

2401 SAN JACINTO STREET
HOUSTON, TEXAS 77002
OFFERING SUMMARY

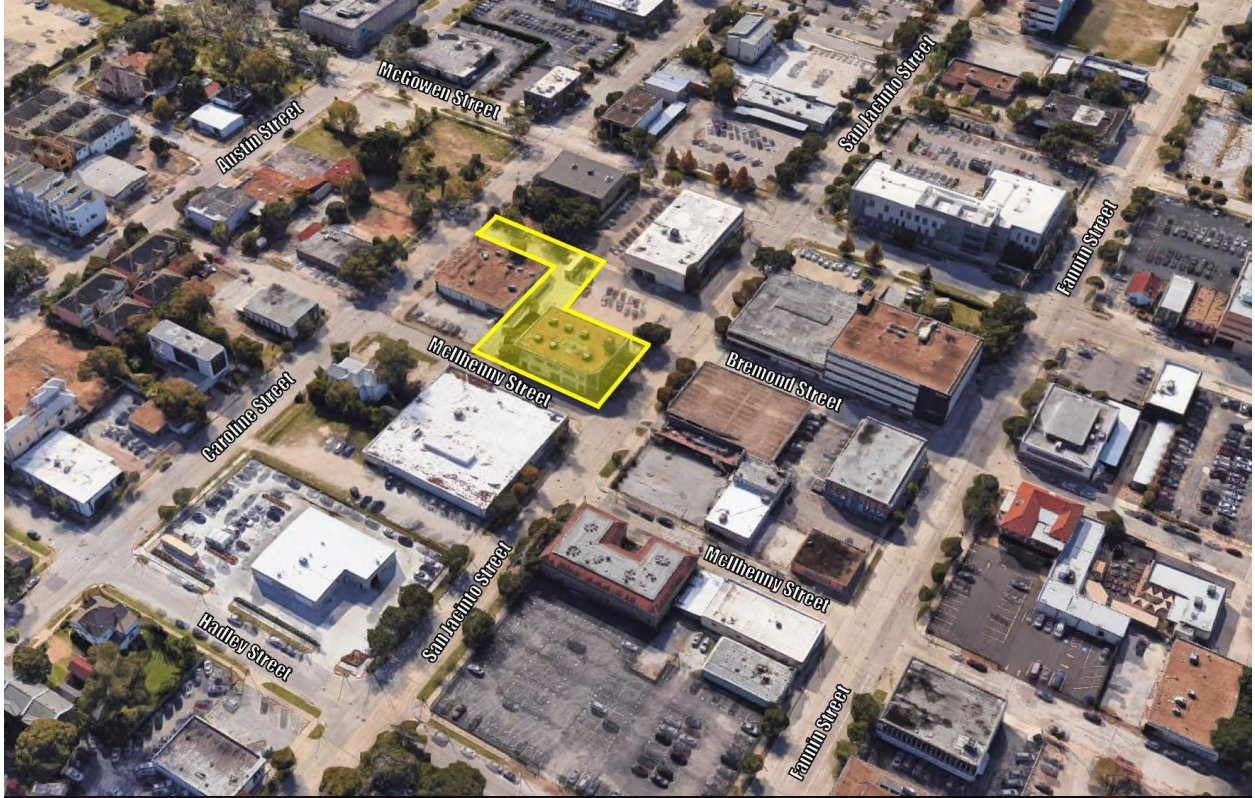
PRICE:	\$3,750,000
NOI:	\$ 332,000
CAP:	8.85%
GLA:	15,000 SF
BUILT	1949
RENNOVATED	2016
LOT SIZE:	21,250 SF

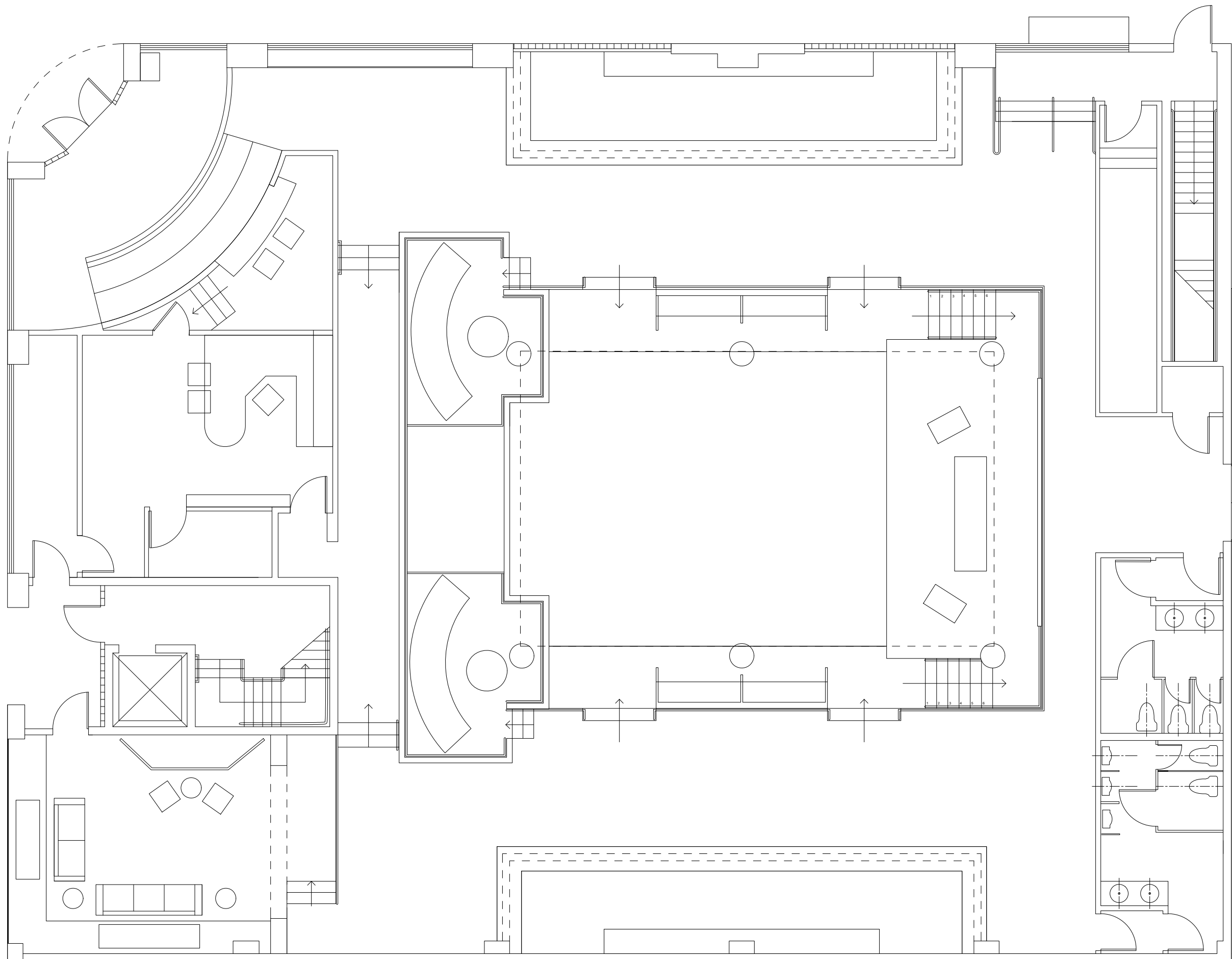
DESCRIPTION: PRIME LOCATION FOR AN OPPORTUNITY ZONE INVESTMENT ON THE CORNER OF SAN JACINTO STREET AND MCILHENNY IN THE HEART OF MIDTOWN HOUSTON, ONE OF THE MOST DENSELY POPULATED AREAS OF THE CITY WITH A DAYTIME POPULATION OVER 900,000 AND OVER 460,000 BEDROOM COMMUNITY.

LEASE TYPE:	MODIFIED GROSS
COMMENCEMENT:	JANUARY 1, 2019
TERM:	5 YEARS
RENT:	\$35,000/Mo.
RENT INCREASES ANNUALLY BY CPI-U HOUSTON	
TAXES:	APPROX. \$60,000/YR
INSURANCE:	\$28,000 IN 2019-2020
MAINTENANCE:	TENANT RESPONSIBILITY

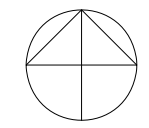
ATTACHMENTS: AERIAL PHOTOGRAPHS, STORE FRONT, SURVEY & FLOORPLAN

KEY PRINCIPAL OF FEE SIMPLE OWNER IS A LICENSED REAL ESTATE BROKER
(#541606)

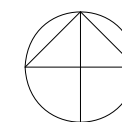
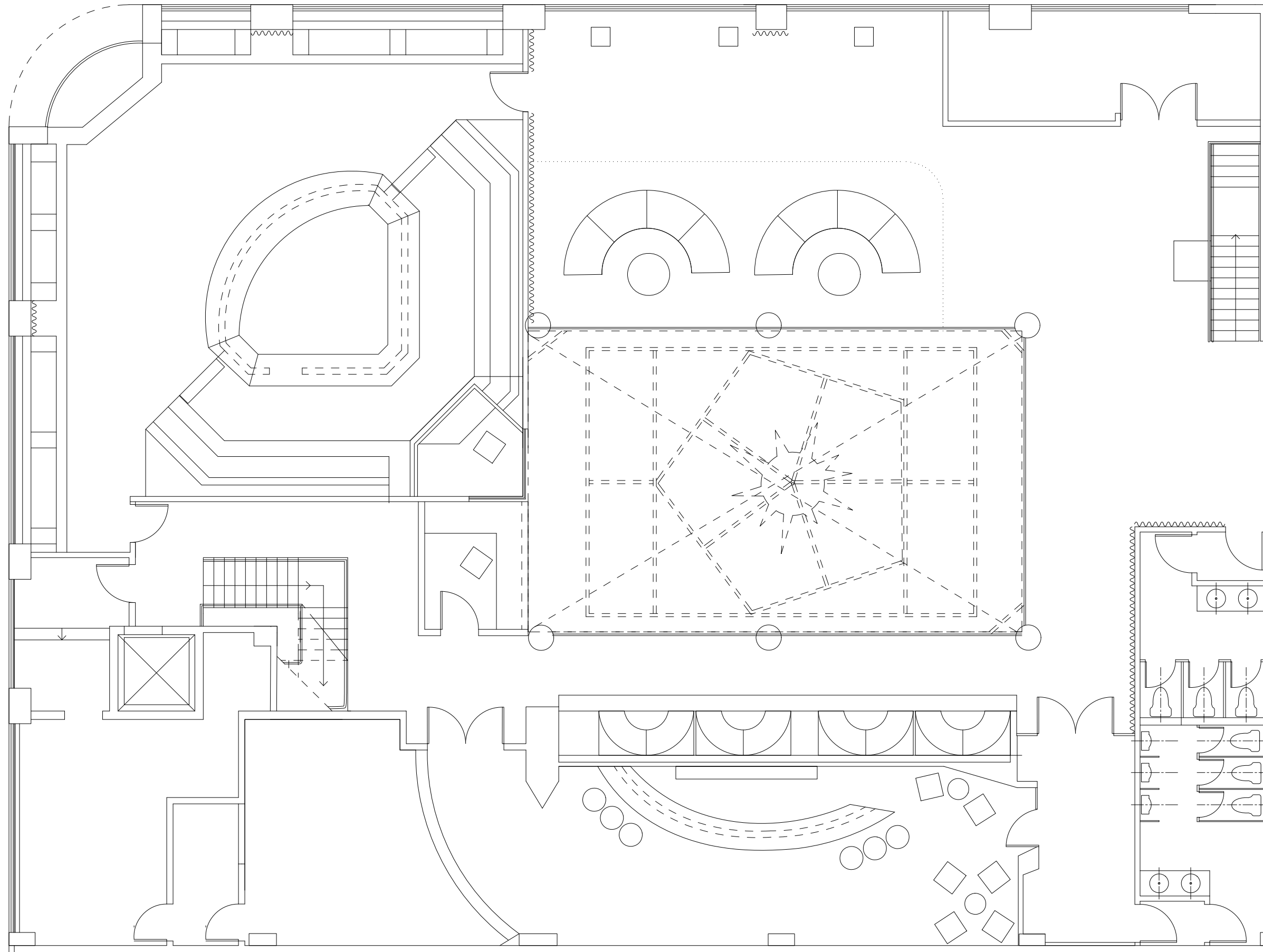




