. THE GENERAL CONTRACTOR SHALL CONSULT WITH THE PROPERTY MANAGER TO DETERMINE THE METHOD OF MATERIAL DELIVERY AND DEBRIS REMOVAL.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK. ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH OTHER TRADES AND CONFER WITH OTHER SUBCONTRACTORS WHOSE WORK MIGHT AFFECT THEIR INSTALLATION. THE G.C. SHALL ALSO ARRANGE ALL WORK IN A PROPER SEQUENCE AND FINISH SO THAT THE NEW WORK WILL HARMONIZE IN SERVICE AND APPEARANCE WITH THE EXISTING CONSTRUCTION.

8. ALL WORK, WITHOUT EXCEPTION, IS TO BE DONE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATORY AGENCY CODES HAVING JURISDICTION OVER THE PROJECT.

9. DRAWINGS ARE NOT TO BE SCALED.

10. IN ENTERING PASSING THROUGH, OR WORKING IN ANY SUCH SPACE IN THE PREMISES IN THE PERFORMANCE OF ALL WORK, AND WORK BY OTHER CONTRACTORS, THE G.C. SHALL AT ALL TIMES FURNISH AND MAINTAIN PROPER PROTECTION FOR THE EXISTING AND NEW FLOORS, WALLS, CEILING, FIXTURES, EQUIPMENT, FURNITURE AND/OR ALL OTHER PROPERTY OF THE TENANT & LANDLORD.

11. IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO DISTRIBUTE ADEQUATE AND LATEST DRAWINGS TO ALL TRADES FALLING UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE JOB.

12. ALL WORK SHALL BE EXECUTED IN COMPLIANCE WITH THE HIGHEST PROFESSIONAL STANDARDS OF WORKMANSHIP OF THE VARIOUS BUILDING TRADES PERFORMING WORK UNDER THIS CONTRACT. ANY FAULTY WORK OR DAMAGED WORK SHALL BE RECTIFIED AT NO COST TO THE OWNER.

13. WHEREVER POSSIBLE, THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE, PRIOR TO CONSTRUCTION, UNIT PRICES FOR ALL WORK SHOWN. THESE PRICES SHALL BE GOOD FOR THE DURATION OF THE PROJECT AND USED FOR ALL SUBMISSIONS REGARDING ADDITIONS OR DELETIONS TO WORK.

14. ALL WORK SHALL BE DONE BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ANY SUBSTITUTE IN SPECIFICATIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. SHOULD THE CONTRACTOR FIND ANY DISCREPANCY, OMISSIONS, AMBIGUITIES OR CONFLICT IN ANY OF THE CONSTRUCTION DRAWINGS, OR BE IN DOUBT AS TO THEIR MEANING, THE CONTRACTOR MUST BRING THE QUESTION TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF CONSTRUCTION. THE ARCHITECT WILL REVIEW THE QUESTION AND WHERE INFORMATION SOUGHT IS NOT CLEARLY INDICATED OR SPECIFIED, WILL ISSUE A CLARIFYING ADDENDUM. NEITHER THE TENANT NOR THE ARCHITECT WILL BE RESPONSIBLE FOR ORAL INSTRUCTIONS.

15. THE GENERAL CONTRACTOR SHALL SUBMIT FABRICATION SHOP DRAWINGS FOR ALL OFF-SITE FABRICATED ITEMS FOR REVIEW BY THE ARCHITECT PRIOR TO FABRICATION.

16. UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF OCCUPANCY FROM THE LOCAL BUILDING DEPARTMENT, WITH COPIES TO THE TENANT AND THE ARCHITECT.

17. WRITTEN NOTIFICATION MUST BE SUBMITTED FOR ANY CHANGE BY THE CONTRACTOR TO THE ARCHITECT FOR ALL COSTS OF CONSTRUCTION BEFORE ANY WORK IS STARTED. SUCH NOTIFICATION MUST INDICATE DATE, PRICE AND SCOPE OF WORK. NO WORK IS TO COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.

18. ALL WORK SHALL CONFORM WITH THE CITY OF STAMFORD & STATE OF CONNECTICUT. EVEN THOUGH NOT SPECIFIED HEREIN NOR CALLED FOR ON THE DRAWINGS, IN THE EVENT OF ERRORS, DISCREPANCIES, OR OMISSIONS IN THE DRAWINGS THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

PROJECT + BUILDING DATA:

APPLICABLE BUILDING CODES

STATE BUILDING CODE: 2016 CONNECTICUT STATE SUPPLEMENT
2012 INTERNATIONAL BUILDING CODE
2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2012 INTERNATIONAL EXISTING BUILDING CODE
2012 INTERNATIONAL PLUMBING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2014 NFPA-70 NATIONAL ELECTRICAL CODE, OF THE NATIONAL FIRE PROTECTION ASSOCIATION INC.

BUILDING CODE + PROJECT INFORMATION

- TYPE OF CONSTRUCTION: IIB
- USE GROUP: A-2 (RESTAURANT)
- USE GROUP: 2ND FLOOR ABOVE 'B'
- ZONING DISTRICT: CC-N
- SCOPE OF WORK: MINOR KITCHEN ALTERATION PLANS FOR FIRST FLOOR RESTAURANT AT 261 MAIN ST., STAMFORD, CT 06901
4 STORIES NEW GLASS DOORS CHANGE AT 1ST FLOOR
- BUILDING HEIGHT : NO
- SPRINKLERED: 305 SQ. FT.
- PROJECT AREA: TOTAL FLOOR AREA(1ST FLOOR INCLUDING COMMON AREAS):
- HAZARD CLASSIFICATION: ORDINARY HAZARD
- OCCUPANCY: OCCUPANT LOAD; BUSINESS USE
NFPA 101 - TABLE 7.3.1.2

PERSONS
OTHER TENANT ==> # PERSONS
- EXIT ACCESS TRAVEL LIMIT TO EXIT: 300 FEET NFPA 101 TABLE A.7.6
300 FEET IBC TABLE 1015.1
- MAXIMUM DEAD END: 50 FEET NFPA 101 TABLE A.7.6
50 FEET IBC TABLE 1016.3
- COMMON PATH OF TRAVEL LIMIT: 100 FEET NFPA 101 TABLE A.7.6
100 FEET IBC TABLE 1013.3
- MINIMUM NUMBER OF EXITS PER IBC TABLE 1018.1: TWO(2) 1-500 OCCUPANCY LOAD
1ST FLOOR - 2 EXITS PROVIDED
- DOOR SWING PER IBC 1008.1.2: SWINGING IN THE DIRECTION OF EGRESS WHERE OCCUPANCY LOAD OF 50 OR MORE PERSONS.
- FIRE EXTINGUISHER LOCATIONS: PER NFPA 10-5.2.1: 75' DISTANCE
- TOTAL MAXIMUM FLOOR AREA: 6,423 SQ. FT.
- INTERIOR FINISH RATINGS: SHALL COMPLY WITH ABC TABLE 803.5

DRAWING LIST

T-1.0	TITLE SHEET
A-1.0	CONSTRUCTION PLANS
A-2.0	KITCHEN EQUIPMENT LAYOUT
A-3.0	BAR EQUIPMENT LAYOUT
A-4.0	REFLECTED CEILING PLAN
A-5.0	POWER PLAN
A-6.0	EXISTING BASEMENT PLAN

REVISION	DATE	ISSUE



WEBER & ASSOCIATES

313 LONG RIDGE ROAD
STAMFORD, CT 06902
TEL: (203) 327 - 7677
FAX: (203) 352 - 1899

WWW.WEBERARCH.COM

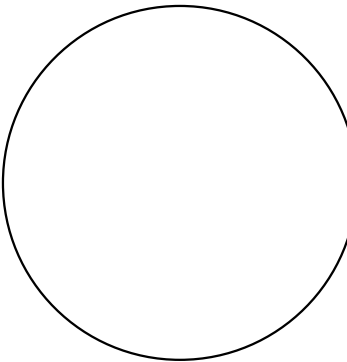
PROJECT:

MINOR KITCHEN ALTERATION PLANS FOR FIRST FLOOR, THE SHELLS RESTAURANT, AT

261 MAIN ST., STAMFORD, CT 06901

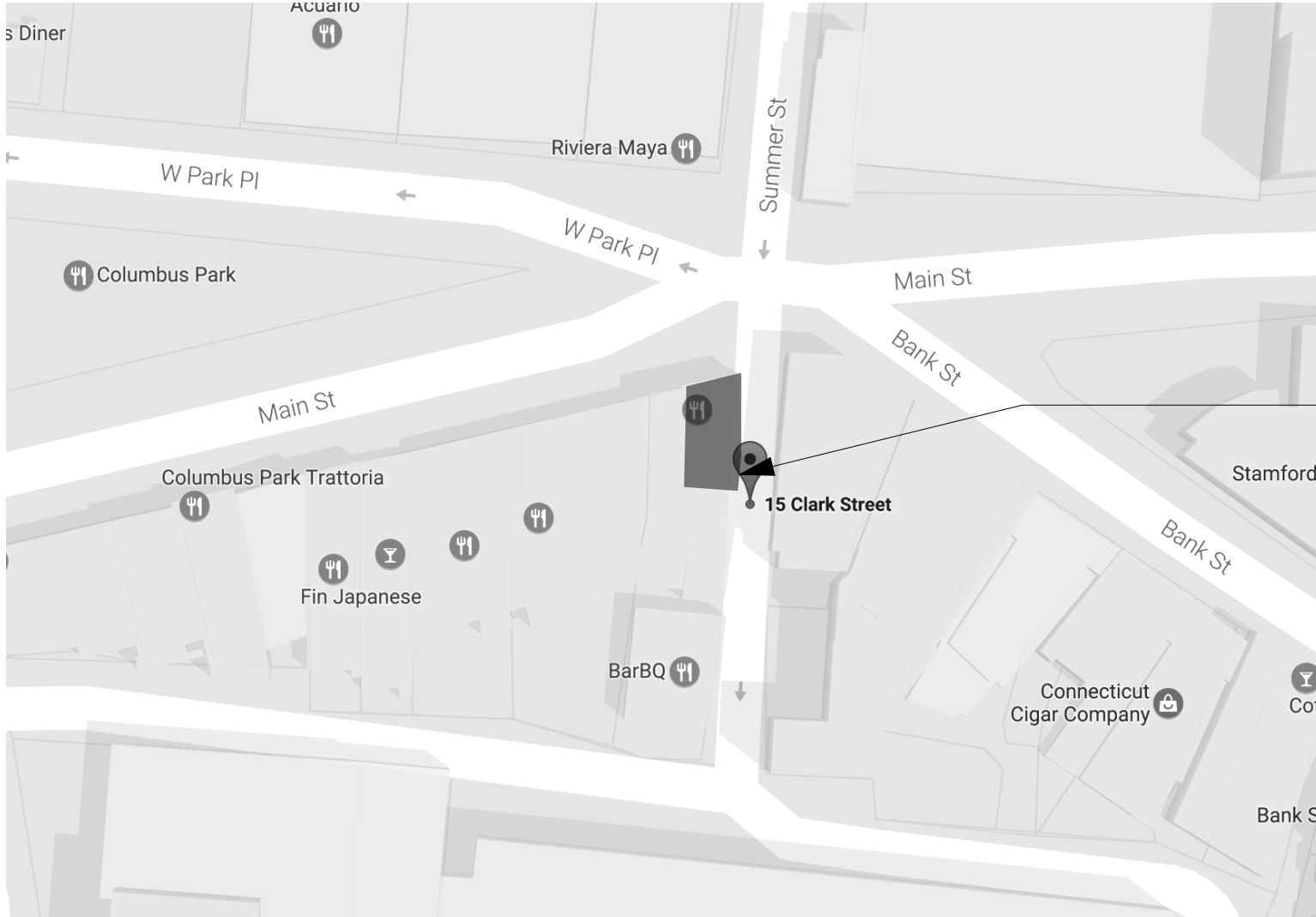
TITLE SHEET

SEAL & SIGNATURE



DATE: 8/23/19
SCALE: 1/16" = 1'-0"
DRAWN BY: R. L.
CHK BY: H. WEBER
DWG N°:

T-1.0

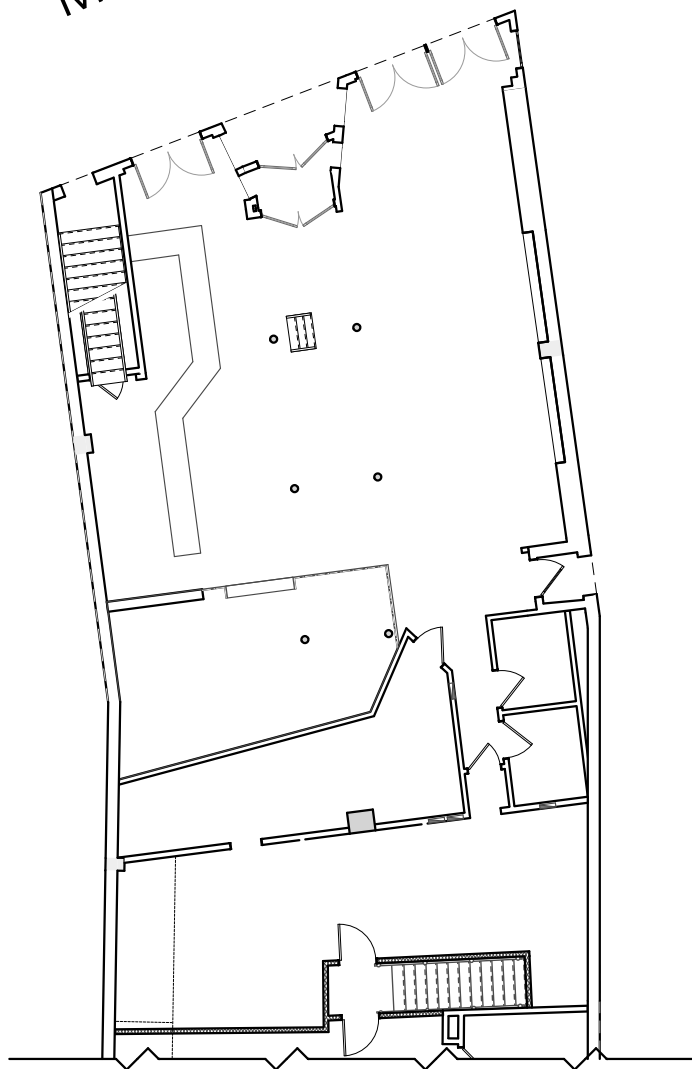


261 MAIN ST., STAMFORD, CT 06901



SATELITE LOCATION MAP

MAIN STREET



KEY PLAN

EXISTING WALL TO BE REMOVED

NEW FIRE EXTINGUISHER LOCATION

1. AT AREAS INDICATED TO RECEIVE WALL MTD. MILLWORK, PROVIDE HEAVY GAUGE CONTINUOUS METAL FLAT STOCK WITHIN PARTITION. MOUNTING HEIGHT TO BE COORDINATED WITH THE MILLWORK INSTALLATION.
2. ALL AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION TO BE PATCHED AND REPAIRED TO ITS ORIGINAL QUALITY AND CONDITION. RESTORE ANY DAMAGED FIREPROOFING TO THE EXISTING STRUCTURE.
3. EXISTING FLOOR SLAB TO BE PATCHED, REPAIRED, LEVELED AND READY TO RECEIVE NEW FLOOR FINISH. COORDINATE WITH FLOORING CONTRACTOR.
4. THE G.C. SHALL FIELD CHECK ALL EXISTING CONDITIONS THAT MIGHT AFFECT WORK OR TIME OF BID AND INFORM THE ARCHITECT OF ANY ADDITIONAL WORK THAT WILL BE NEEDED TO COMPLETE THE JOB.
5. THE G.C. SHALL OBTAIN ALL REQUIRED INSPECTIONS AND SIGN-OFFS FROM THE CITY OF STAMFORD.
6. ALL DIMENSIONS SHOWN ARE TO FACE OF GYP PARTITIONS, U.O.N.
7. ALL PARTITIONS AND FIELD DIMENSIONS ARE TO BE CAREFULLY REVIEWED IN FIELD WITH THE ARCHITECT, ANY DISCREPANCIES MUST BE RESOLVED, NO PARTITIONS SHALL BE INSTALLED PRIOR TO APPROVAL OF CHALK LINES.
8. ALL WALLS AND COLUMNS THAT ARE DAMAGED DUE TO DEMOLITION, EXISTING CONDITIONS OR IN POOR STATE ARE TO BE FURRED OUT / LAMINATED AND / OR PATCHED AS REQUIRED.
9. ALL WORK SHALL CONFORM W/ APPLICABLE BUILDING LAWS AND CODES.
10. ALL WORK AND METHODS OF CONSTRUCTION SHALL COMPLY W/ BLDG. MANAGEMENT RULES AND REGULATIONS.
11. ALL PARTITIONS SHAL BE TAPE AND SANDED SMOOTH TO RECEIVE THE PAINT.
12. THE G.C. SHALL PROVIDE FIRE CAULK AT DEMISING PARTITIONS AND METAL DECK AS REQUIRED BY LOCAL CODE.
13. FIRE RATINGS OF PARTITIONS SHALL BE PER LOCAL AND STATE CODE REQUIREMENTS.