PATIO AREA
1485 sqft



2401 SAN JACINTO
FIRST FLOOR PLAN
SCALE 1/8" = 1'

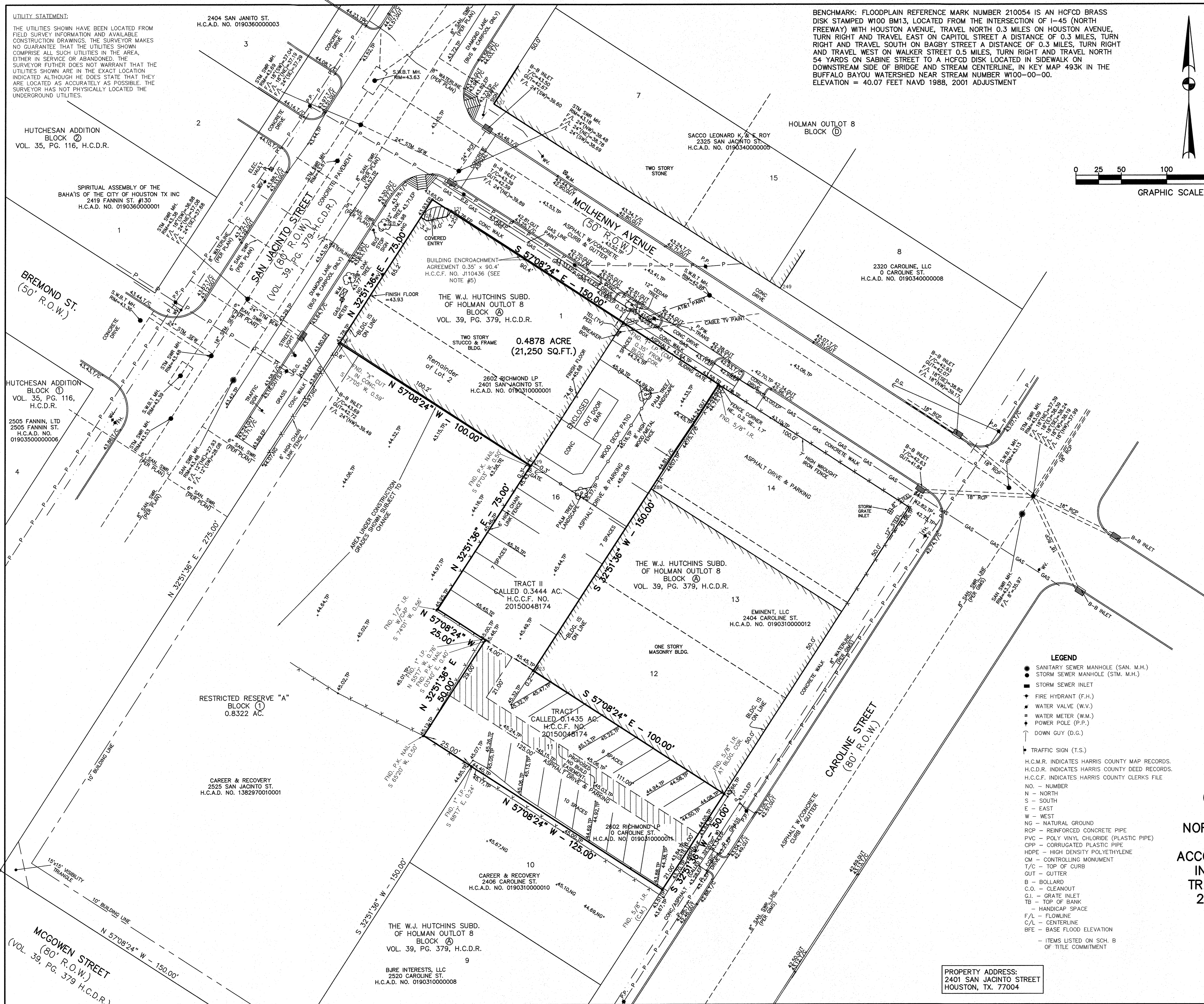
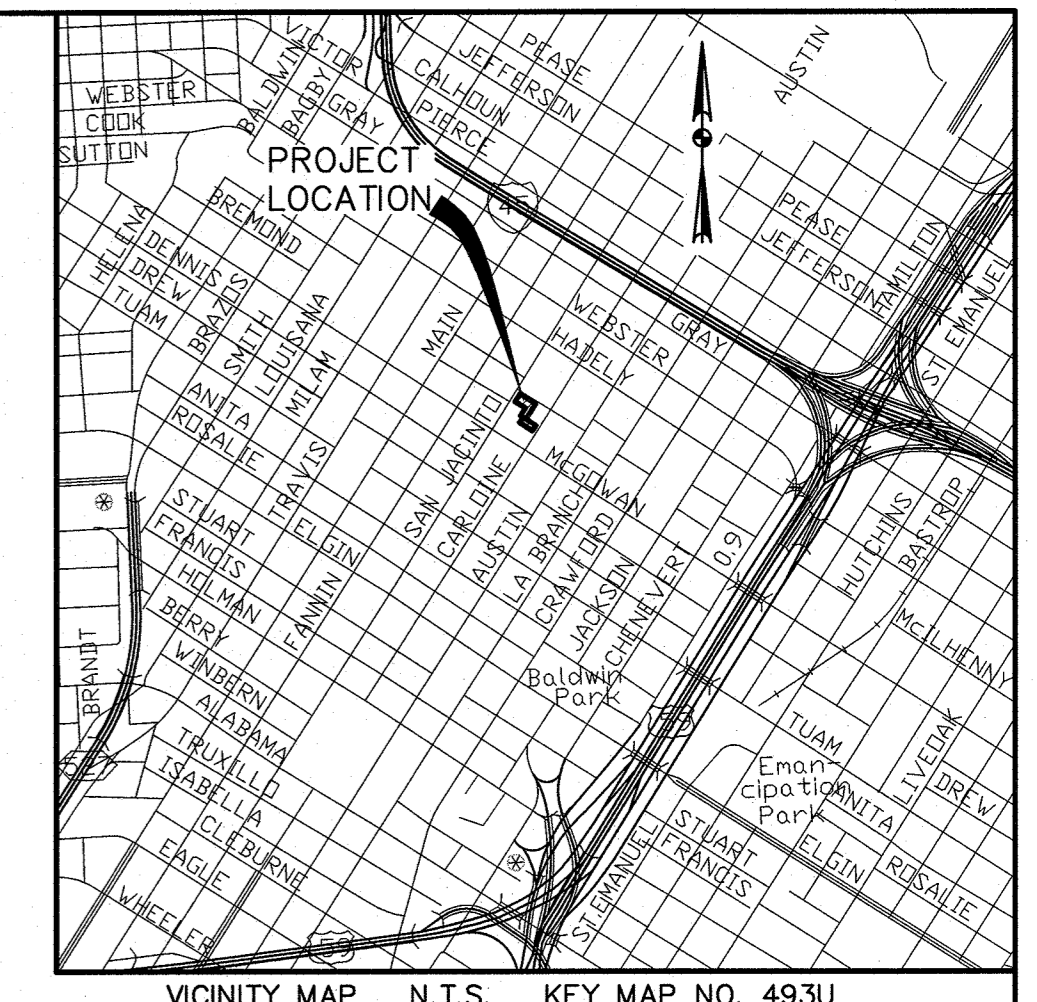


2401 SAN JACINTO
SECOND FLOOR PLAN
SCALE 1/8" = 1'

UTILITY STATEMENT:
 THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND AVAILABLE CONSTRUCTION DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

2404 SAN JACINTO ST.
 H.C.A.D. NO. 019036000003

BENCHMARK: FLOODPLAIN REFERENCE MARK NUMBER 210054 IS AN HCFCD BRASS DISK STAMPED W100 BM13, LOCATED FROM THE INTERSECTION OF I-45 (NORTH FREEWAY) WITH HOUSTON AVENUE, TRAVEL NORTH 0.3 MILES ON HOUSTON AVENUE, TURN RIGHT AND TRAVEL EAST ON CAPITOL STREET A DISTANCE OF 0.3 MILES, TURN RIGHT AND TRAVEL SOUTH ON BAGBY STREET A DISTANCE OF 0.3 MILES, TURN RIGHT AND TRAVEL WEST ON WALKER STREET 0.5 MILES, TURN RIGHT AND TRAVEL NORTH 54 YARDS ON SABINE STREET TO A HCFCD DISK LOCATED IN SIDEWALK ON DOWNSIDE OF BRIDGE AND STREAM CENTERLINE. IN KEY MAP 493K IN THE BUFFALO BAYOU WATERSHED NEAR STREAM NUMBER W100-00-00. ELEVATION = 40.07 FEET NAVD 1988, 2001 ADJUSTMENT



- NOTES:**
- 1) THE SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY. THIS SURVEY WAS PERFORMED IN CONJUNCTION WITH THE INFORMATION CONTAINED IN A TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY, OF NO. 1400032606 WITH AN EFFECTIVE DATE OF JANUARY 3, 2014.
 - 2) ALL BEARINGS ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83.
 - 3) THIS TRACT LIES IN ZONE "X" AND DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN, ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR HARRIS COUNTY, TEXAS, COMMUNITY PANEL NO. 4820208080, DATED JANUARY 6, 2017. THIS STATEMENT IS FURNISHED FOR INFORMATION AND IS BASED ON GRAPHIC PLOTTING ONLY.
 - 4) THE SUBJECT PROPERTY IS LOCATED WITHIN THE CITY OF HOUSTON OR WITHIN ITS EXTRA TERRITORIAL JURISDICTION (WITHIN 5 MILES OF THE CITY LIMITS) IT IS SUBJECT TO THE TERMS, CONDITIONS AND PROVISIONS OF THE CITY OF HOUSTON ORDINANCE NO. 85-1878, PERTAINING TO, AMONG OTHER THINGS, THE PLATTING AND REPLACING OF REAL PROPERTY AND TO THE ESTABLISHMENT OF BUILDING LINES (25 FEET ALONG MAJOR THOROUGHFARES AND 10 FEET ALONG OTHER STREETS). A CERTIFIED COPY OF SAID ORDINANCE WAS FILED FOR RECORD ON AUGUST 1, 1991, UNDER HARRIS COUNTY CLERK'S FILE NO. N-253886, AND BEING AMENDED BY ORDINANCE NO. 1999-262.
 - 5) SUBJECT TO ENCROACHMENT OF PERMANENT IMPROVEMENTS INTO A 31.64 SQUARE FOOT TRACT IN MCILHENNY AVENUE ADJACENT TO LOT 1, BLOCK A OF THE SUBJECT PROPERTY, AS EVIDENCED BY THE ENCROACHMENT AGREEMENT WITH THE CITY OF HOUSTON, AS RECORDED MAY 27, 1983 UNDER H.C.C.F. NO. J110436 (DWG. NO. 04032911).

THE UNDERSIGNED DOES HEREBY CERTIFY THAT AN ON-THE-GROUND FIELD SURVEY WAS PERFORMED ON APRIL 7, 2017 OF THE PROPERTY SHOWN HEREON, THAT THERE ARE NO DISCREPANCIES, CONFLICTS, ENCROACHMENTS OR RIGHT-OF-WAY EXCEPT AS SHOWN HEREON, AND THAT THE NOTES AND OTHER MATTERS SET OUT IN THIS SURVEY ARE TRUE, CORRECT AND ACCURATE, AND THAT THIS SURVEY CONFORMS TO THE CURRENT TEXAS SURVEYORS ASSOCIATION STANDARDS AND SPECIFICATIONS FOR CATEGORY 1A CONDITION II SURVEY.

DATED THIS 21st DAY OF APRIL, 2017.
 [Signature]
 BERNARD F. JOHNSON
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4314
 REVISED: APRIL 21, 2017 - TO ADD FLOW LINES AT CAROLINE ST. AND MCILHENNY AND ADD NO BUILD AREA.
 [Professional Seal]

- LEGEND**
- SANITARY SEWER MANHOLE (SAN. M.H.)
 - STORM SEWER MANHOLE (STM. M.H.)
 - STORM SEWER INLET
 - FIRE HYDRANT (F.H.)
 - WATER VALVE (W.V.)
 - WATER METER (W.M.)
 - POWER POLE (P.P.)
 - ┆ DOWN GUY (D.G.)
 - ┆ TRAFFIC SIGN (T.S.)
 - H.C.M.R. INDICATES HARRIS COUNTY MAP RECORDS.
 - H.C.D.R. INDICATES HARRIS COUNTY DEED RECORDS.
 - H.C.C.F. INDICATES HARRIS COUNTY CLERKS FILE NO. - NUMBER
 - N - NORTH
 - S - SOUTH
 - E - EAST
 - W - WEST
 - NG - NATURAL GROUND
 - RCP - REINFORCED CONCRETE PIPE
 - PVC - POLY VINYL CHLORIDE (PLASTIC PIPE)
 - CPP - CORRUGATED PLASTIC PIPE
 - HDPE - HIGH DENSITY POLYETHYLENE
 - CM - CONTROLLING MONUMENT
 - T/C - TOP OF CURB
 - GUT - GUTTER
 - B - BOLLARD
 - C.O. - CLEANOUT
 - G.I. - GRATE INLET
 - TB - TOP OF BANK
 - HANDICAP SPACE
 - F/L - FLOWLINE
 - C/L - CENTERLINE
 - BFE - BASE FLOOD ELEVATION
 - ITEMS LISTED ON SCH. B OF TITLE COMMITMENT

BOUNDARY/TOPOGRAPHIC SURVEY
 OF
0.4878 ACRES (21,250 SQUARE FEET) OF LAND,
 BEING ALL OF LOTS 1, 11, 16 AND THE
 NORTHEASTERLY 1/2 OF LOT 2, IN BLOCK A OF THE
W.J. HUTCHINS SUBD., OF HOLMAN OUTLOT 8,
 ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
 IN VOL. 39, PG. 379 H.C.D.R. AND BEING ALL OF
 TRACTS I AND II AS RECORDED UNDER H.C.C.F. NO.
 20150048174 OF THE DEED RECORDS OF HARRIS
 COUNTY, TEXAS.

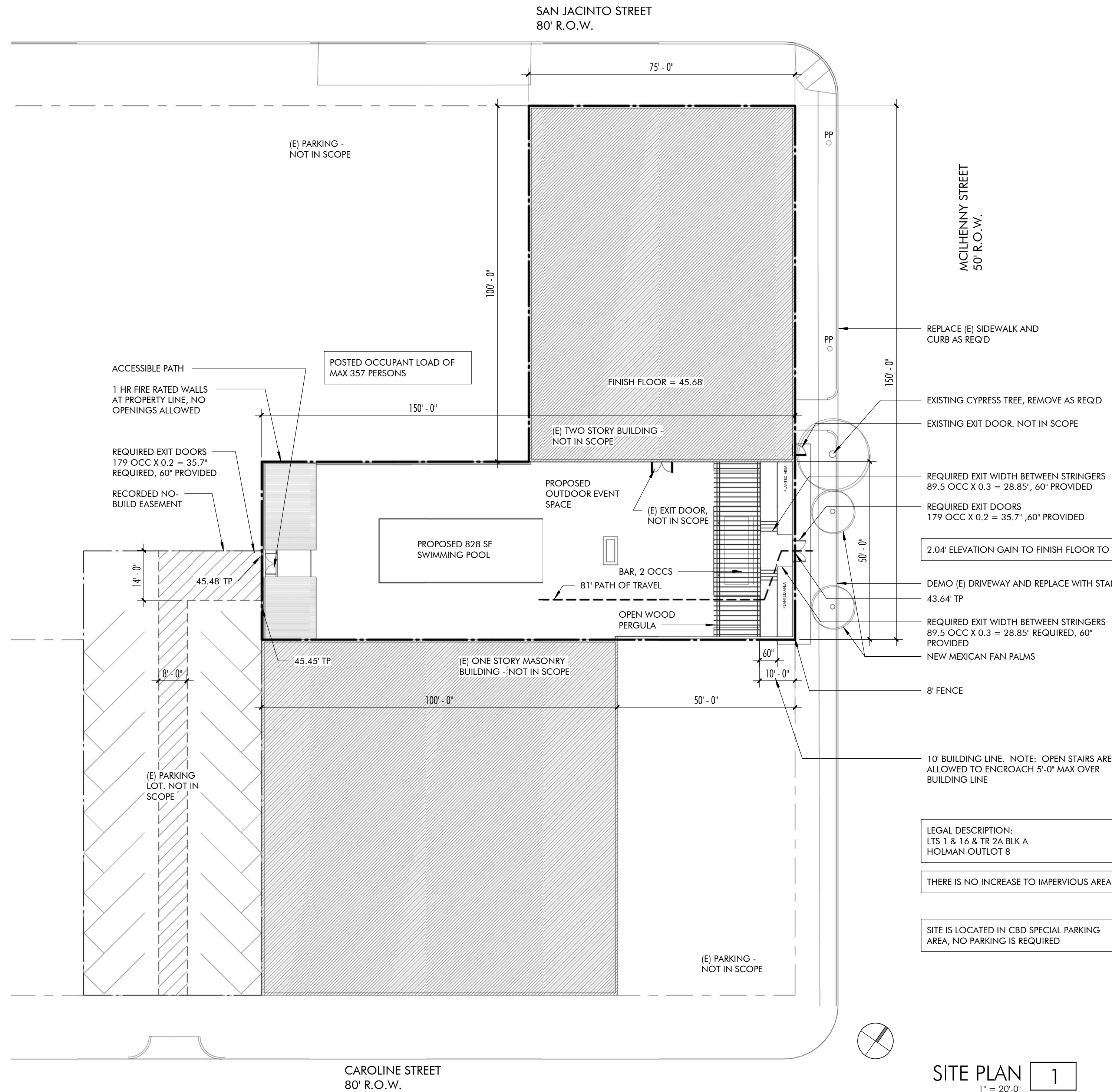
DATE: APRIL, 2017 SCALE: 1" = 20'

CENTURY ENGINEERING, INC.