WEBER & ASSOCIATES
313 LONG RIDGE ROAD
STAMFORD, CT 06902
TEL: (203) 327 - 7677
FAX: (203) 352 - 1899
WWW.WEBERARCH.COM

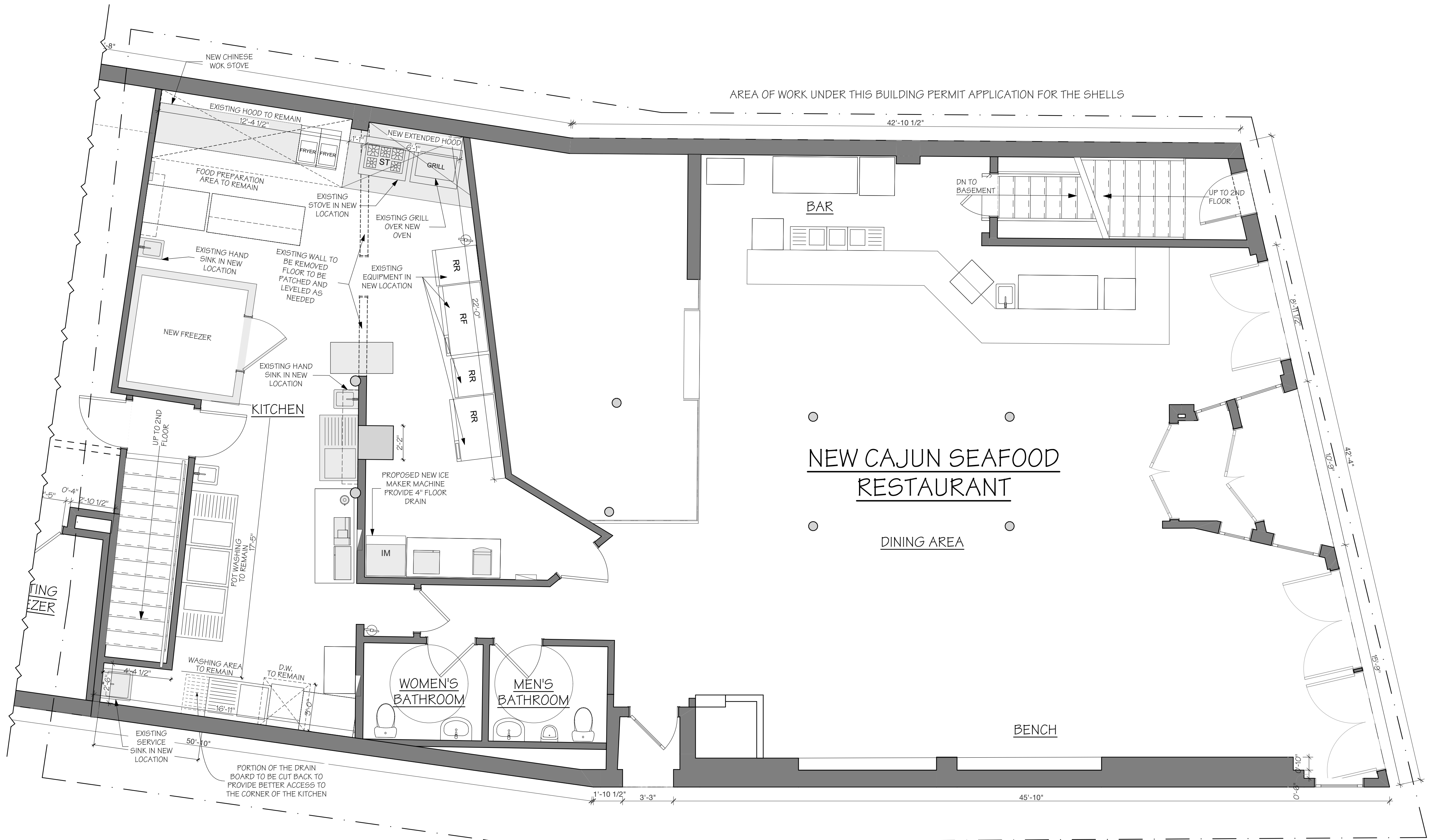
MINOR KITCHEN ALTERATION PLANS FOR FIRST FLOOR, THE SHELLS RESTAURANT, AT

261 MAIN ST., STAMFORD, CT 06901

SEAL & SIGNATURE

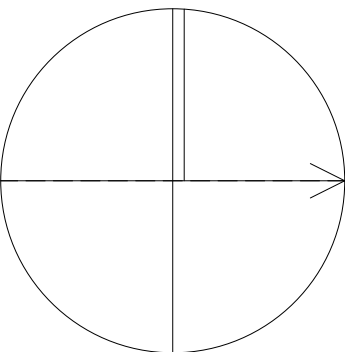
DATE:	8/23/19
SCALE:	1/4" = 1'-0"
DRAWN BY:	R. L
CHECK BY:	H. WEBER
DWG N°:	