3030 S. GESSNER SUITE 100 HOUSTON, TEXAS 77063 (713) 780-8871
 TBPUS NO. F-100965-0
 Fax: 713-780-7662 Email: dmsa@centuryengineering.com

PROPERTY ADDRESS:
 2401 SAN JACINTO STREET
 HOUSTON, TX. 77004

RICH'S - OUTDOOR EVENT SPACE



SITE PLAN
1" = 20'-0"

- REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE, AND SITE UTILITIES.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL SITE WORK REQUIREMENTS.
- REFER TO GEOTECHNICAL INVESTIGATION GEO20117, DATED MAY 2017 FOR EARTHWORK REQUIREMENTS.
- WHEELCHAIR ACCESSIBILITY SLOPES:
WALKS:
IN DIRECTION OF TRAVEL: MAX 5% (1:20)
CROSS SLOPE: MAX 2% (1:50)
LANDINGS, INCLUDING STAIRS & DOORS:
ANY DIRECTION: MAX 2% (1:50)
ACCESSIBLE PARKING SPACES AND STRIPED AREAS:
ANY DIRECTION: MAX 2% (1:50)
CURB RAMPS:
SLOPES: MAX 1:12
- SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR ALL RAILINGS TO ARCHITECT
- REFER TO PLAN FOR GRADES, ADJUST DIMENSIONS AS REQ'D TO MAINTAIN INDICATED RAILING HEIGHTS & SLOPES
- SLOPE ALL RAMP SURFACES MINIMUM 2% (1/4"/FT)
- DO NOT EXCEED 2% SLOPE AT LANDINGS.
- DO NOT EXCEED 5% SLOPE AT WALKS WITHOUT RAILINGS.
- PROVIDE MED. BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL AT ALL WALKS AND LANDINGS. HEAVY FINISH AT RAMPS.
- REFER TO BOUNDARY SURVEY FOR LOCATION AND LENGTH OF PROPERTY LINES. SURVEY INFORMATION OVERRIDES INFORMATION ON DRAWINGS.
- ALL DIMS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE

- GENERAL NOTES:**
- REPORT ALL CONFLICTS WITHIN DRAWINGS AND BETWEEN DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 - APPLY AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS. SUBMIT CERTIFICATE OF OCCUPANCY TO LANDLORD PRIOR TO FINAL PAYMENT.
 - PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES INCLUDING WITHOUT LIMITATION, THE NATIONAL ELECTRICAL CODE, THE CITY OF HOUSTON BUILDING AND FIRE CODES AND THE AMERICANS WITH DISABILITIES ACT.
 - UNLESS NOTED OTHERWISE, PROVIDE ALL MECHANICAL, PLUMBING AND ELECTRICAL FIELD SURVEYS, DESIGN, AND DRAWINGS NECESSARY FOR PERMIT, REVIEW BY ARCHITECT, AND CONSTRUCTION.
 - INSTALL ALL MANUFACTURED PRODUCTS IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. KEEP COPIES OF THESE INSTRUCTIONS AT THE JOBSITE DURING CONSTRUCTION.
 - PROVIDE SUBMITTALS TO ARCHITECT FOR ALL HARDWARE, WOODWORK, CASEWORK, LIGHTING FIXTURES, PLUMBING FIXTURES AND MECHANICAL DEVICES.
 - INSTALL ALL WORK PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
 - INSTALL A FULL-HEIGHT SAMPLE ON SITE FOR EACH PAINT SELECTION FOR APPROVAL OF COLOR AND FINISH PRIOR TO ORDERING FULL QUANTITIES. ALLOW FOR TWO FINISH SAMPLES FOR EACH COLOR AND ALLOW FOR 2 COLOR CHANGES IN BASE BID.
 - PROVIDE LARGE SAMPLE OF TILE FOR "APPROVAL" BEFORE ORDERING FULL QUANTITIES.
 - CLEAN AND REPAIR ALL FINISHES AND MATERIALS WHICH REMAIN.
 - WALL TOLERANCES: MAXIMUM VARIATION FROM TRUE FLATNESS: 1/8" IN 10 FEET IN ANY DIRECTION

CODE ANALYSIS

RICH'S - NEW OUTDOOR EVENT SPACE
2401 SAN JACINTO, HOUSTON, TX 77002

REFERENCE CODES
2012 International Building Code
2012 International Fire Code
2012 Uniform Mechanical Code
2012 Uniform Plumbing Code
2017 National Electrical Code
2015 International Energy Conservation Code
ASHRAE 90.1-2013
Local Amendments to the above codes

OCCUPANCY TYPES (Chapter 3)
Assembly Group A2 Bar, Tavern, Nightclub

ALLOWABLE HEIGHT (Type VB, Table 503 and Sec. 504)
Assembly Group A2 1 Story 40'

ALLOWABLE AREA per floor (Sec. 506)
6,000 SF 1,021 SF TOTAL ENCLOSED AREA
Calculated for non-sprinklered, one story building, nonseparated areas based on most restrictive occupancy (A2) and 13% of building perimeter fronting a public way or open space greater than 20'

MIXED OCCUPANCIES (Sec. 302)
Separations not required pursuant to Section 302.3.1 - Nonseparated Uses

TYPE OF CONSTRUCTION Type V B Fully-sprinklered

EXISTING BUILDING (NOT IN SCOPE)
A2, Type II B, 14,136 SF, 900 OCCUPANT CAPACITY.

NOTE: Existing nightclub will operate separately and non-simultaneously from proposed new outdoor event space. There is no scope of work in the existing nightclub.

PROPOSED NEW OUTDOOR EVENT SPACE

Level	Occupancy	Gross Area	Factor (1/)	No. Occupants
	Patio	5,061	15	338
	Swimming Pool	828	50	17
	Bar	235		2
	Accessory (Restrooms/Pool Equipment/Entry Vestibules)	1021	0	0
Total Level 1				357

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (BASED ON A-2 OCCUPANCY)
357 / 40 = 8.925 FIXTURES
10 FIXTURES PROVIDED (6 MALE (3 URINALS + 3 TOILETS) AND 4 UNISEX TOILETS PROVIDED)
357 / 75 = 4.76 LAVATORIES REQ'D (6 PROVIDED)
1 SERVICE SINK (1 PROVIDED)

2012 IBC, 1004.3 POSTING OF OCCUPANT LOAD
Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit.

2012 IBC, 1009.3 EXIT ACCESS STAIRWAYS
Exception 7 - Stairways serving outdoor facilities where all portions of the means of egress are essentially open to the outside are not required to be enclosed.

EGRESS REQUIREMENTS
Exit Access Travel Distance (Table 1016.2, 2012 IBC) 250' A sprinklered
Common Path of Exit Travel (Sec. 1014, 2012 IBC) 75' A occupancy
Minimum Corridor width (Sec. 1018.2, IBC 2012) 44"
Minimum Corridor width (Sec. 1016.2, Ex. 2) 36", <50 occ.
Egress Width Clear (IBC 2012, Sec. 1005.3.2) 0.2 X occ load served (sprinkled, no voice alarm)
Egress Width Clear inside stringers (IBC 2012, Sec. 1005.3.1) 0.3 X occ load served (sprinkled, no voice alarm)

Minimum No. of Exits (Table 1004.2.1) 2
Maximum Floor Area Per Occupant (Table 1004.1.2)
Doors (Sec. 1008.1.2)
Doors shall swing in the direction of exit travel if serving 50 or more persons.
Stairways (Sec. 1009, 2012 IBC)
Stairway Width (IBC 2012, Sec. 1009.4) 44" min
Stairway tread or riser dimension = 7" max, 11" min
Stairway tread or riser dimension tolerance: +/- 3/16"
Walls & soffits of enclosed usable space must be 1-hour rated. Re: Sec. 1019.1.5
Handrails: Height above nosing: 34" to 38"
Dead End Corridors: 20 feet (Sec. 1018.4, IBC 2012)

FIRE-RESISTANCE RATINGS FOR BUILDING ELEMENTS - TABLE 601, 2012 IBC
None required for Type V-B

FIRE-RESISTANCE RATINGS FOR EXTERIOR WALLS - TABLE 602, 2012 IBC
1 hour rated required where walls are less than 5' from the property line.

PROTECTION OF OPENINGS - TABLE 705.8, 2012 IBC
0 to less than 3' - no openings permitted.
3 to less than 5' - 15% unprotected, sprinklered / 15% Protected

PARAPETS, 2012 IBC, 705.11
Not required in walls that terminate at roofs where the roof, including the deck or slab and supporting construction, is constructed entirely of noncombustible materials.

FIRE PROTECTION SYSTEMS - Table 2306.2
Automatic Sprinkler System: NOT provided in accordance with NFPA 13 and City of Houston Fire Codes. Required when A-2 occupancy load > 100, however only 525 sf of enclosed and covered space is proposed. Not required by Section 905.
Standpipe System: Portable Fire Extinguishers: Required per the Houston Fire Code
Fire Alarm and Detection System: Manual fire alarm system w/o manual fire alarm boxes is required and provided throughout the bldg, per Sec. 907.2.1 and 907.2.2.

Smoke and Heat Removal: Not required per Sec. 910.1, Exception 1

ADDITIONAL REQUIREMENTS
Guards (Sec. 1012): 42" High
Stop a 4" sphere to 34", 8" sphere from 34"-42"

SECT 602.5 - TYPE V CONSTRUCTION IS THAT TYPE OF CONSTRUCTION IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS, AND INTERIOR WALLS ARE OF ANY MATERIALS PERMITTED BY THIS CODE.

NOTE: THERE ARE NO INTERIOR SPACES WITH AIR CONDITIONING IN THE SCOPE OF THIS PROJECT THEREFORE ENVELOPE COMCHECK IS EXEMPT

TABLE OF CONTENTS

- C-1.0 SITE PLAN
- C-2.0 GRADING PLAN
- C-3.0 DRAINAGE PLAN
- C-4.0 SWPPP PLAN
- C-5.0 GENERAL DETAILS
- ME0.01 ELEC/MECH FLOOR PLAN
- ME2.01A ELEC/MECH FLOOR PLAN
- ME2.01B ELEC/MECH FLOOR PLAN
- P0.01 PLUMBING NOTES
- P2.00A PLUMBING FLOOR PLAN
- P2.00B PLUMBING FLOOR PLAN
- P2.01A PLUMBING FLOOR PLAN
- P2.01B PLUMBING FLOOR PLAN
- A0.0 COVER SHEET
- A2.1 ARCHITECTURAL GROUND FLOOR PLAN
- A6.0 ENLARGED PLANS & INT ELEVS
- A9.4 WALL SECTIONS
- S1.0 FOUNDATION AND ROOF FRAMING PLANS
- S2.0 SECTIONS AND DETAILS
- S3.0 SECTIONS AND DETAILS

PROJECT CONTACTS

OWNER
ATR Engineering
Attn: Ted Hamilton
2401 San Jacinto Street
Houston, Texas 77002

ARCHITECT
Harry Gendel Architects
1807 Decatur
Houston, Texas 77007
713.266.6100

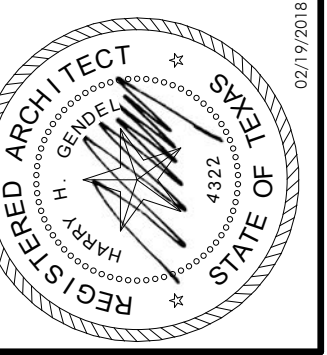
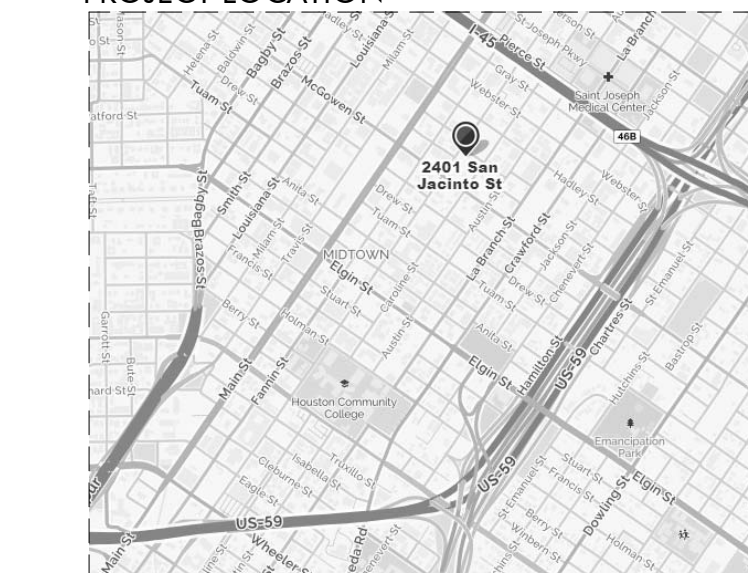
STRUCTURAL ENGINEER
Stanley Spurling & Hamilton, Inc.
3301 Edloe Street #200
Houston, Texas 77027
Jackie Spurling - 713.776.9433

MEP ENGINEER
H.M. (Milt) McLeod, P.E., PLLC
5231 Calle Cordoba, Houston TX 77007
713.806.1446
milt@hmmcleod.com

CIVIL ENGINEER
ATR Engineering
14225 Park Ten Place #500
Houston, TX 77494
281.600.0404

SOILS ENGINEER
The Murrillo Company
10325 Landsbury Ste 400
Houston, TX 77099
281.933.9702

PROJECT LOCATION



Harry Gendel Architects

RICH'S OUTDOOR EVENT SPACE
2401 SAN JACINTO
HOUSTON, TX 77002

PROJECT:

FILE:

ISSUE/REVISION:

DATE: 02/19/2018

ISSUED FOR PERMIT

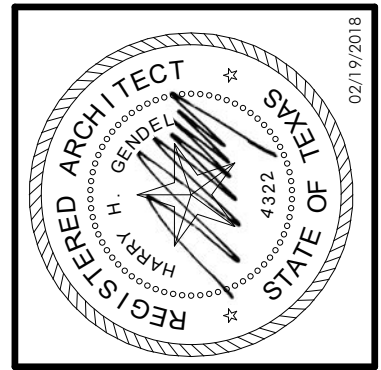
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TITLE:

COVER SHEET

DRAWING:

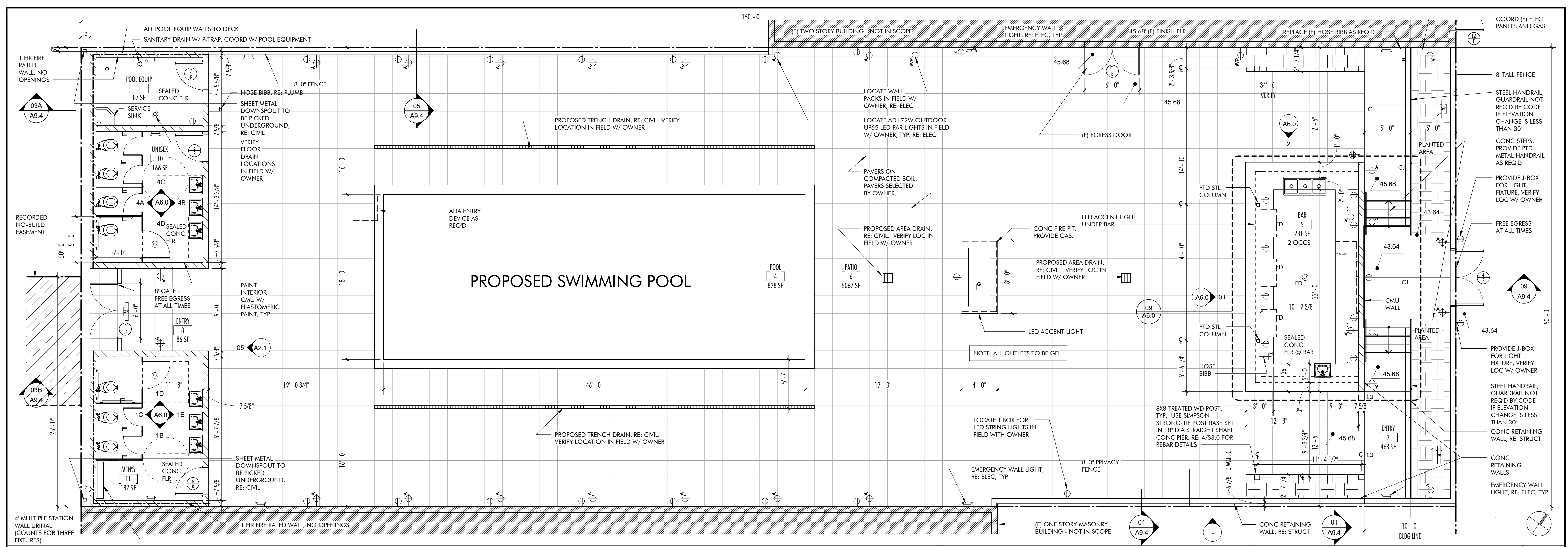
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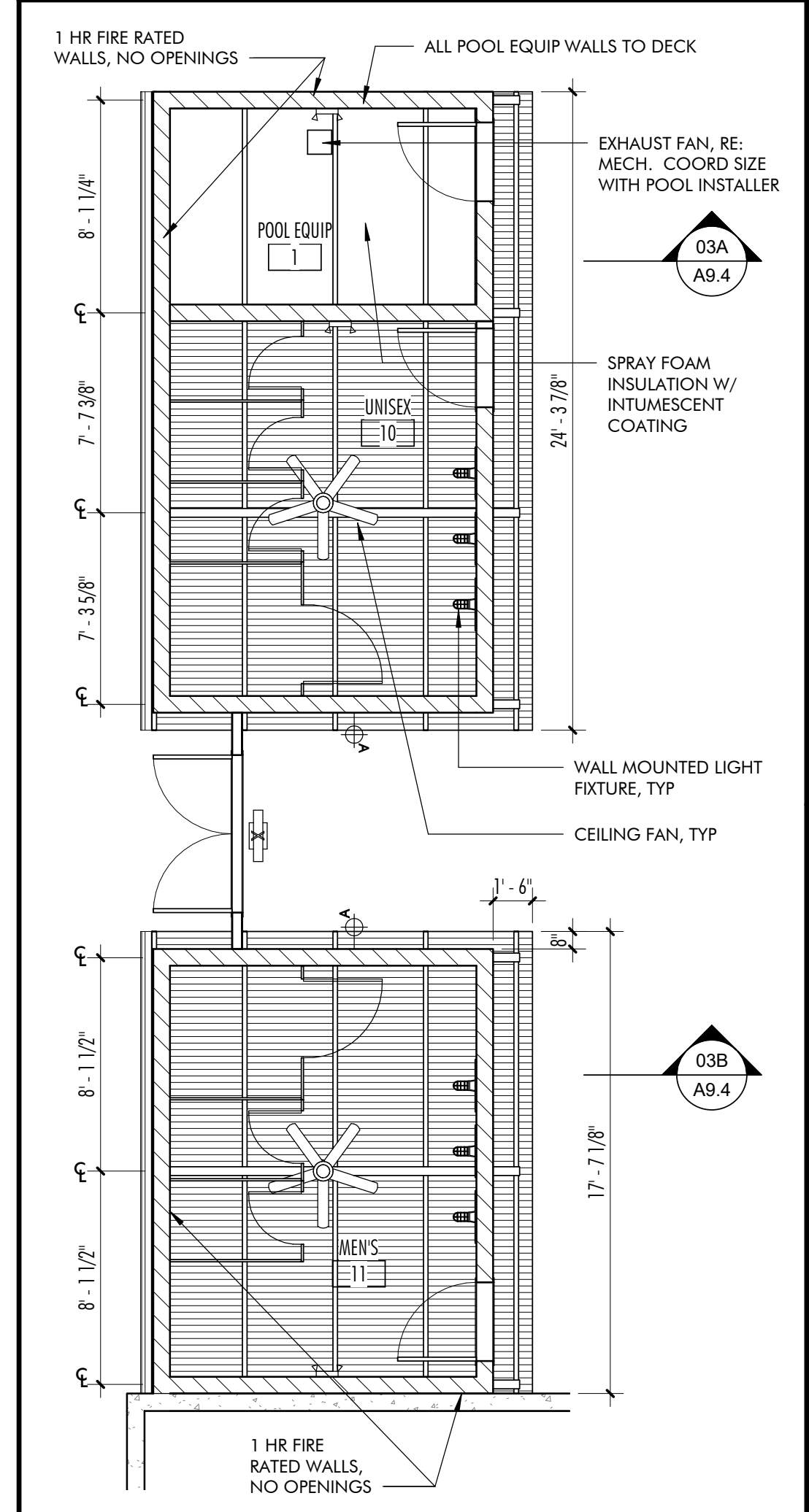
1807 Decker
Houston, Texas 77007
www.harrygende.com
Tel: 713.266.5681
Fax: 713.266.4100

Harry Gende Architects

RICH'S OUTDOOR EVENT SPACE
2401 SAN JACINTO
HOUSTON, TX 77002



GROUND FLOOR PLAN 03
3/16" = 1'-0"



REFLECTED CEILING PLAN 17
3/16" = 1'-0"

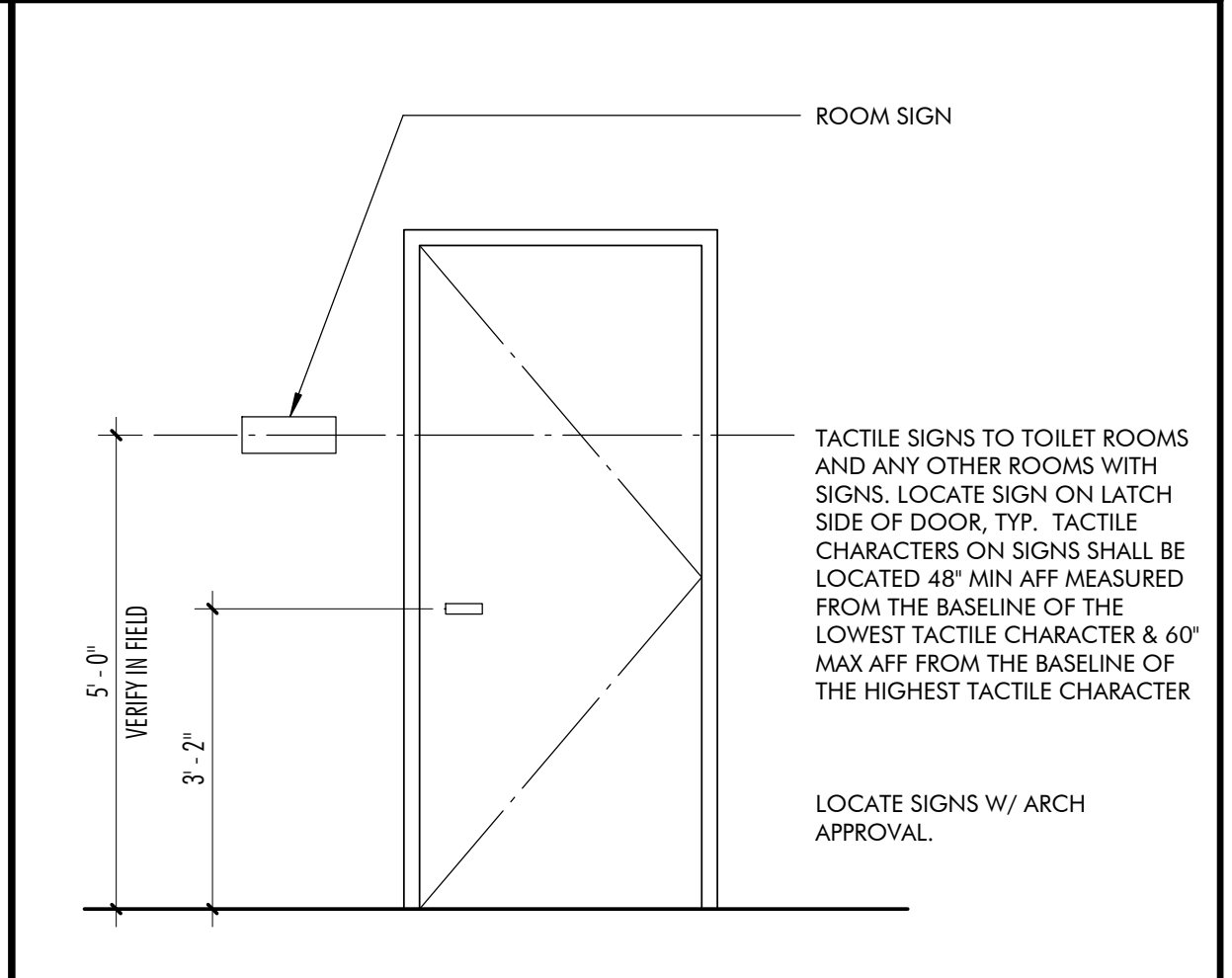
- LEGEND - RCP**
1/4" = 1'-0"
- ADJ 72W OUTDOOR UP65 LED PAR LIGHT, LOCATE IN FIELD W/ OWNER, RE: ELEC
 - OWNER PROVIDED WALL PACK, RE: ELEC
 - CEILING FAN - 30" EMERSON TILO, BRUSHED STEEL, STYLE # R2698, RE: ELEC
 - EXIT LIGHT W/ BATTERY BACKUP
 - EMERGENCY EGRESS LIGHTING W/ BATTERY BACKUP - DOUBLE HEAD WALL-PACK, (OPTION: PROVIDE BATTERY BACK-UP EMERGENCY EGRESS LIGHTING AS PART OF SCHEDULED FLUORESCENT LIGHT FIXTURE)
 - RECESSED DOWNLIGHT
 - WALL WASHER
 - WIRELESS ACCESS POINT DROP ABOVE CEILING
 - SURFACE MOUNTED TELEVISION

#	OUTSIDE	TYPE	DOOR WIDTH	DOOR HEIGHT	DOOR MATL	DOOR FIN	FRAME MATL	FRAME FIN	FIRE R	HARDWARE SET	REMARKS
3	ENTRY	B4	6'-0"	7'-0"	HM	PTD	HM	PTD		EXT HM EXIT W/ PANIC DEVICE	FREE EGRESS AT ALL TIMES, PANIC HARDWARE, CLOSER
4	ENTRY	F	6'-0"	7'-10"	HM	PTD	HM	PTD		EXT HM EXIT W/ PANIC DEVICE	FREE EGRESS AT ALL TIMES, PANIC HARDWARE, CLOSER
5	UNISEX	B	3'-0"	7'-2"	HM	PTD	HM	PTD		PUSH/PULL	PROVIDE DOOR W/ LOUVERED VENT, COORD W/ CMU
6	MEN'S	B	3'-0"	7'-2"	HM	PTD	HM	PTD		PUSH/PULL	PROVIDE DOOR W/ LOUVERED VENT, COORD W/ CMU
7	POOL EQUIP	B	3'-0"	7'-2"	HM	PTD	HM	PTD		STOREROOM LOCK	PROVIDE DOOR W/ LOUVERED VENT, COORD W/ CMU

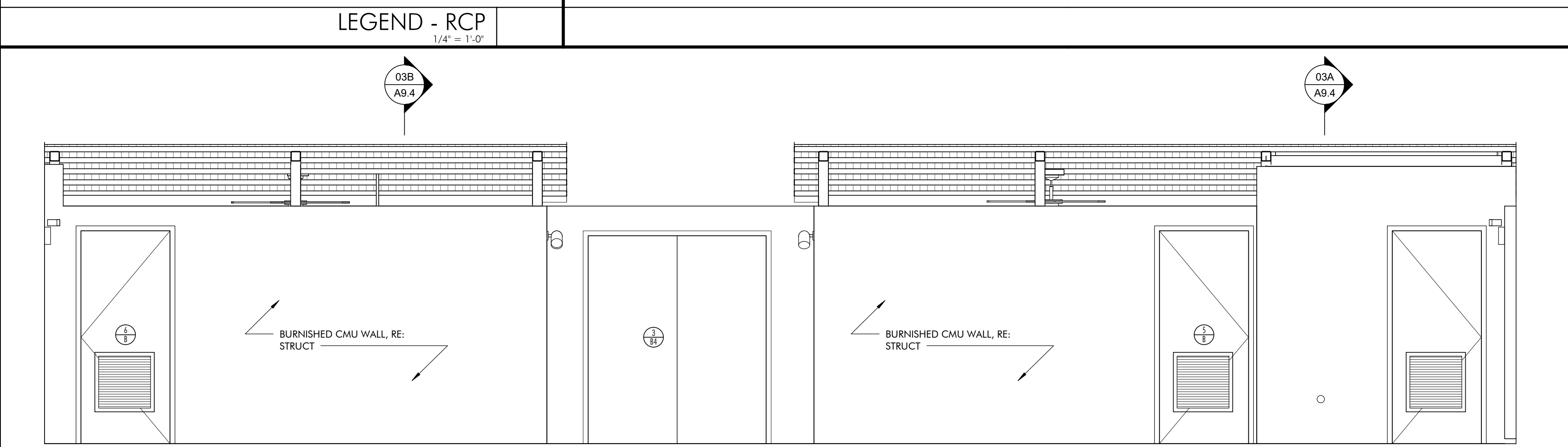
DOOR FINISHES
PAINT @ HOLLOW MTL DOORS & FRAMES: TO BE DETERMINED

- B. HOLLOW METAL DOOR IN 2" HOLLOW METAL FRAME, PAINTED
- B4. HOLLOW METAL DOUBLE DOOR IN 2" HOLLOW METAL FRAME, PAINTED