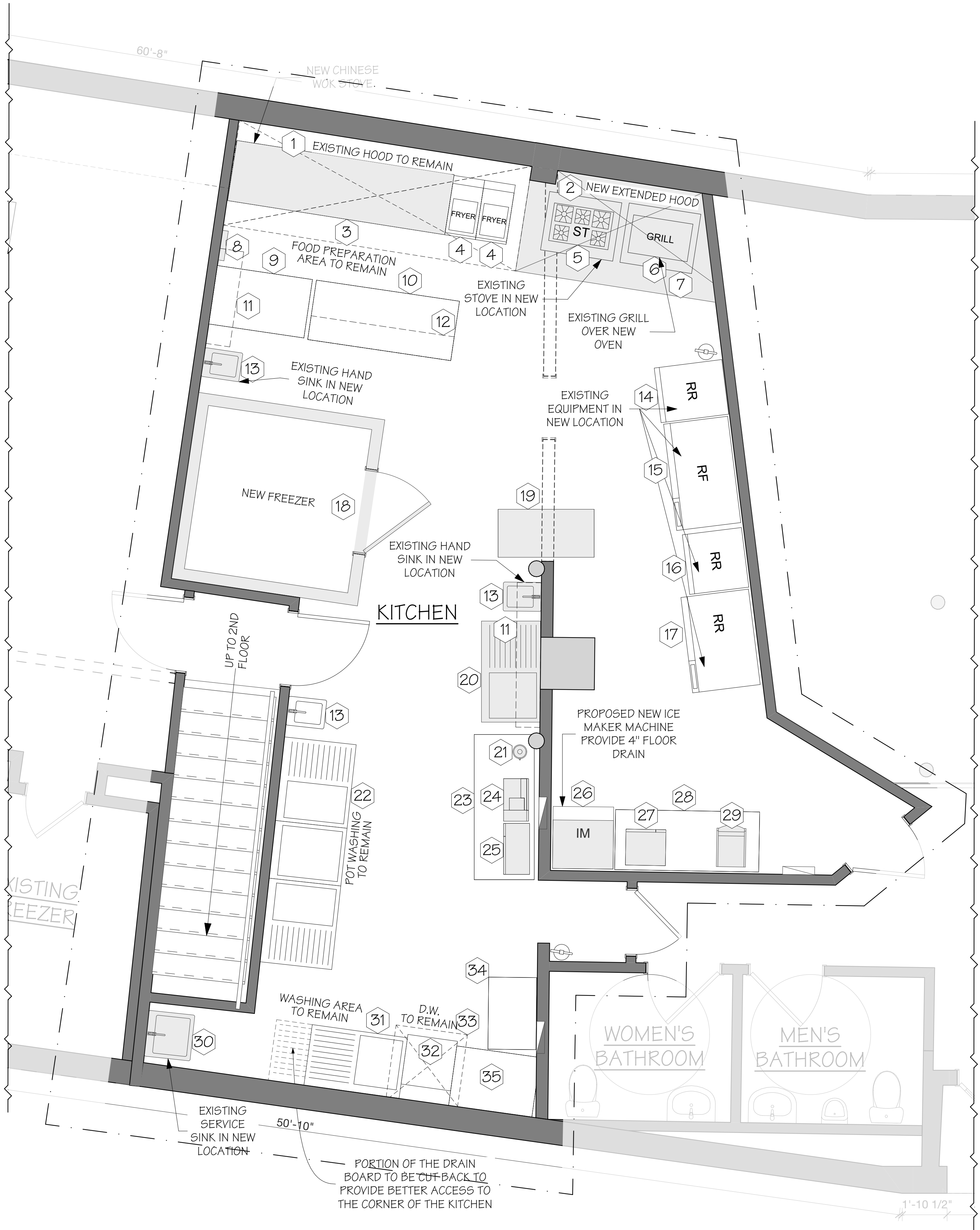
A-1.0



KEY PLAN

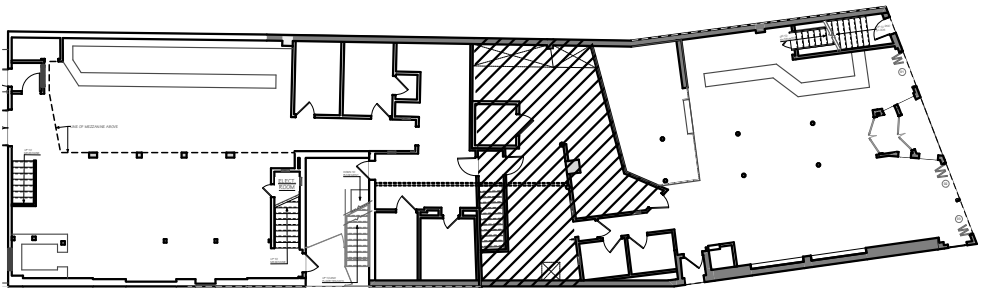
PLAN
NORTH



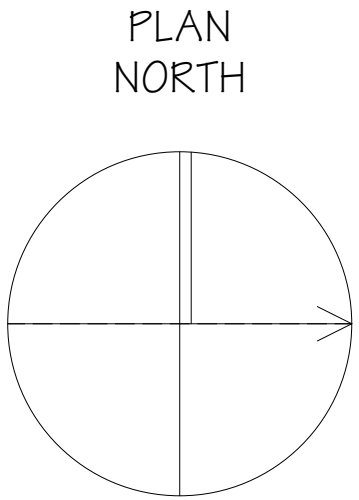


PROGRESS

KITCHEN EQUIPMENT SCHEDULE					
ITEM #	QTY	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS
1	1	EXISTING HOOD			EXISTING
2	1	NEW EXTENDED HOOD	CAPTIVE AIRE	CUSTOM	NEW
3	1	CHINESE WOK STOVE	CONSTRUCTION MALL	YXWS-500	NEW
4	2	FLOOR FRYER	AVANTCO	FF300	EXISTING
5	1	STOVE	SOUTHBEND	S36A	EXISTING
6	1	COUNTER TOP GRIDDLE	CPG	351CMCPG36NL	EXISTING
7	1	COOK AND HOLD OVEN	ALTO SHAMM	750-TH-II	NEW
8	1	KNIFE RACK	EDLUND	KR-699	NEW
9	1	WORK TABLE			EXISTING
10	1	FOOD PREPARATION TABLE	TRUE	TSSU-72-18	EXISTING
11	2	SHELVE WALL MOUNTED	REGENCY	600WS1272	EXISTING
12	1	DOUBLE DECK OVERSHELVES	REGENCY	600DOS1272	EXISTING
13	3	HAND WASH SINK	REGENCY	600B11014	EXISTING
14	1	SINGLE DOOR REACH-IN REFRIGERATOR	TRAULSEN	RLT-1-26WUT	EXISTING
15	1	DOUBLE DOOR REACH-IN FREEZER	AVANTCO	178A49FHC	EXISTING
16	1	SINGLE DOOR REACH-IN REFRIGERATOR	TRUE	GDM-26-HC-TSL01	EXISTING
17	1	DOUBLE DOOR REACH-IN REFRIGERATOR	TRAULSEN	RHT 232DUT-024	EXISTING
18	1	WALK-IN FREEZER	AMERIKOOLER	8'X8' CUSTOM	NEW
19	1	WORK TABLE	T.B.D.	T.B.D.	NEW
20	1	2 COMPARTMENT SINK	L&J	LJ2424-1R	NEW
21	1	BLENDER	AVAMIX	928BX200T	NEW
22	1	POT WASHING SINK - 3 COMP	TABCO	94-3-54-18RL	EXISTING
23	1	WORKTOP REFRIGERATOR	AVANTCO		EXISTING
24	1	MANUAL SLICER	GLOBE	G10-10"	EXISTING
25	1	WARMER OVEN	VOLLRATH	SAA8003	EXISTING
26	1	ICE MAKER	HOSHIZAKI AMERICAN INC	KM-515-M	NEW
27	1	MICROWAVE	SOLWAVE	180MW1000D	NEW
28	1	WORK TABLE			EXISTING
29	1	COFFEE MAKER	CURTIS	CAFE 3DB	NEW
30	1	SERVICE SINK	TABCO		EXISTING
31	1	SOILED DISH TABLE WITH SHELVES	ECOLAB/MOYER DIEBEL		EXISTING
32	1	DISH WASHER	ECOLAB/MOYER DIEBEL	MH-60	EXISTING
33	1	EXISTING HOOD			EXISTING
34	1	WORK TABLE	REGENCY	600TB2436G	EXISTING
35	1	CLEAN DISH TABLE WITH SHELVE	ECOLAB/MOYER DIEBEL		EXISTING



KEY PLAN



REVISION	DATE	ISSUE

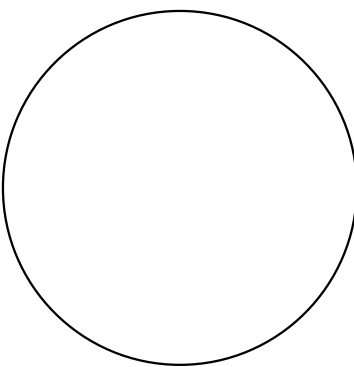


WEBER & ASSOCIATES
 313 LONG RIDGE ROAD
 STAMFORD, CT 06902
 TEL: (203) 327 - 7677
 FAX: (203) 352 - 1899
 WWW.WEBERARCH.COM

PROJECT:
**MINOR KITCHEN ALTERATION PLANS
 FOR FIRST FLOOR, THE SHELLS
 RESTAURANT, AT**
 261 MAIN ST., STAMFORD, CT 06901