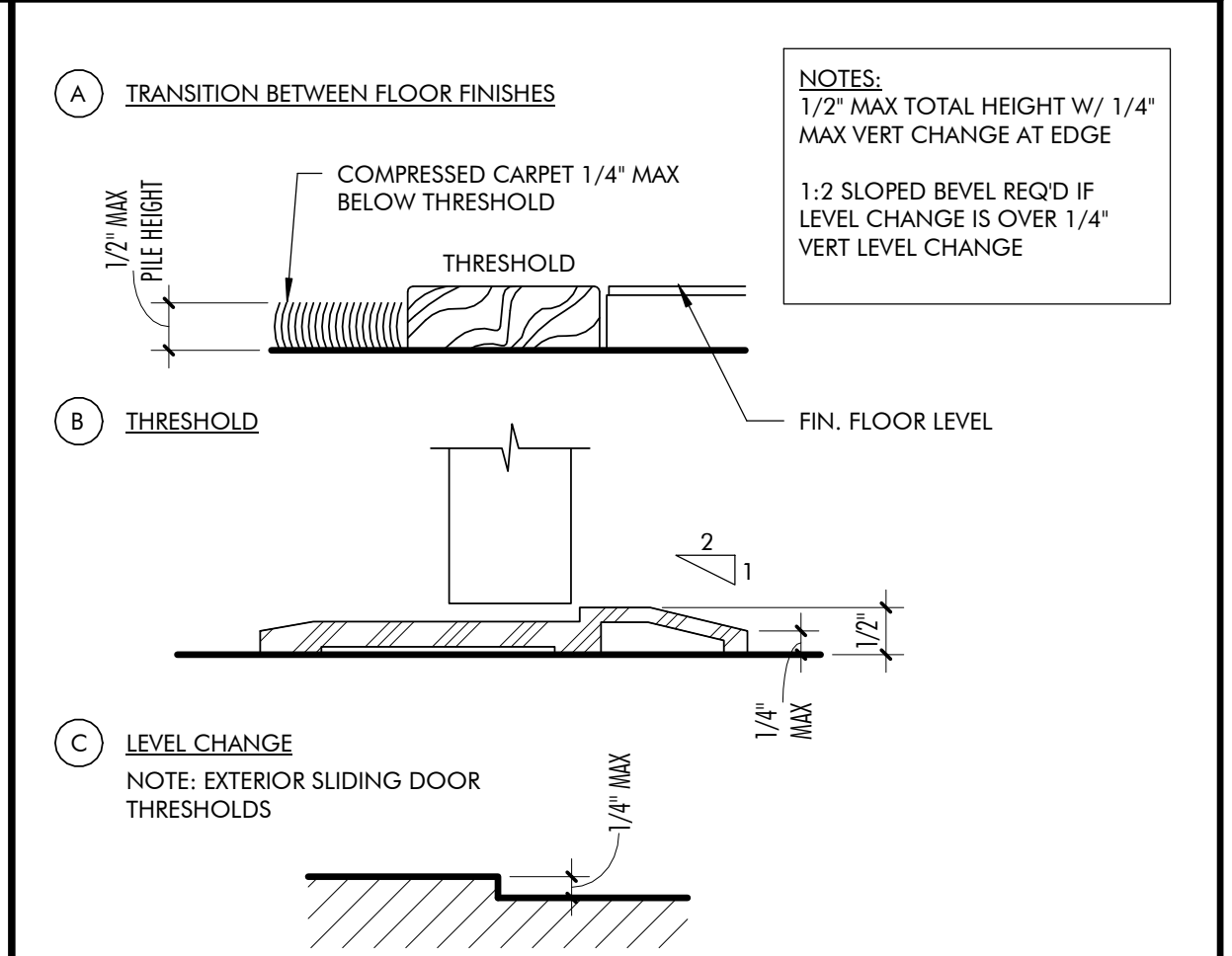
- PROVIDE HARDWARE IN ACCORDANCE WITH CITY OF HOUSTON CODE AND TEXAS ACCESSIBILITY STANDARDS (TAS).
- COMPLY WITH LOCAL APPLICABLE CODES WITH RESPECT TO FIRE RATING OF DOORS, FRAMES, AND RELATED HARDWARE.
- SUBMIT DOOR SHOP DRAWINGS, A DETAILED HARDWARE & KEYING SCHEDULE & FINISH HARDWARE SAMPLES TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO ORDERING MATERIALS.
- MEET WITH OWNER TO COORDINATE HARDWARE & KEYING REQUIREMENTS.
- LOCATE ALL DOORS, HINGE SIDE, 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- PAIRS OF DOORS WILL REQUIRE APPLICABLE ASTRAGALS, FLUSHBOLTS AND COORDINATORS, UNLESS NOTED OTHERWISE.
- PROVIDE NUMBER OF HINGES BASED ON DOOR HARDWARE & BHMA RECS.
- PROVIDE SILENCERS ON ALL HOLLOW METAL FRAMES.



SIGNAGE PLACEMENT 02
1/2" = 1'-0"



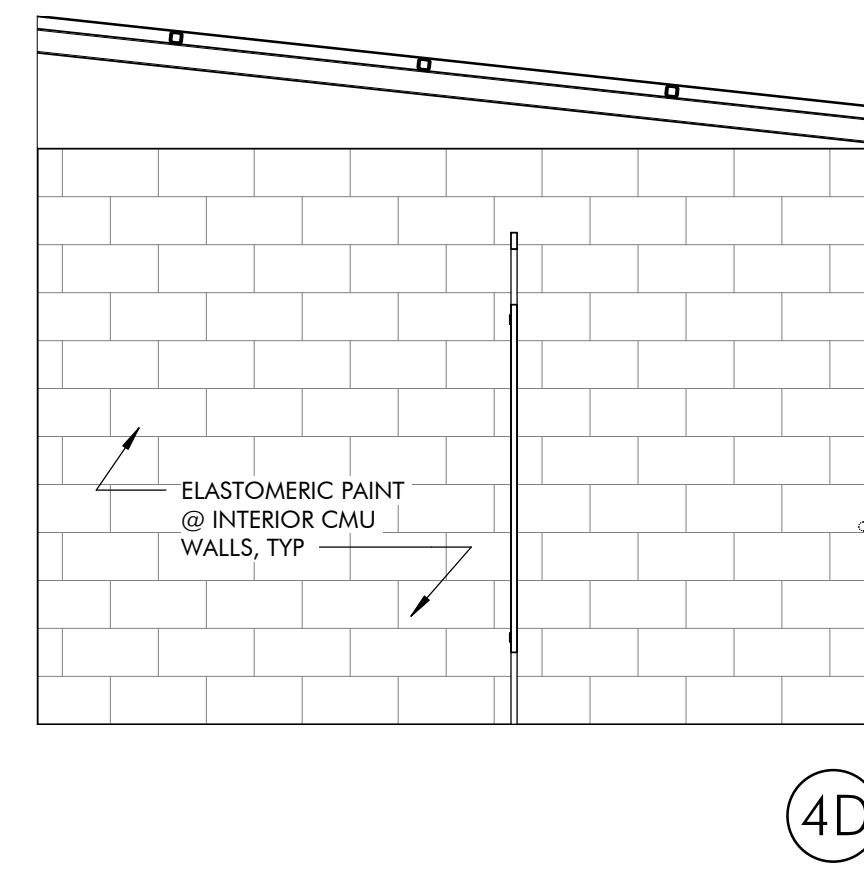
RESTROOM ELEVATION 05
3/8" = 1'-0"



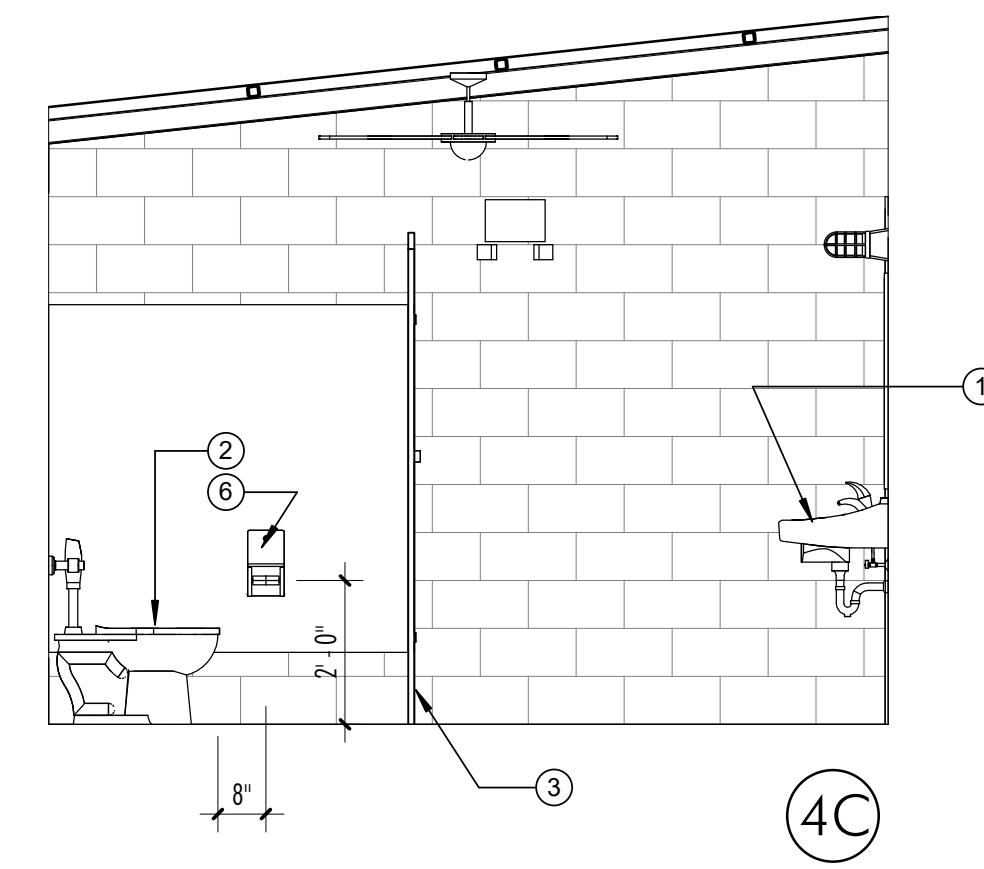
DOOR THRESHOLD REQS 01
6" = 1'-0"

PROJECT:
FILE:
DATE: 1/02/19/2018 ISSUED FOR PERMIT
ISSUE/REVISION:
TITLE: ARCHITECTURAL GROUND FLOOR PLAN
DRAWING: A2.1

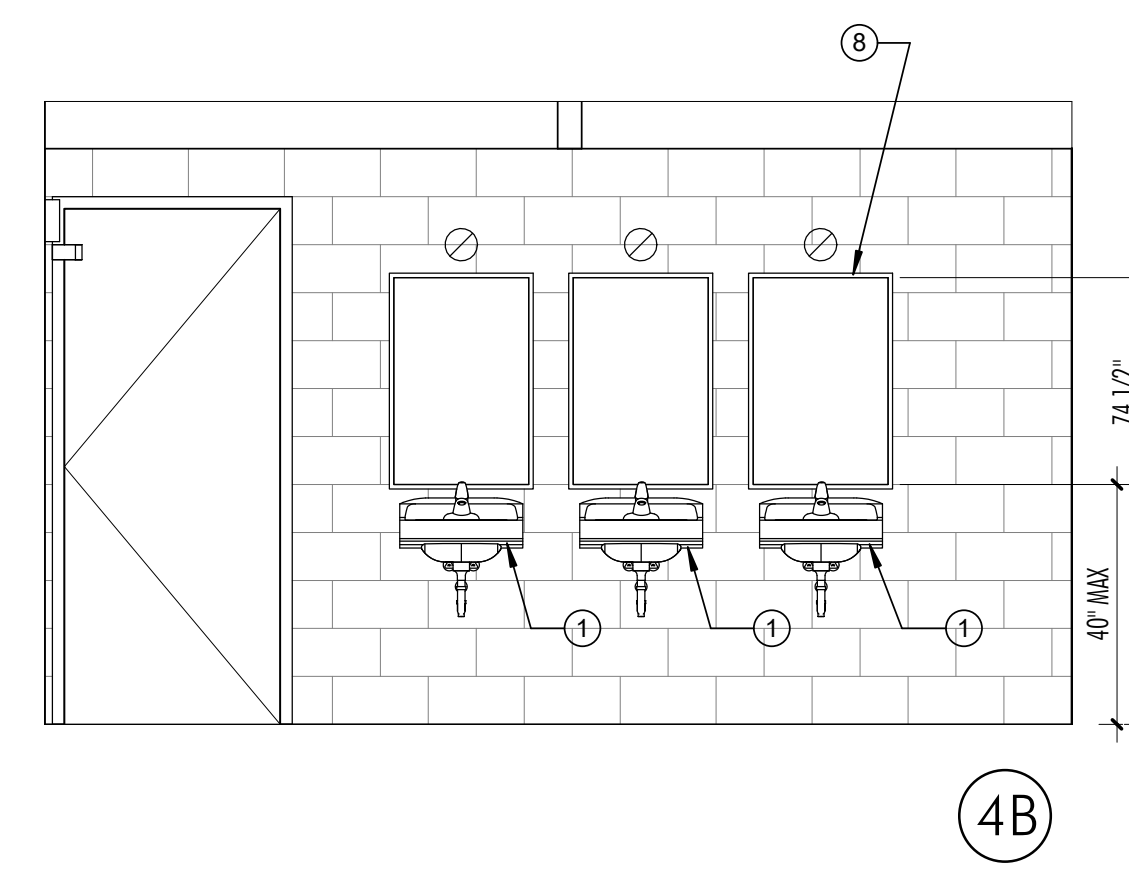
1. ALL DIMENSIONS TO FACE OF TILE AND CENTERLINE OF FIXTURES
2. PROVIDE BLOCKING IN WALL FOR GRAB BARS. THE STRUCTURAL STRENGTH OF THE GRAB BARS SHALL COMPLY WITH SECT 4.26.3 OF THE TEXAS ACCESSIBILITY STANDARDS.
3. PROVIDE MILLWORK SHOP DRAWINGS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO FABRICATION.
4. PROVIDE INSULATION AT ALL HOT WATER LINES AND DRAINS OF ALL LAVATORIES.