KITCHEN EQUIPMENT
LAYOUT

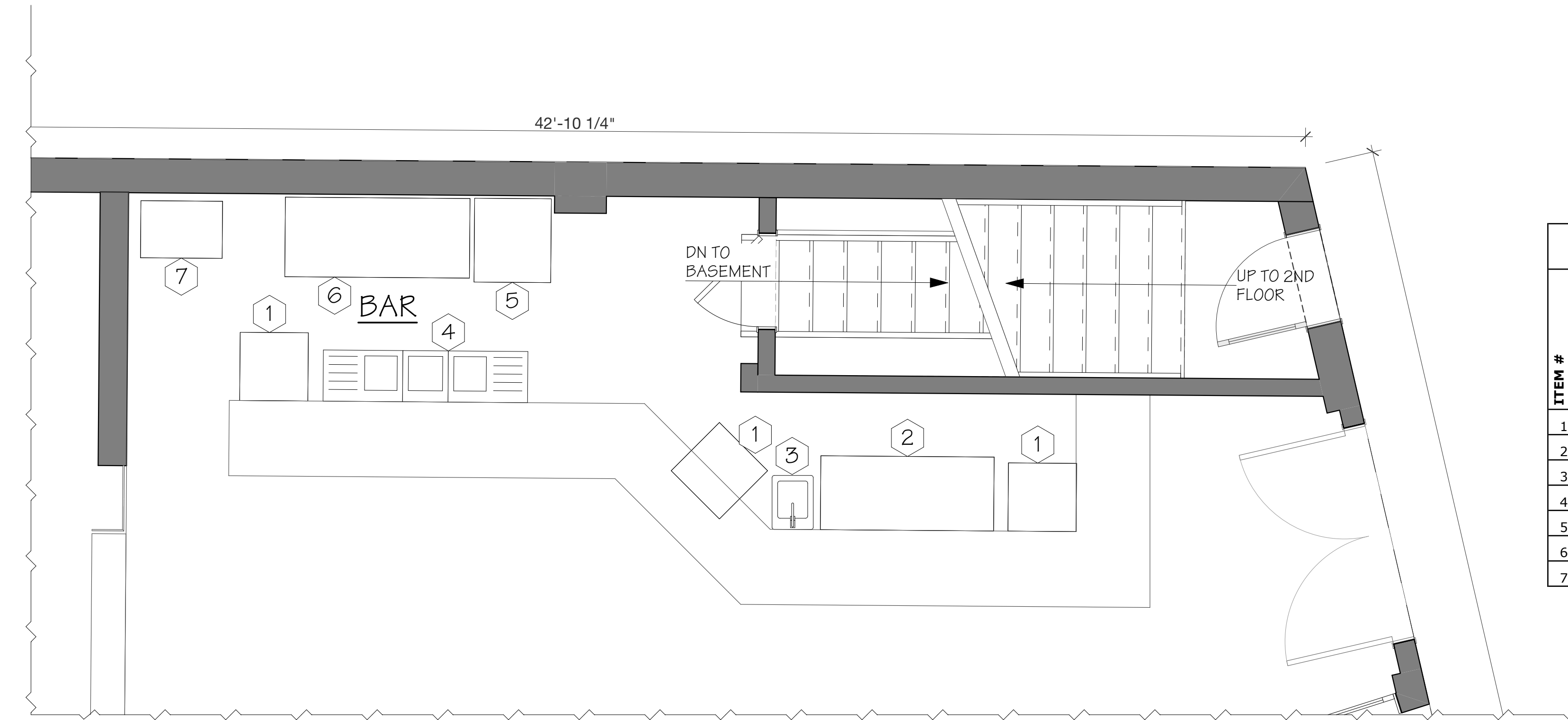
SEAL & SIGNATURE



DATE: 8/23/19
 SCALE: 3/8" = 1'-0"
 DRAWN BY: R. L.
 CHK BY: H. WEBER
 DWG N°:

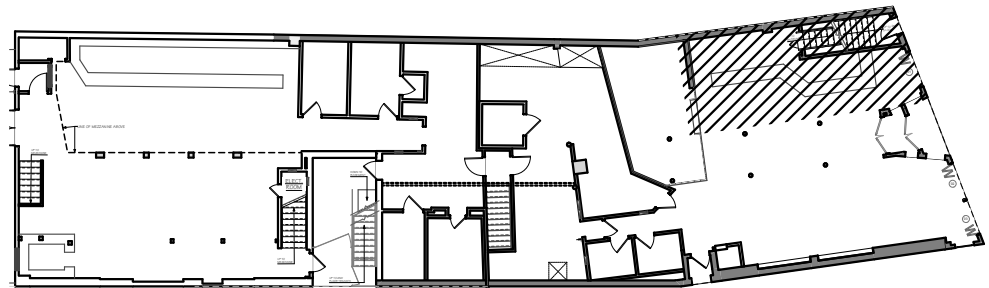
A-2.0

/Volumes/COMMERCIAL/2019 COMMERCIAL PROJECTS/261 MAIN STREET /261 Main Alteration Plan - (8:23:19).pln

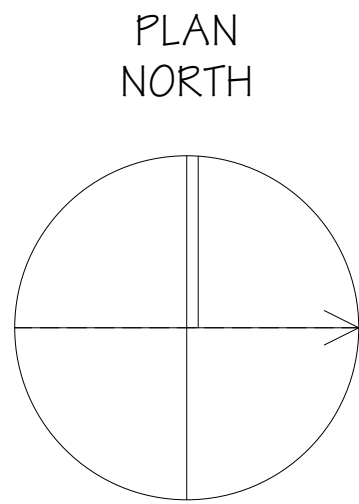


BAR EQUIPMENT SCHEDULE					
ITEM #	QTY	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS
1	3	COCKTAIL UNIT	EAGLE	B2CT-22	EXISTING
2	1	BACK BAR REFRIGERATOR	AVANTCO	178UBB60GHC	EXISTING
3	1	HAND WASH SINK	REGENCY	600B11014	EXISTING
4	1	3 BOWL UNDER BAR HAND SINK	REGENCY	600B31014219	EXISTING
5	1	UNDER COUNTER FREEZER	AVANTCO	178SSUC27FHC	EXISTING
6	1	BOTTLE COOLER	AVANTCO	178HBB65HC	EXISTING
7	1	SLUSH FREEZER	TAYLOR		EXISTING