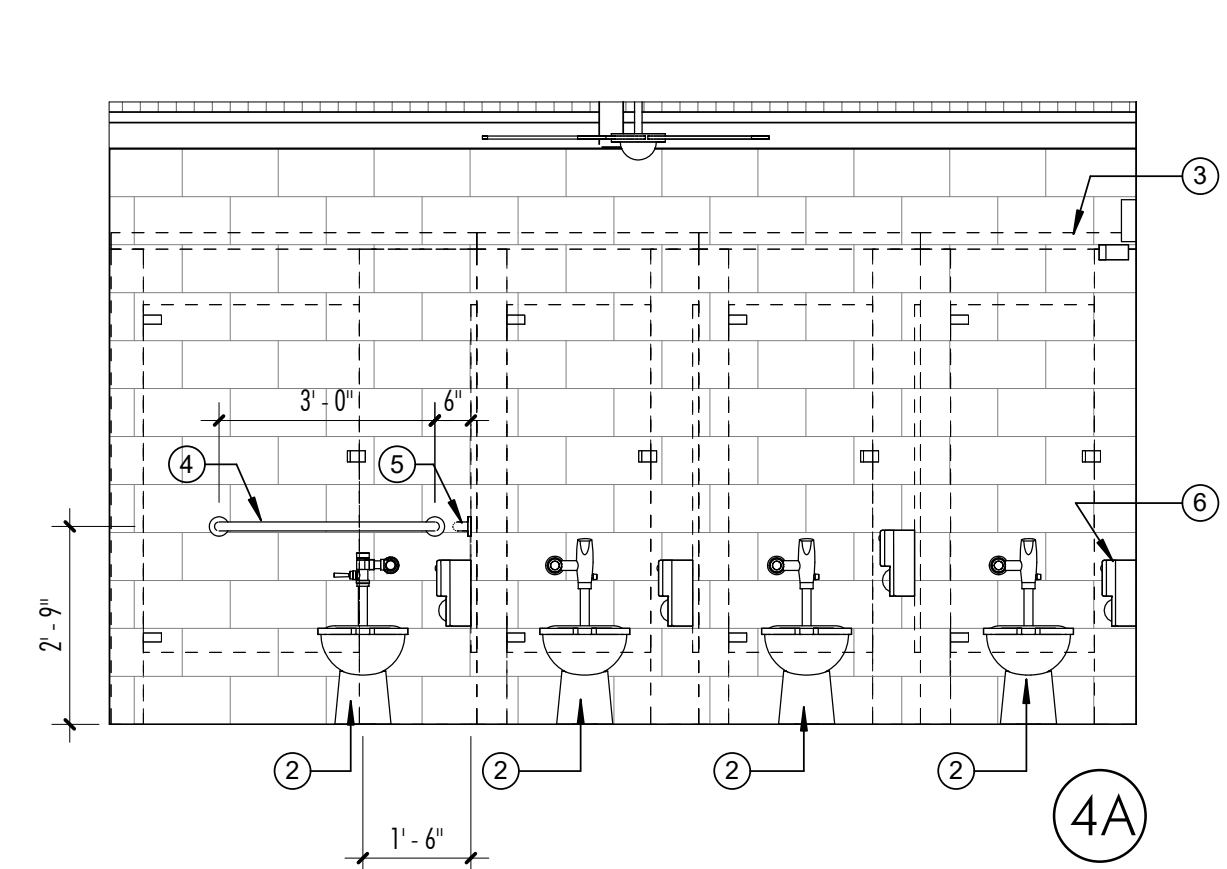
4D



4C



4B

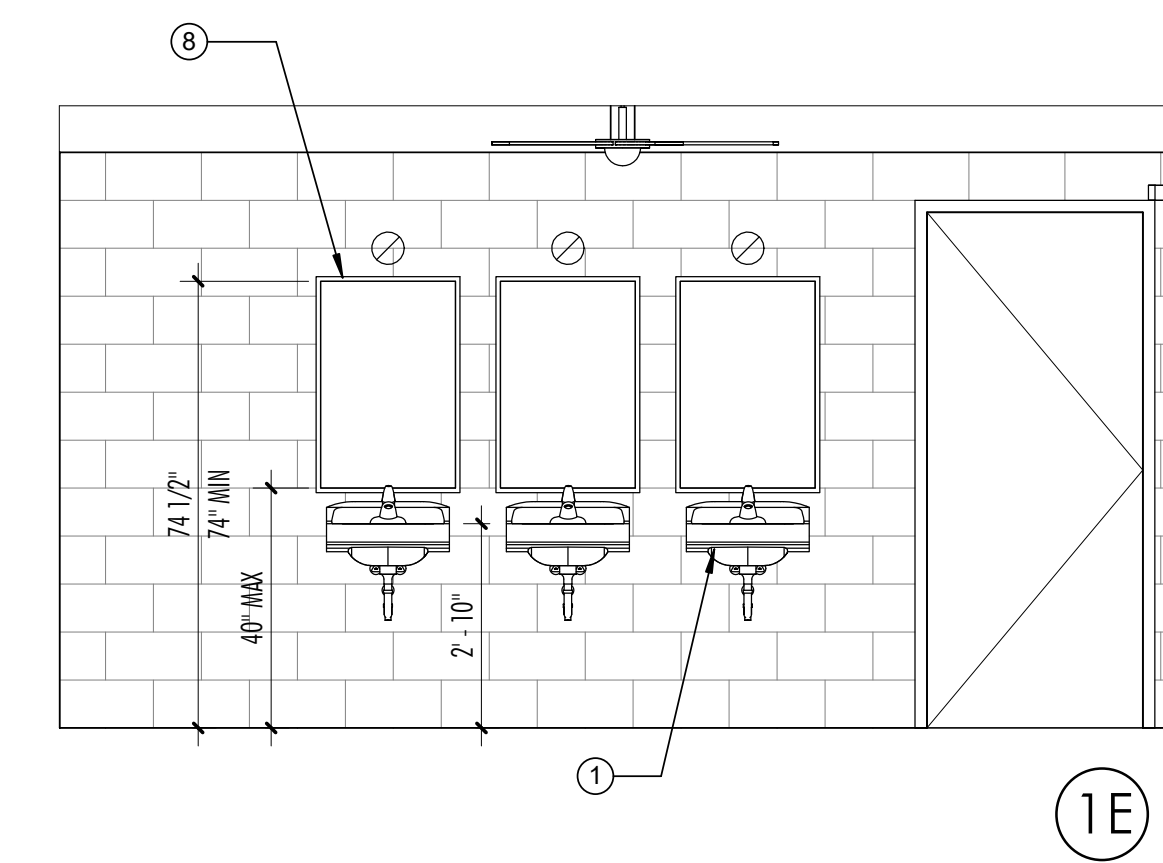


4A

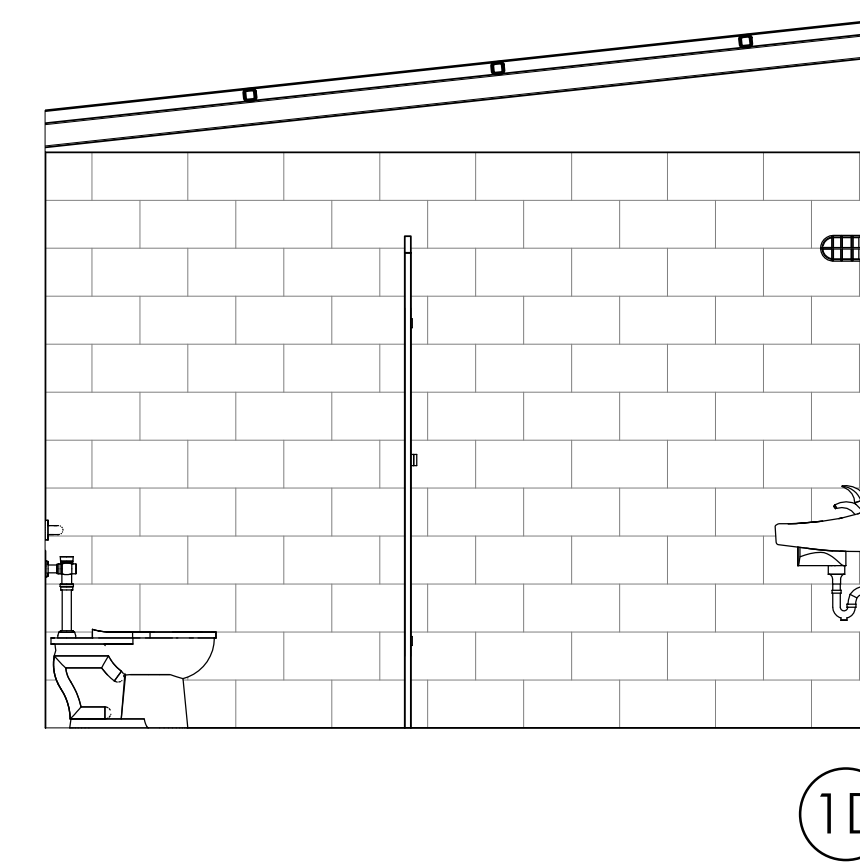
NOTES - RESTROOM ELEVATION
1/4" = 1'-0"