PROGRESS



KEY PLAN



REVISION	DATE	ISSUE

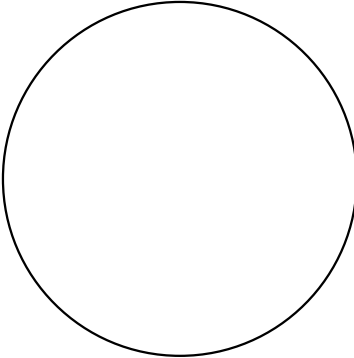


WEBER & ASSOCIATES
313 LONG RIDGE ROAD
STAMFORD, CT 06902
TEL: (203) 327 - 7677
FAX: (203) 352 - 1899
WWW.WEBERARCH.COM

PROJECT:
**MINOR KITCHEN ALTERATION PLANS
FOR FIRST FLOOR, THE SHELLS
RESTAURANT, AT**
261 MAIN ST., STAMFORD, CT 06901

BAR EQUIPMENT LAYOUT

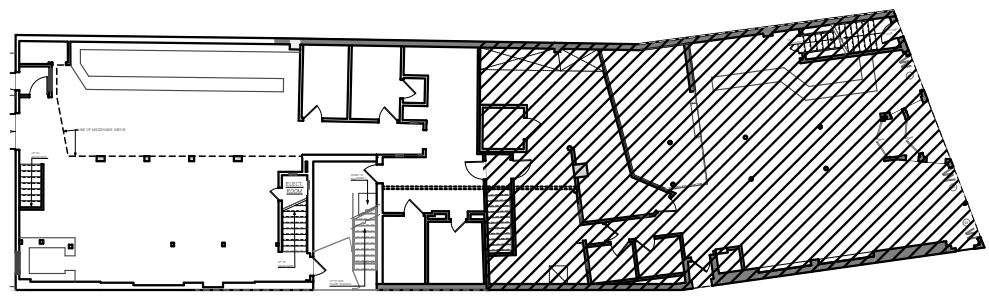
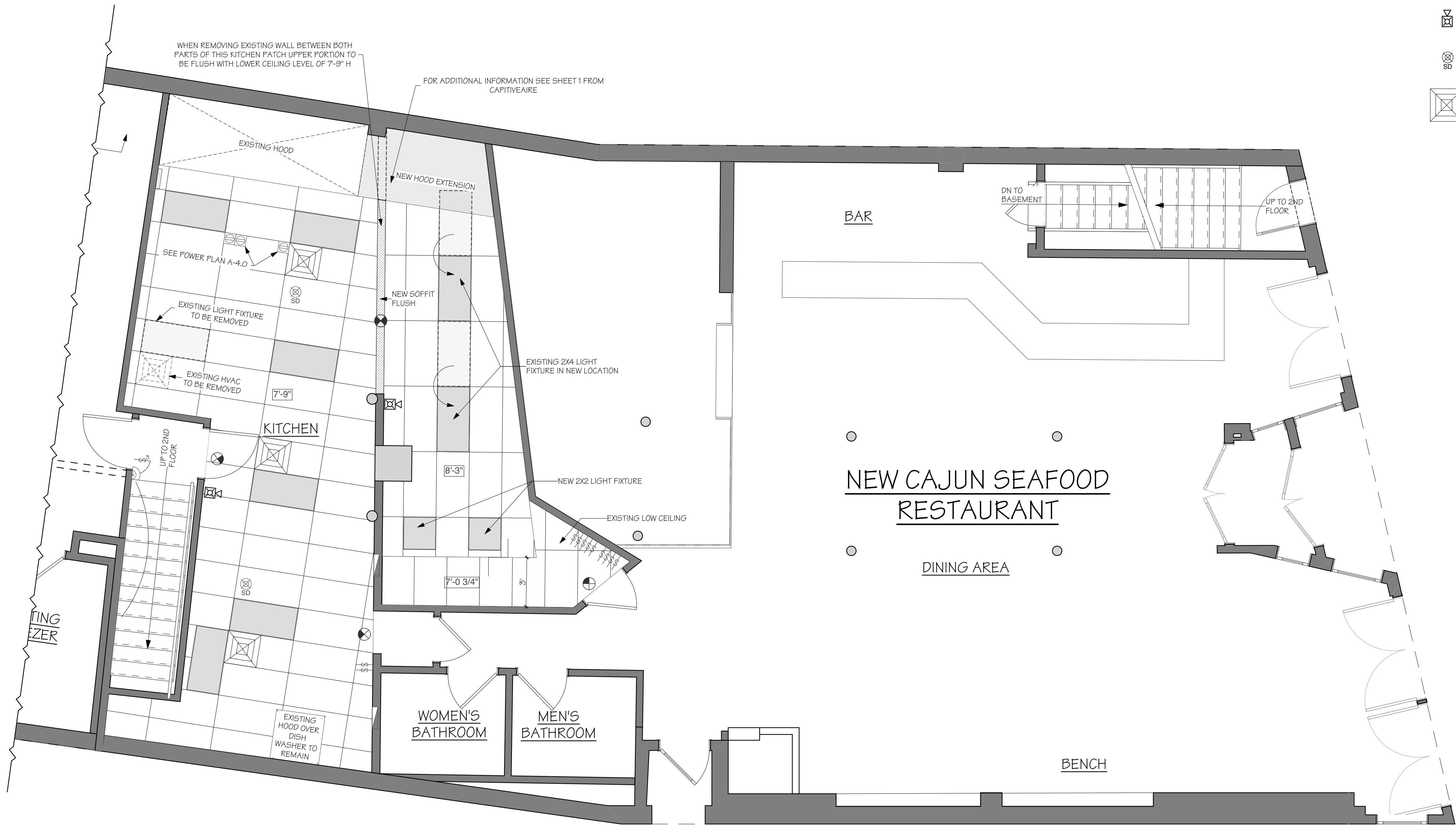
SEAL & SIGNATURE



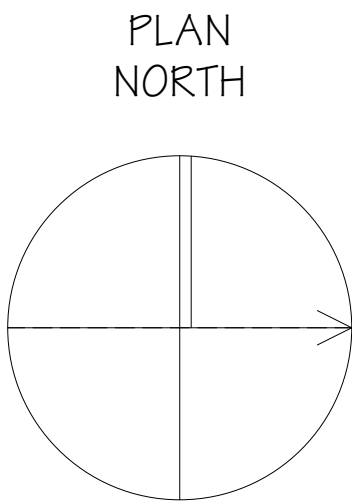
DATE: 8/23/19
SCALE:
DRAWN BY: R. L.
CHK BY: H. WEBER
DWG N°:

A-3.0

PROGRESS



KEY PLAN



REFLECTED CEILING LEGEND

- EXISTING SUSPENDED 2'X4' FIRE RATED CEILING TILE; TO REMAIN
- NEW 5/8" TH. DRY WALL SOFFIT
- CEILING HEIGHT A.F.F.
- NEW 2' X 4' AOTOMUS 40W ULTRA THIN GLARE FREE EDGE LIT 5000K DIMMABLE LED PANEL LIGHT FIXTURE @8'-0" A.F.F.; OR APPROVED EQUAL.
- NEW 2' X 2' AOTOMUS 40W ULTRA THIN GLARE FREE EDGE LIT 5000K DIMMABLE LED PANEL LIGHT FIXTURE @8'-0" A.F.F.; OR APPROVED EQUAL.
- NEW EMERGENCY LIGHT LOCATION
- EXIT SIGN LOCATION
- BUILDING STANDARD WALL MOUNTED FIRE ALARM HORN/STROBE 80" A.F.F.
- BUILDING STANDARD CEILING MOUNTED SMOKE DETECTOR BASE
- AC DIFFUSER

NEW REFLECTED CEILING NOTES:

- ALL BALLASTS & LAMPS SHALL BE OF THE ENERGY CONSERVATION TYPE AND TO COMPLY WITH THE TOWN ENERGY CONSERVATION REQUIREMENTS.
- ALL NEW CEILING STARTING POINTS SHALL BE LOCATED ON THE CENTERLINES OF THE ROOM, UNLESS OTHERWISE NOTED.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPATIBILITY OF LIGHTING FIXTURES WITH THE SPECIFIED CEILING SYSTEM.
- ALL SWITCHES / DIMMERS SHALL BE MOUNTED AT 48" A.F.F., TO CENTERLINE OF SWITCH / DIMMER, MULTIPLE SWITCHES AND / OR DIMMER TO BE GANGED AND PROVIDED WITH SINGLE GANG PLATE.
- THE TENANT'S TELEPHONE COMPANY AND / OR COMPUTER COMPANY MUST INSTALL ALL WIRING PRIOR TO CEILING INSTALLATION, SO THAT CEILING TILES DO NOT HAVE TO BE REMOVED. IF INSTALLED AFTER TILE INSTALLATION, THE G.C. IS RESPONSIBLE FOR MISC. CEILING TILE DAMAGE SUCH AS DIRTY FINGER MARKS.
- ALL CEILING INSTALLATION SHALL COMPLY WITH ALL APPLICABLE LOCAL AND BUILDING LAWS AND CODES.
- THE G.C. SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS TO CONFIRM CLEARANCES OF DUCTWORK, LIGHT FIXTURES, ETC. PRIOR TO PROCEEDING WITH THE WORK. HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES TO THE CONTRACT DOCUMENTS. INCLUDE ALL COSTS AT THE TIME OF BID.
- THE G.C. SHALL PROVIDE NECESSARY BLOCKING, BRACING AND/ OR SUPPORT ABOVE CEILING AS REQUIRED TO RECEIVE CURTAINS AND BLINDS, PROJECTION SCREENS, GLASS WALLS, DOORS, CABINETS, ETC.

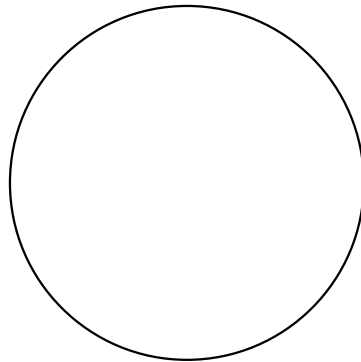
REVISION	DATE	ISSUE

WEBER & ASSOCIATES
313 LONG RIDGE ROAD
STAMFORD, CT 06902
TEL: (203) 327 - 7677
FAX: (203) 352 - 1899
WWW.WEBERARCH.COM

PROJECT:
**MINOR KITCHEN ALTERATION PLANS
FOR FIRST FLOOR, THE SHELLS
RESTAURANT, AT**
261 MAIN ST., STAMFORD, CT 06901

REFLECTED CEILING PLAN

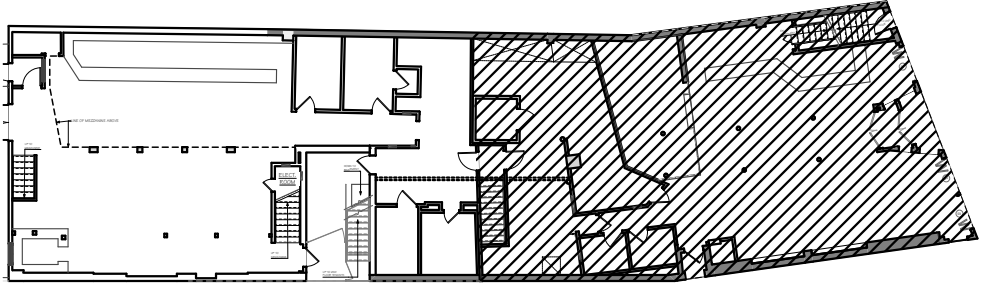
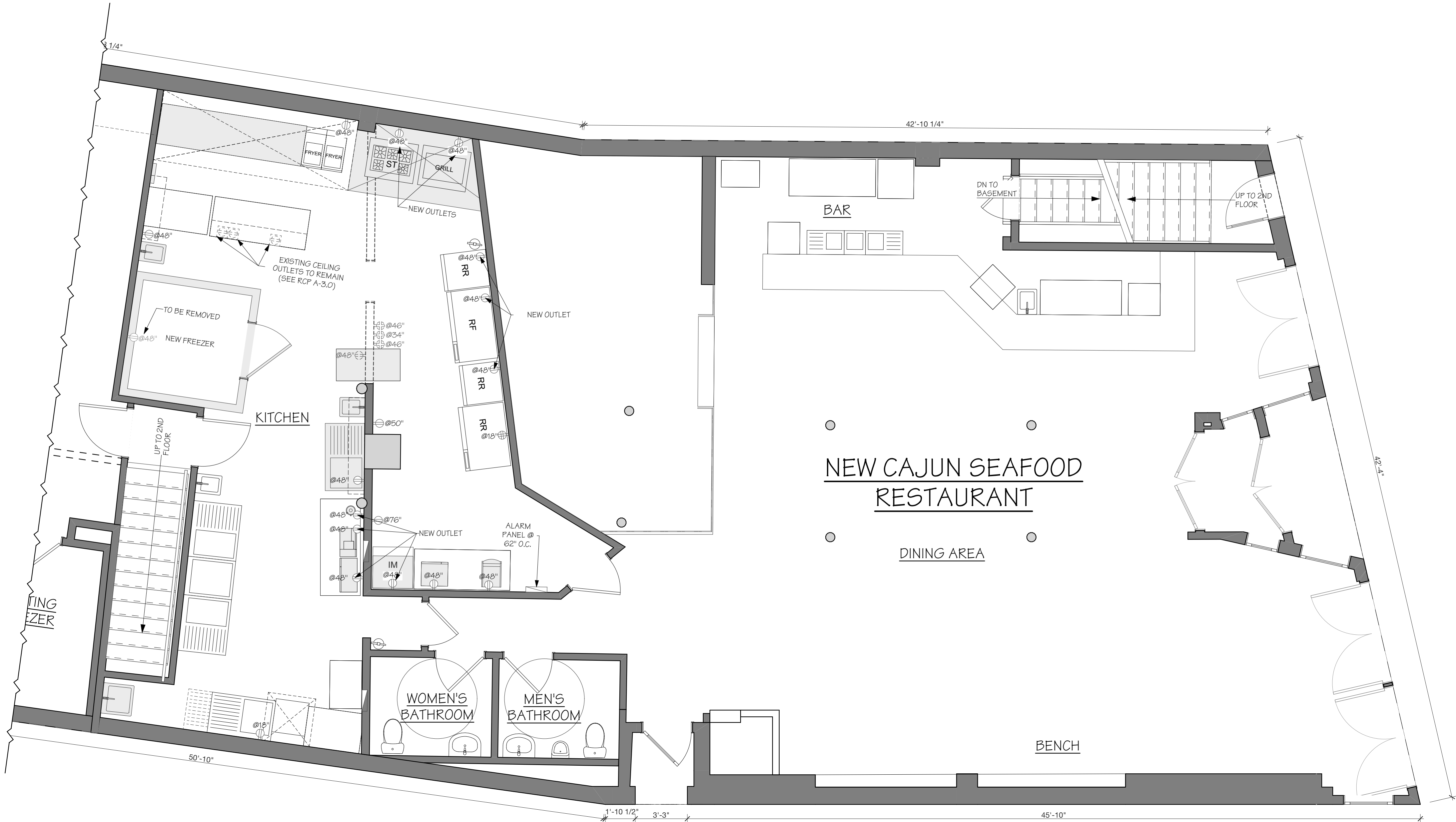
SEAL & SIGNATURE



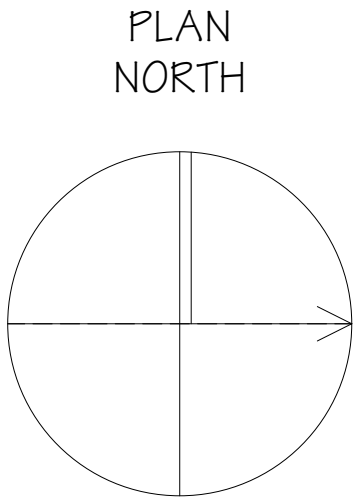
DATE: 8/23/19
SCALE: 1/4" = 1'-0"
DRAWN BY: R. L.
CHK BY: H. WEBER
DWG N°:

A-4.0

PROGRESS



KEY PLAN



POWER & DATA LEGEND

- EXISTING DUPLEX OUTLET @ 18" A.F.F. U.O.N.
- EXISTING QUAD OUTLET @ 18" A.F.F. U.O.N.
- EXISTING CEILING OUTLETS

POWER AND DATA NOTES:

- ALL OUTLETS SHOWN ARE EXISTING, U.O.N.
- IN ALL CASES, USE ARCH. DWGS. FOR QUANTITIES & LOCATIONS, & ENGINEERS DWGS. FOR CIRCUITING.
- GANG ALL OUTLETS AND SWITCHES WHEREVER MORE THAN ONE APPEAR.
- CONSULT TENANT'S SECURITY VENDOR REGARDING SECURITY SPECS/REQUIREMENTS.
- CONSULT TENANT'S COMMUNICATIONS VENDOR REGARDING TELE/ DATA CABLE REQUIREMENTS.
- CONTRACTOR IS REQUIRED TO RECONNECT AND / OR REINSTALL ANY AND ALL EXISTING TO REMAIN ELECTRICAL AND COMMUNICATIONS DEVICES DISCONNECTED DURING DEMOLITION.
- ALL NEW WALL MOUNTED ELECTRICAL AND VOICE / DATE OUTLETS SHALL BE INSTALLED AT 18" A.F.F., U.O.N.
- ALL NEW VOICE / DATA OUTLETS SHALL HAVE A CONDUIT STUB-UP (MIN. 1" DIAMETER, U.O.N.) THROUGH WALL TO 6" ABOVE HUNG CEILING, WITH DRAG LINE PULLED INTO CEILING.
- SEE ENGINEERING DRAWINGS FOR CIRCUITING.
- NUMBER IN INCHES NEXT TO AN OUTLET INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR, IF DIFFERENT FROM STANDARD.
- IF DIMENSIONS ARE NOT INDICATED AT OUTLET LOCATIONS, DO NOT SCALE DRAWINGS. REVIEW DIMENSIONS WITH ARCHITECT.
- ALL ELECTRICAL WORK PERFORMED IN CONNECTION WITH THE INSTALLATION OF THE TELEPHONE COMMUNICATIONS SYSTEM SHALL BE IN ACCORDANCE WITH THE BUILDING MANAGEMENT AND TELEPHONE COMPANY'S RECOMMENDATIONS AND REQUIREMENTS, INCLUDING THE INSTALLATION OF REQUIRED CONDUIT FROM THE BUILDING TELEPHONE EQUIPMENT ROOM TO THE TENANT'S SPACE.
- ALL BACK-TO-BACK OUTLETS IN ADJOINING ROOMS TO BE STAGGERED. CENTERLINE-TO-CENTERLINE DIMENSIONS OF ANY OUTLET PAIR SHALL NOT EXCEED 6". THE CONTRACTOR SHALL PROVIDE ADDITIONAL HORIZONTAL STUDS SO THAT BACK-TO-BACK WALL OUTLETS MAY BE IMMEDIATELY ADJACENT TO EACH OTHER, IF HOLD DIMENSION CANNOT BE MAINTAINED, REVIEW WITH ARCHITECT.