MEN'S RESTROOM ENLARGED PLAN AND ELEVATIONS

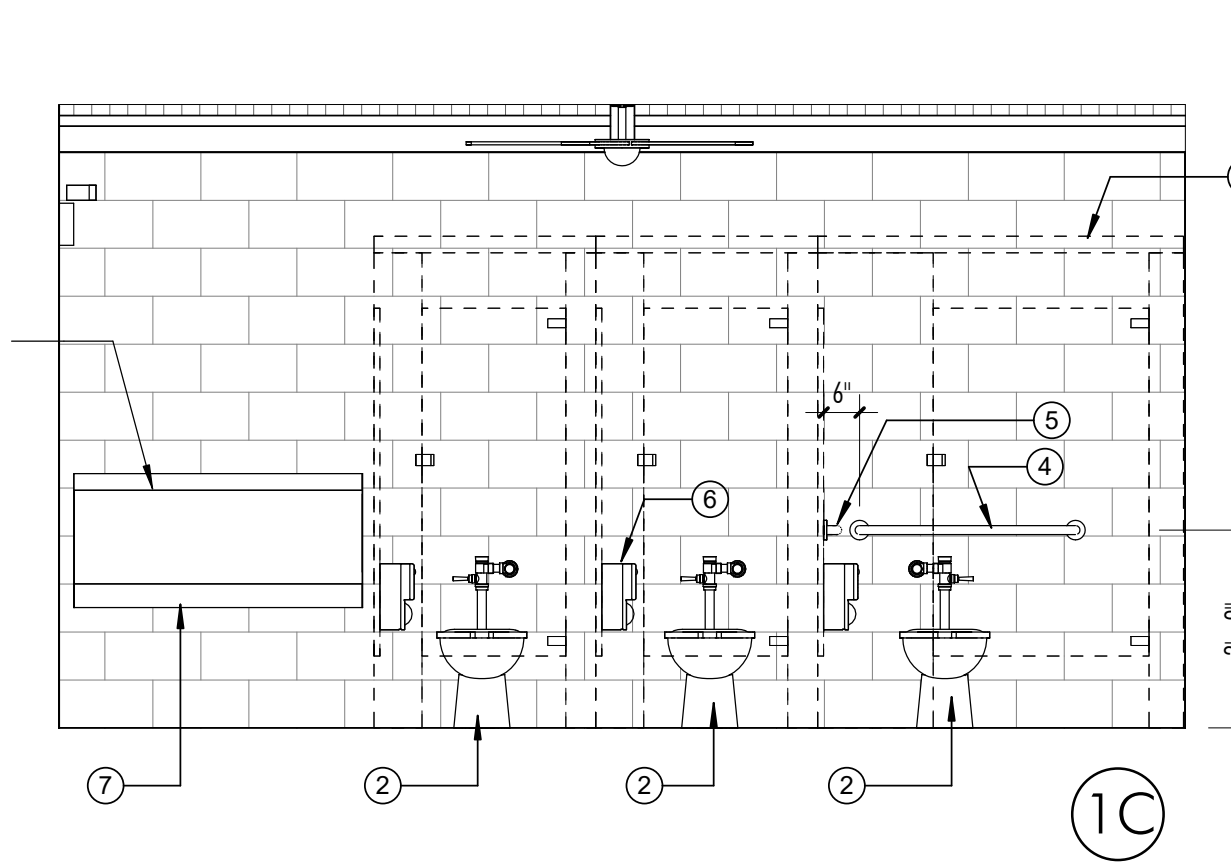
04



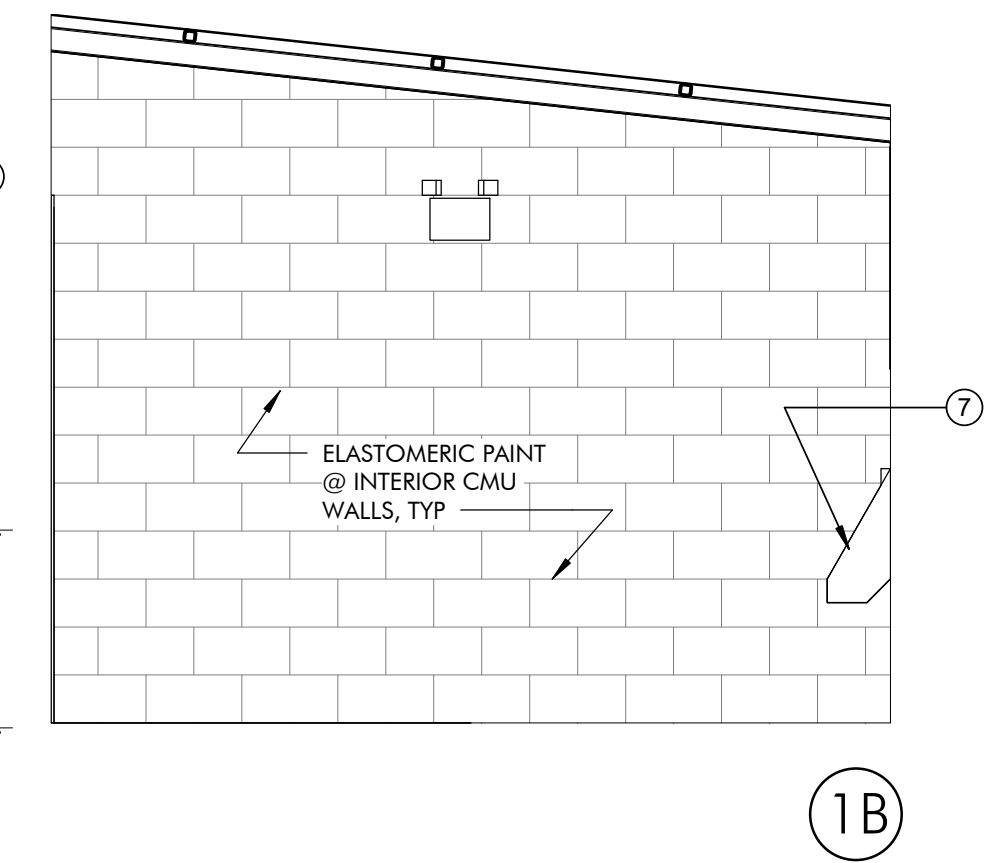
1E



1D



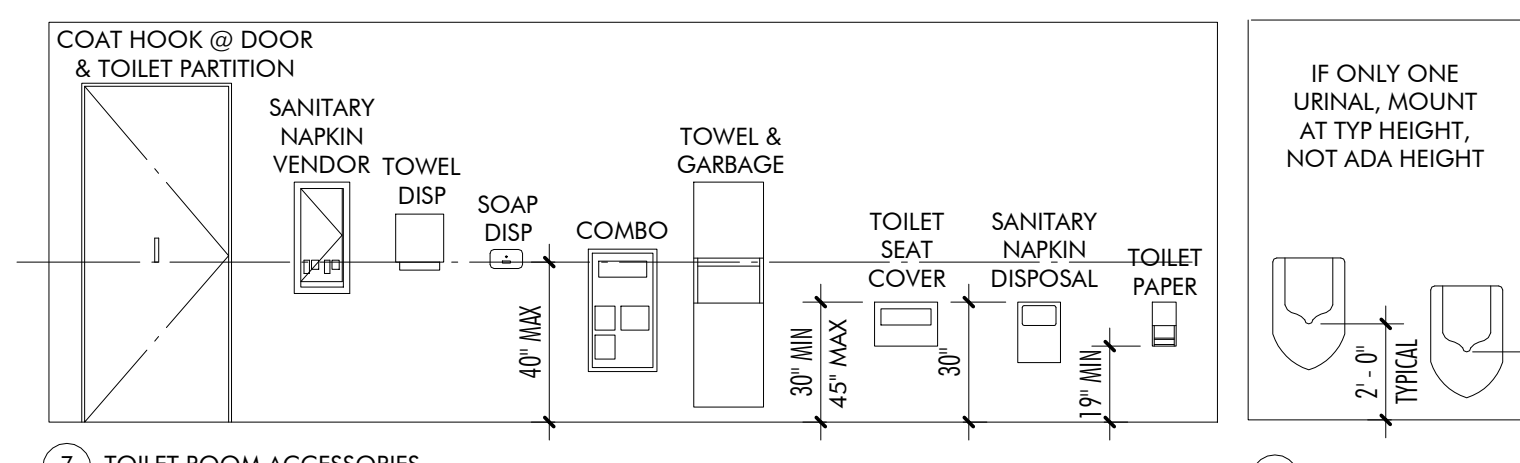
1C



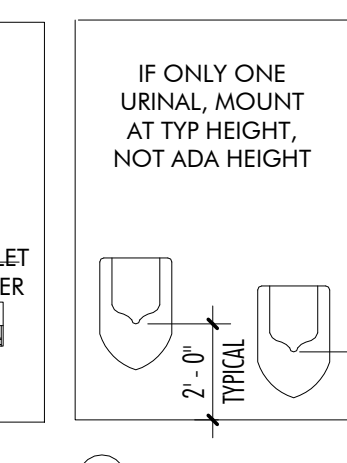
1B

WOMEN'S RESTROOM ENLARGED PLAN AND ELEVATIONS

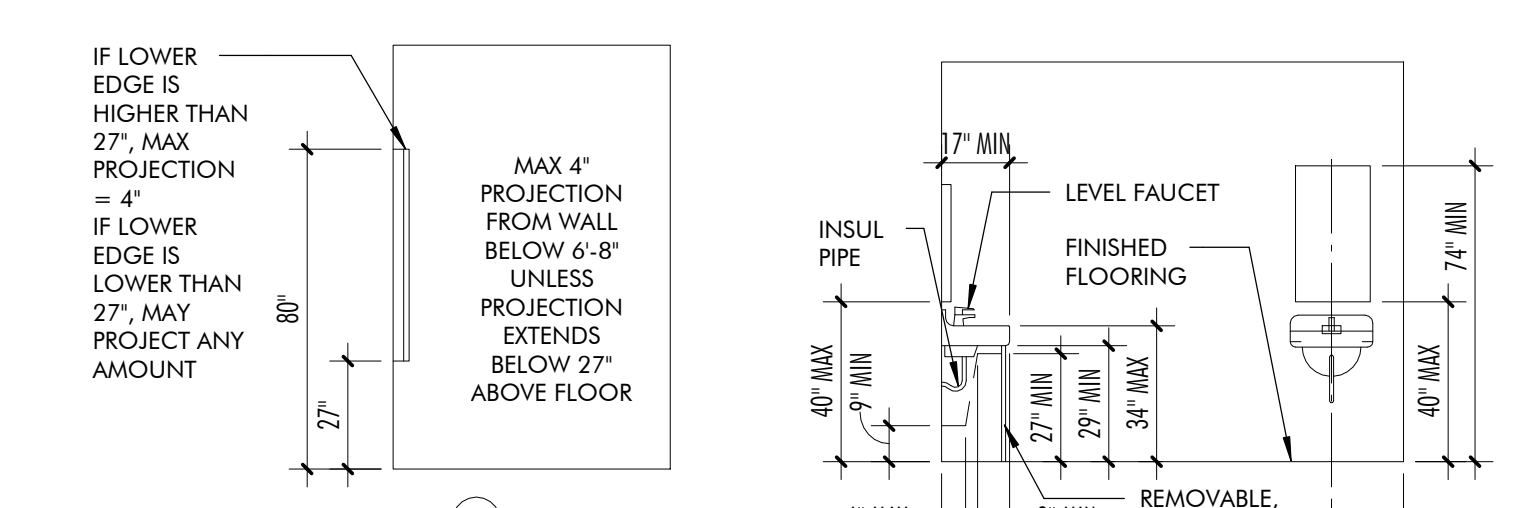
03



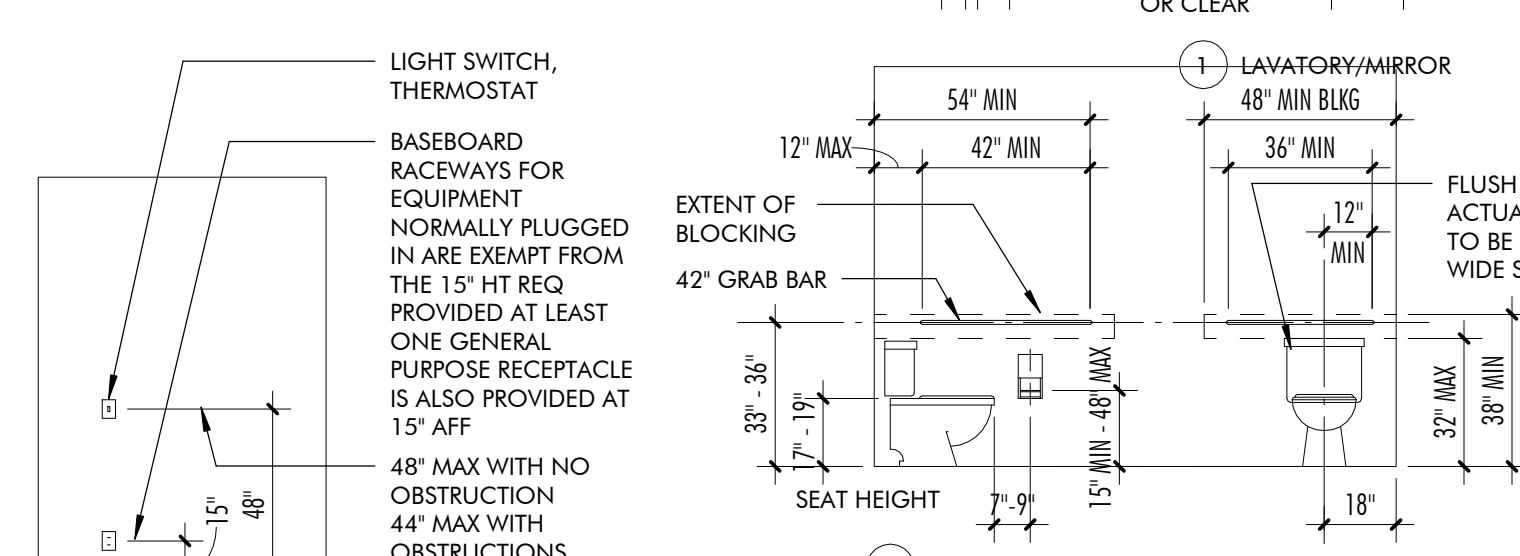
7 TOILET ROOM ACCESSORIES



2 URINAL



3 PROJECTIONS



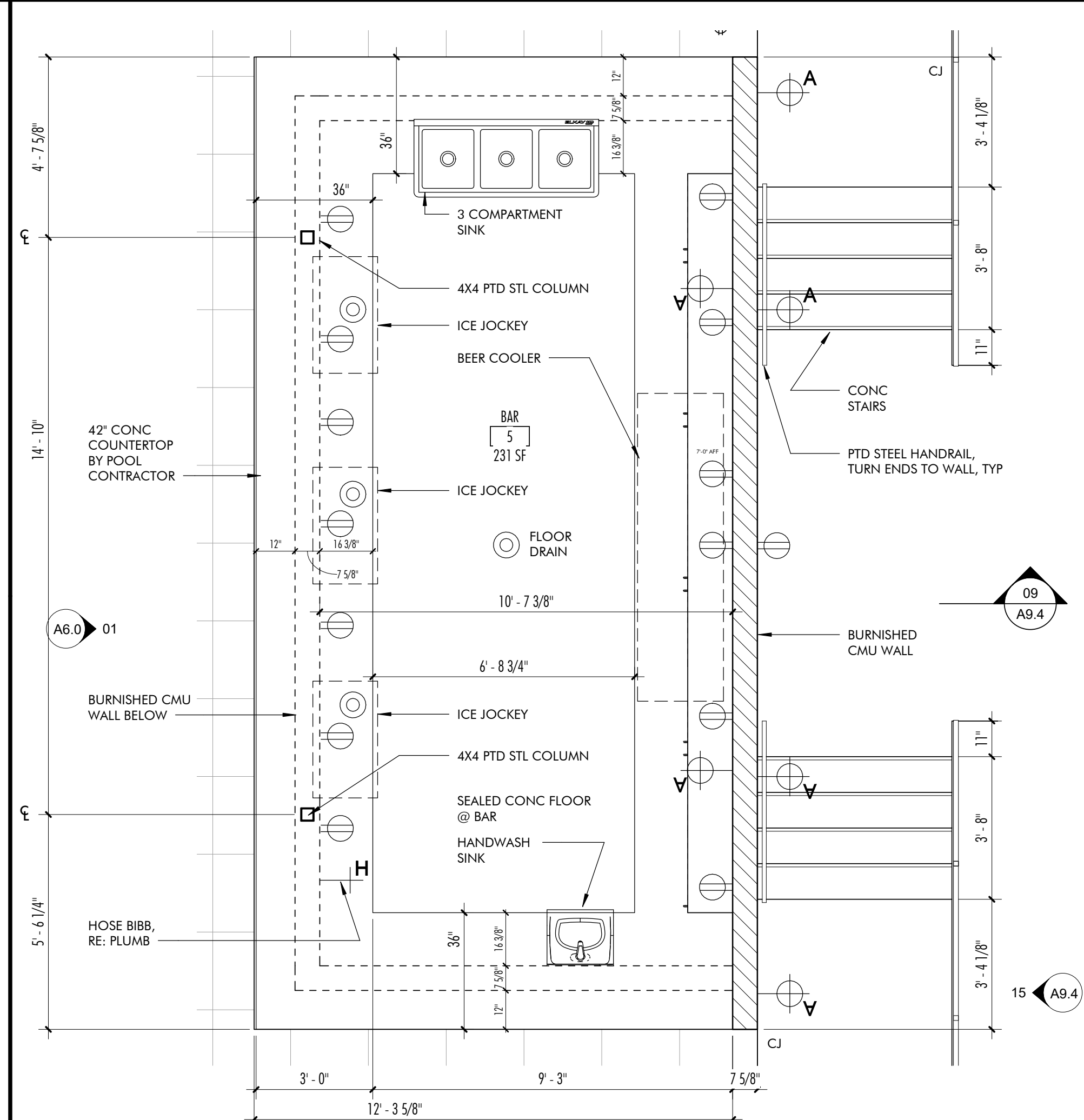
8 TOILET



4 RECEPTACLES / SWITCHES

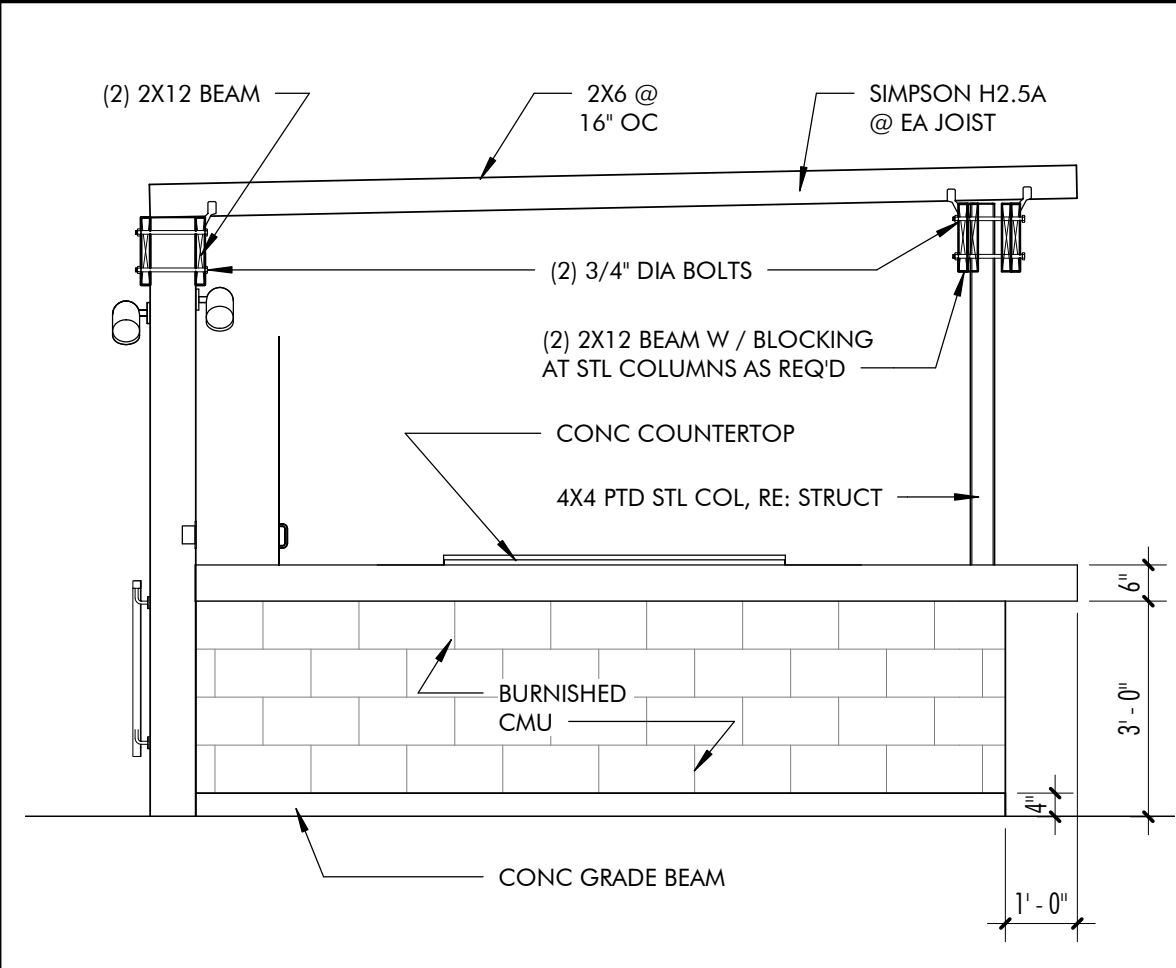
ACCESSIBLE MOUNTING HEIGHTS
1/4" = 1'-0"

17



ENLARGED PLAN @ BAR
3/8" = 1'-0"

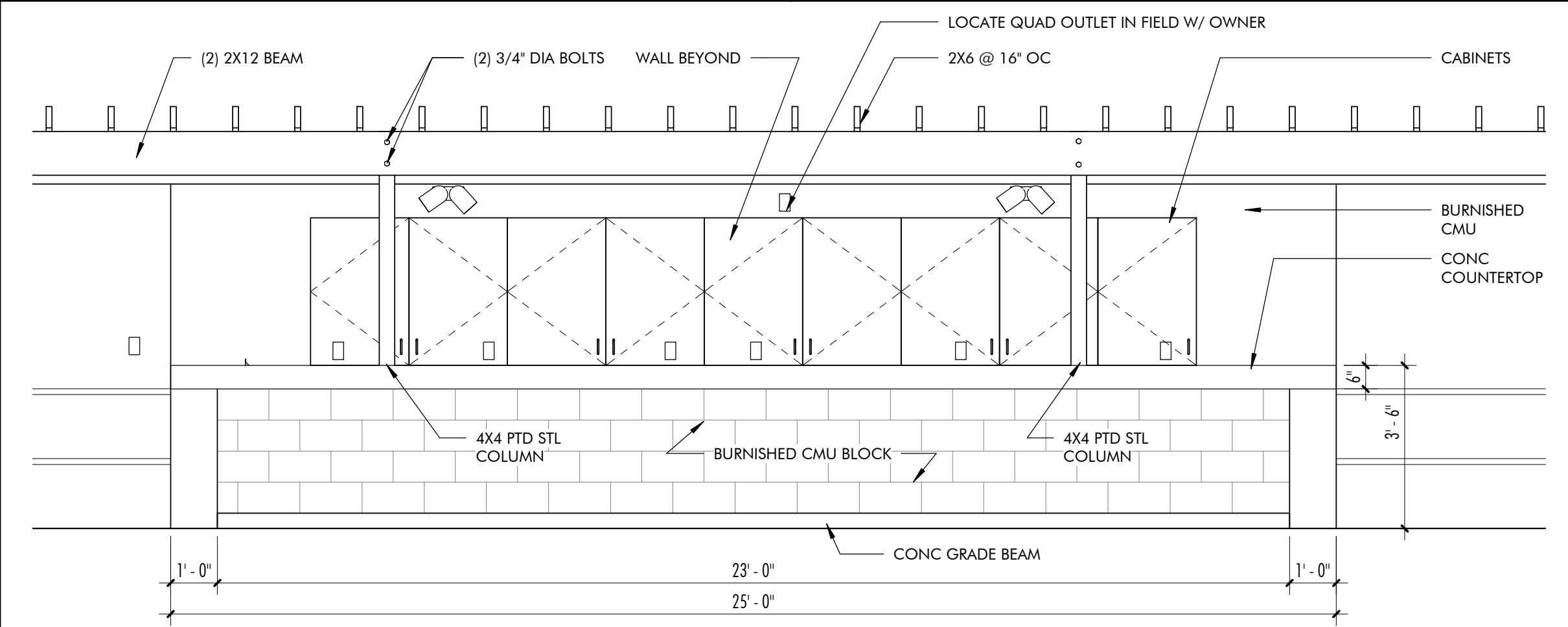
09



BAR ELEVATION - SOUTHEAST
3/8" = 1'-0"