REVISION	DATE	ISSUE



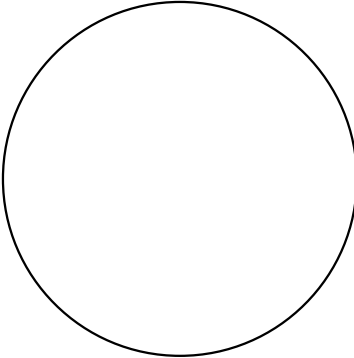
WEBER & ASSOCIATES
313 LONG RIDGE ROAD
STAMFORD, CT 06902
TEL: (203) 327 - 7677
FAX: (203) 352 - 1899
WWW.WEBERARCH.COM

PROJECT:
**MINOR KITCHEN ALTERATION PLANS
FOR FIRST FLOOR, THE SHELLS
RESTAURANT, AT**

261 MAIN ST., STAMFORD, CT 06901

POWER PLAN

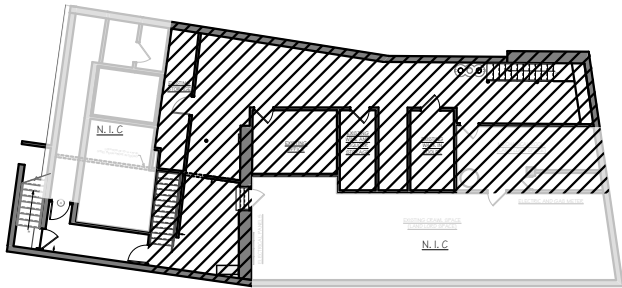
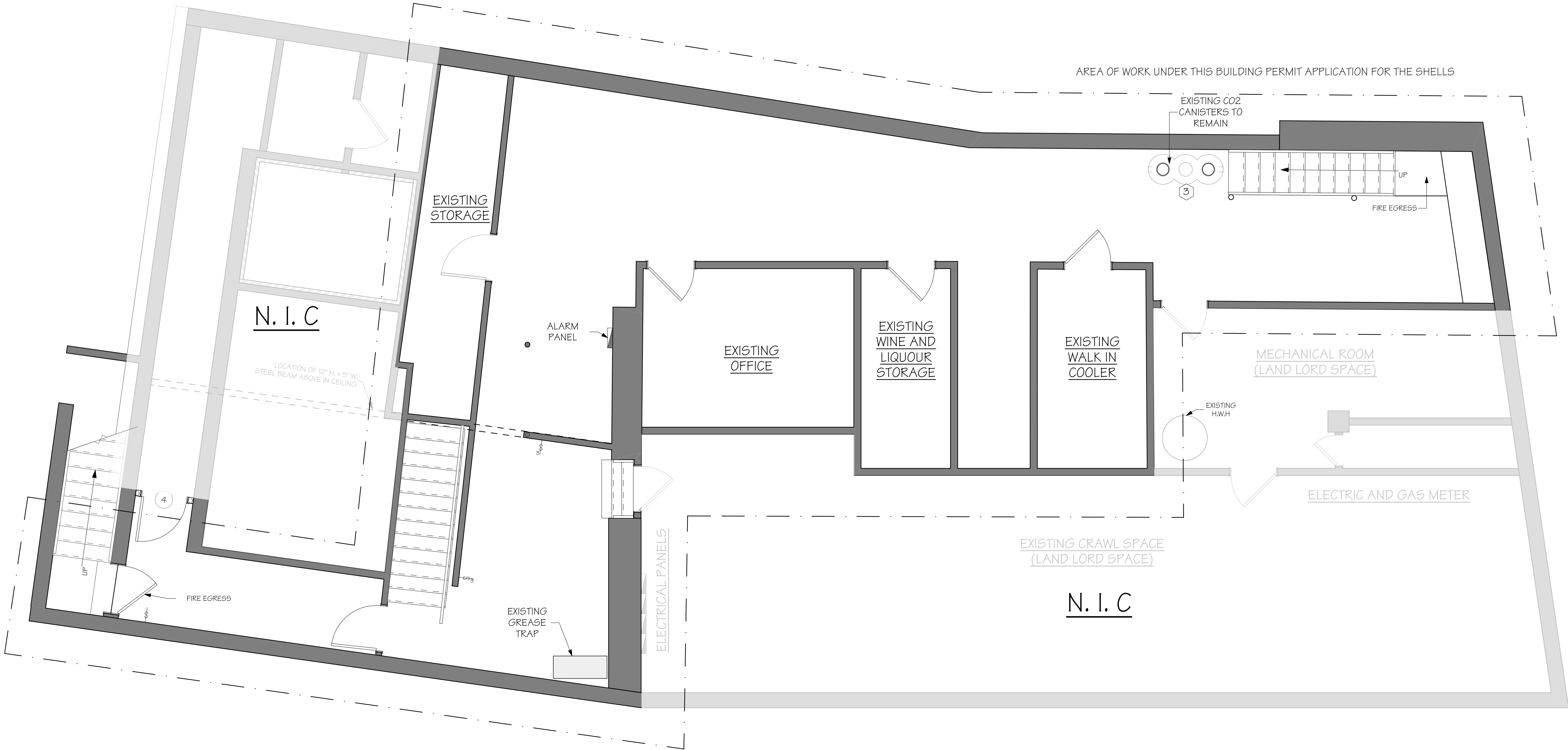
SEAL & SIGNATURE



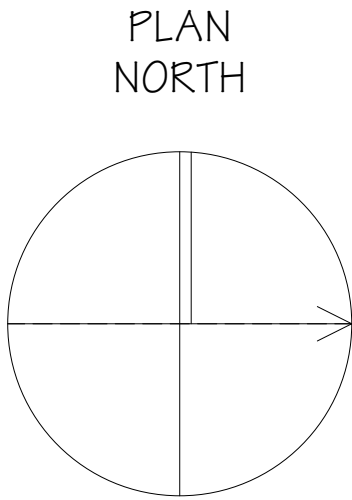
DATE: 8/23/19
SCALE:
DRAWN BY: R. L.
CHK BY: H. WEBER
DWG N°:

A-5.0

PROGRESS



KEY PLAN



PLAN NORTH

REVISION	DATE	ISSUE

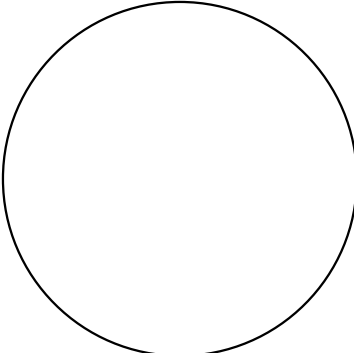


WEBER & ASSOCIATES
313 LONG RIDGE ROAD
STAMFORD, CT 06902
TEL: (203) 327 - 7677
FAX: (203) 352 - 1899
WWW.WEBERARCH.COM

PROJECT:
**MINOR KITCHEN ALTERATION PLANS
FOR FIRST FLOOR, THE SHELLS
RESTAURANT, AT**
261 MAIN ST., STAMFORD, CT 06901

EXISTING BASEMENT PLAN

SEAL & SIGNATURE



DATE: 8/23/19
SCALE:
DRAWN BY: R. L.
CHK BY: H. WEBER
DWG N°:

A-6.0