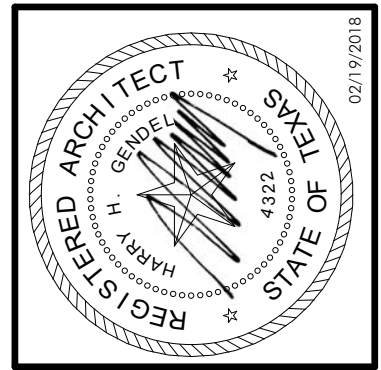
2

- 1 AMERICAN STANDARD LUCERNE WALL-HUNG LAVATORY W/ HANDI-LAV GUARD INSULATION KIT BELOW AND FIXTURE CARRIER
- 2 AMERICAN STANDARD MADERA 17"H ADA FLR MOUNTED W/ MANUAL FLUSH VALVE. FLUSH MUST FACE OPEN SIDE OF TOILET.
- 3 FLOOR MOUNTED, OVERHEAD BRACED, PLASTIC LAMINATE TOILET PARTITION
- 4 NEW 36" LONG GRAB BAR MOUNTED ON REAR WALL AS SHOWN
- 5 NEW 42" LONG SIDE GRAB BAR MOUNTED 12" FROM REAR WALL
- 6 BOBRICK B-2740 SURF MTD TOILET TISSUE DISPENSER FOR TWO ROLLS OR EQUAL
- 7 ELKAY 4" MULTIPLE STATION WALL URINAL EU4814C, EXPOSED FLUSH PIPE, VERIFY ADA
- 8 BOBRICK B-165 2436 CHANNEL FRAME MIRROR, 24" X 36" OR EQUAL



BAR ELEVATION - SOUTHWEST
3/8" = 1'-0"

01



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HOUSTON, TX 77002

PROJECT:

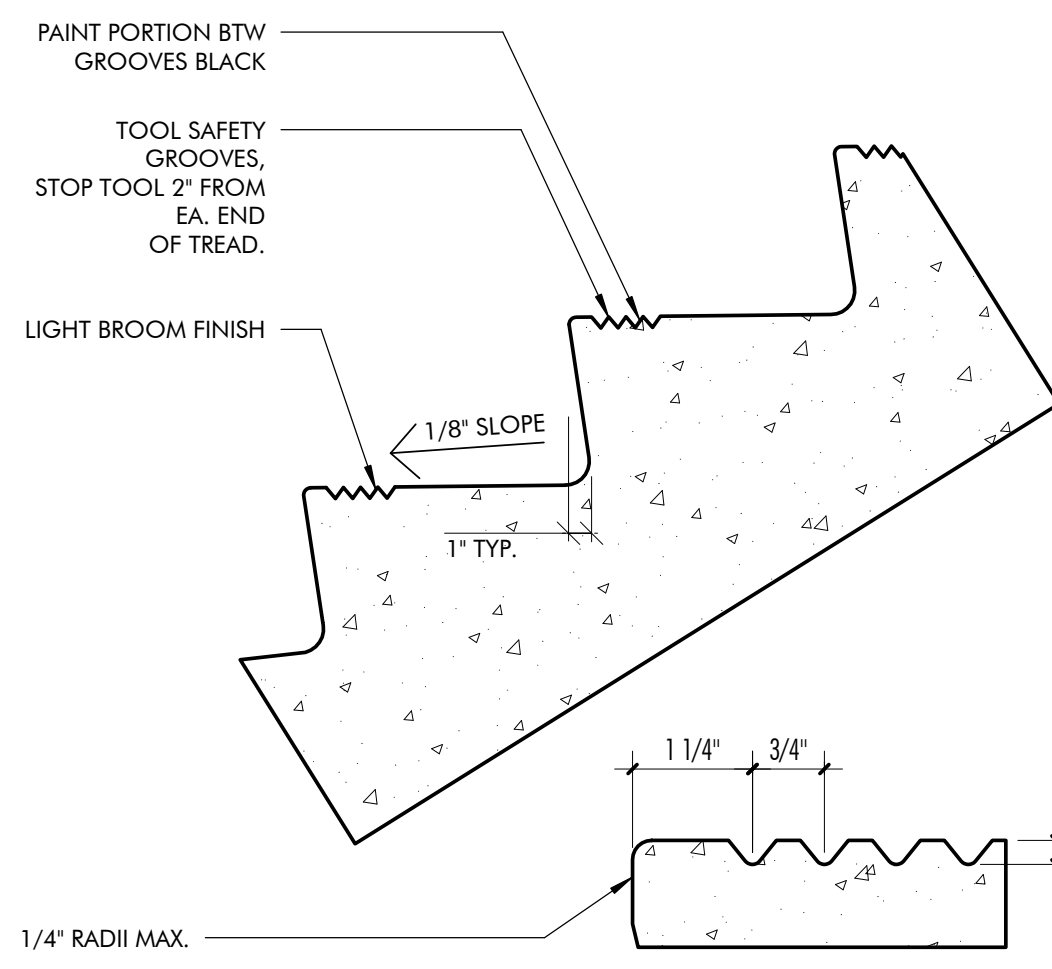
FILE:

DATE	ISSUE/REVISION
1/02/19/2018	ISSUED FOR PERMIT

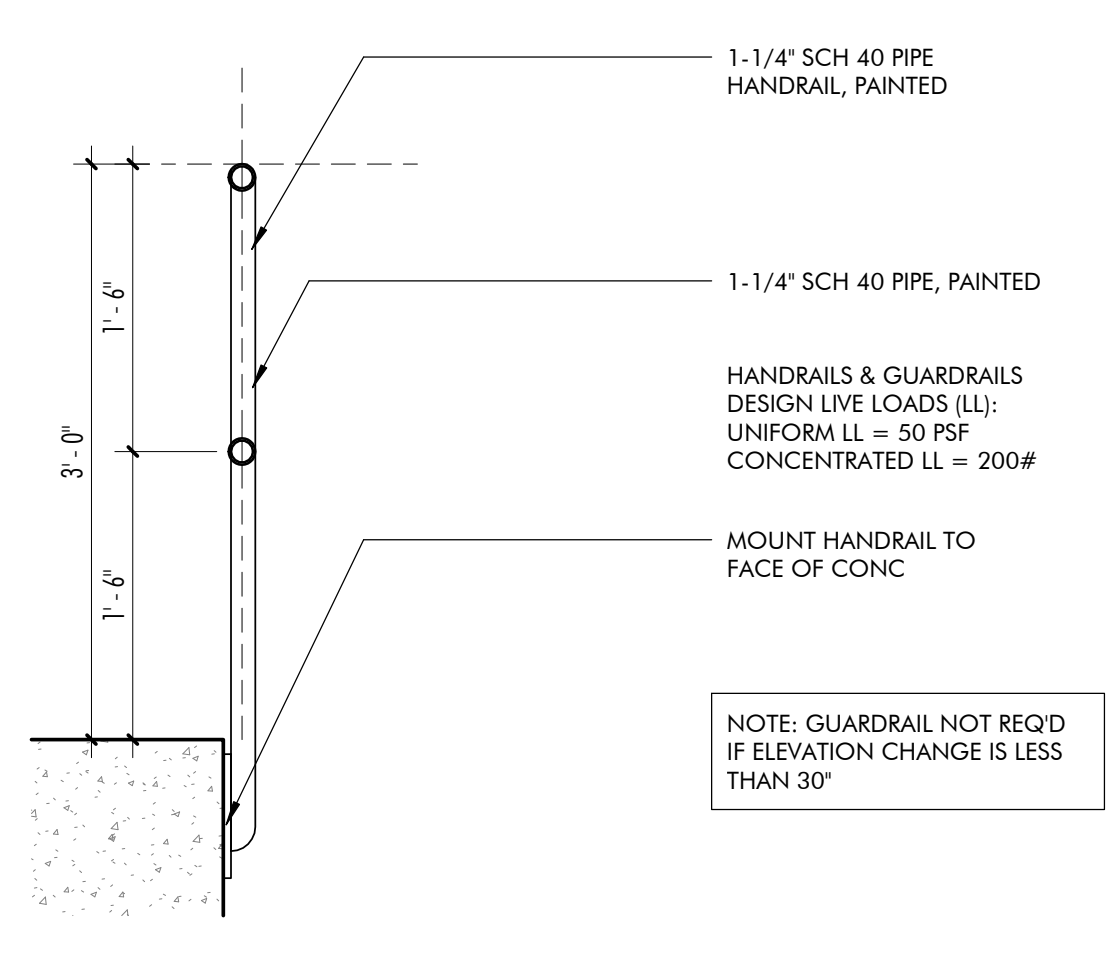
TITLE:
ENLARGED PLANS &
INT ELEVS

DRAWING:

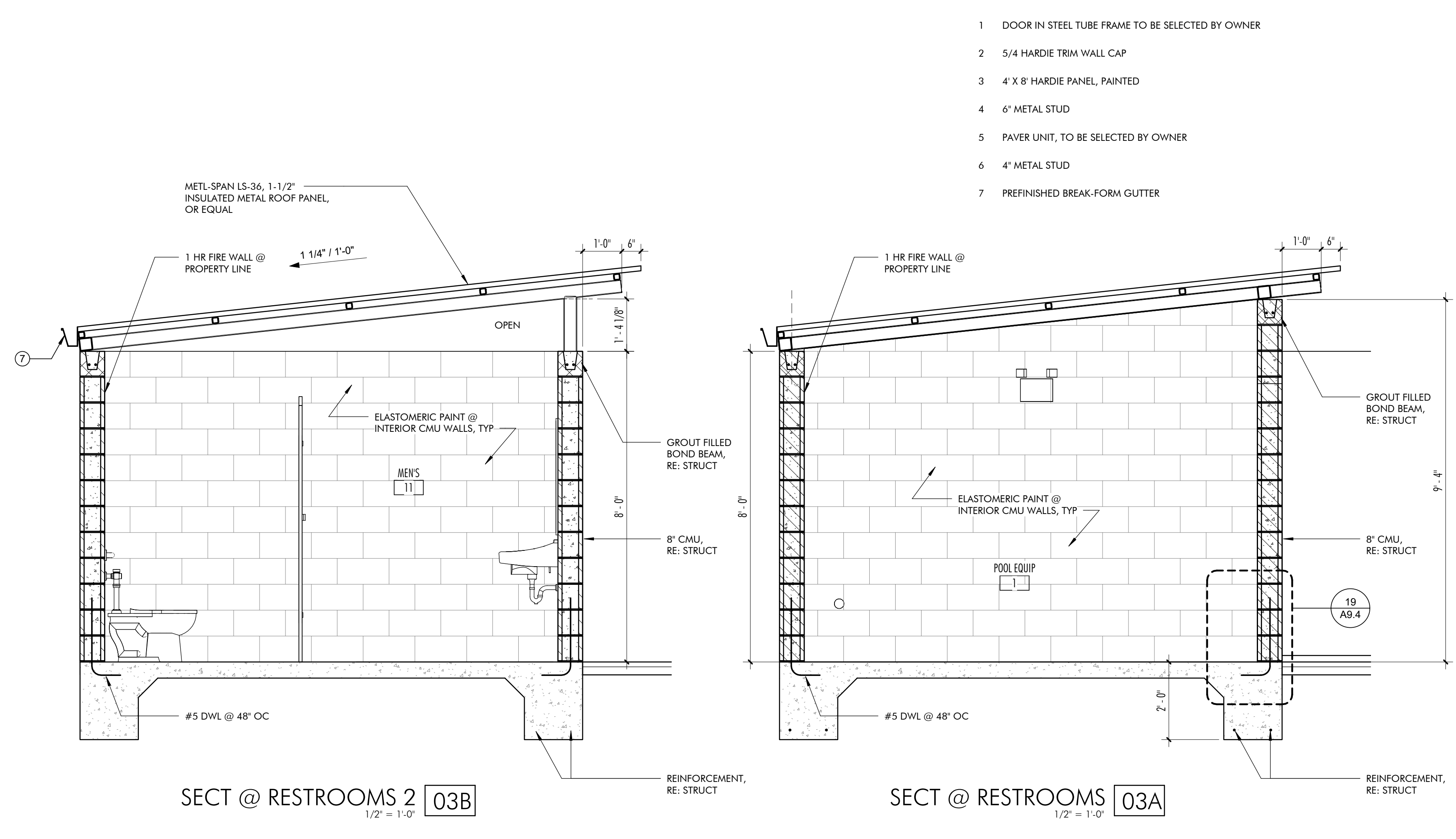
A6.0



TYP CONC STAIR
6" = 1'-0" 20



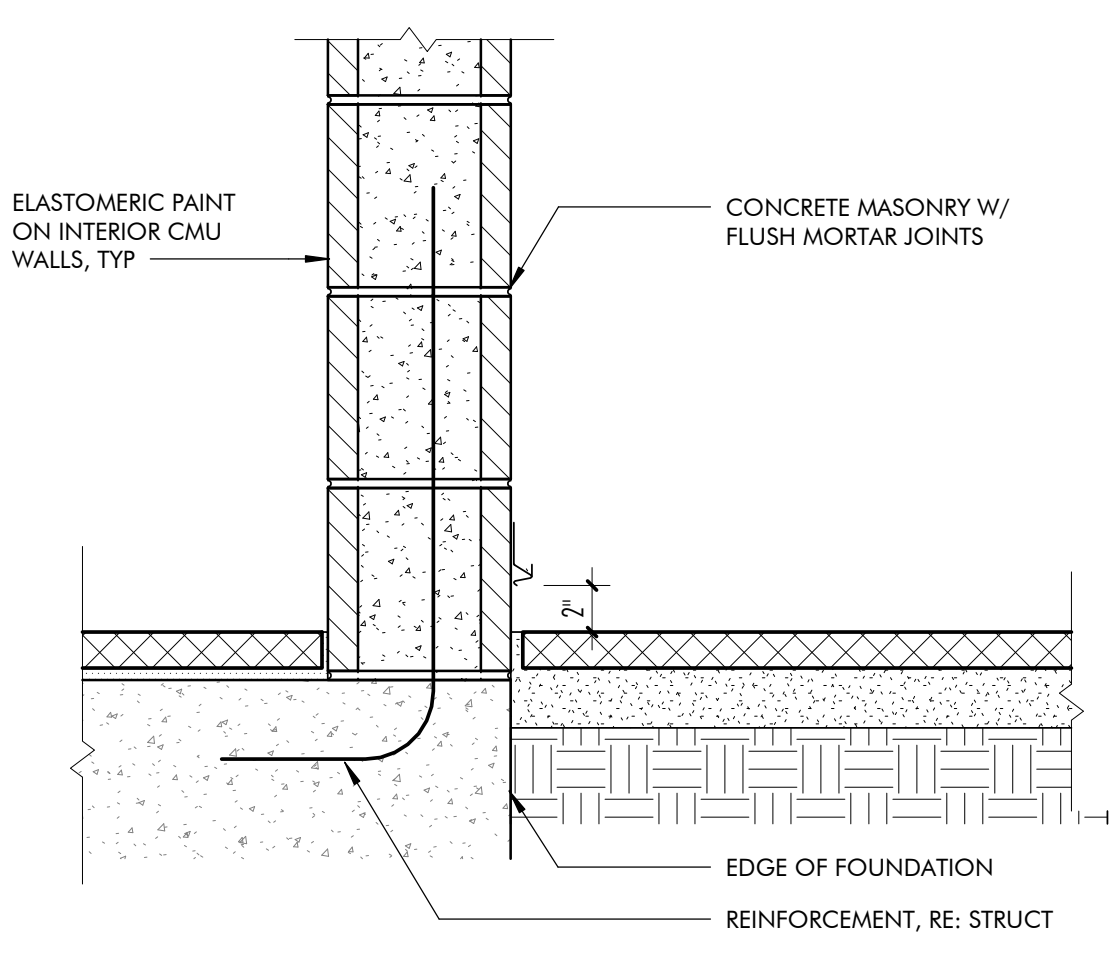
SECT @ HANDRAIL
1" = 1'-0" 16



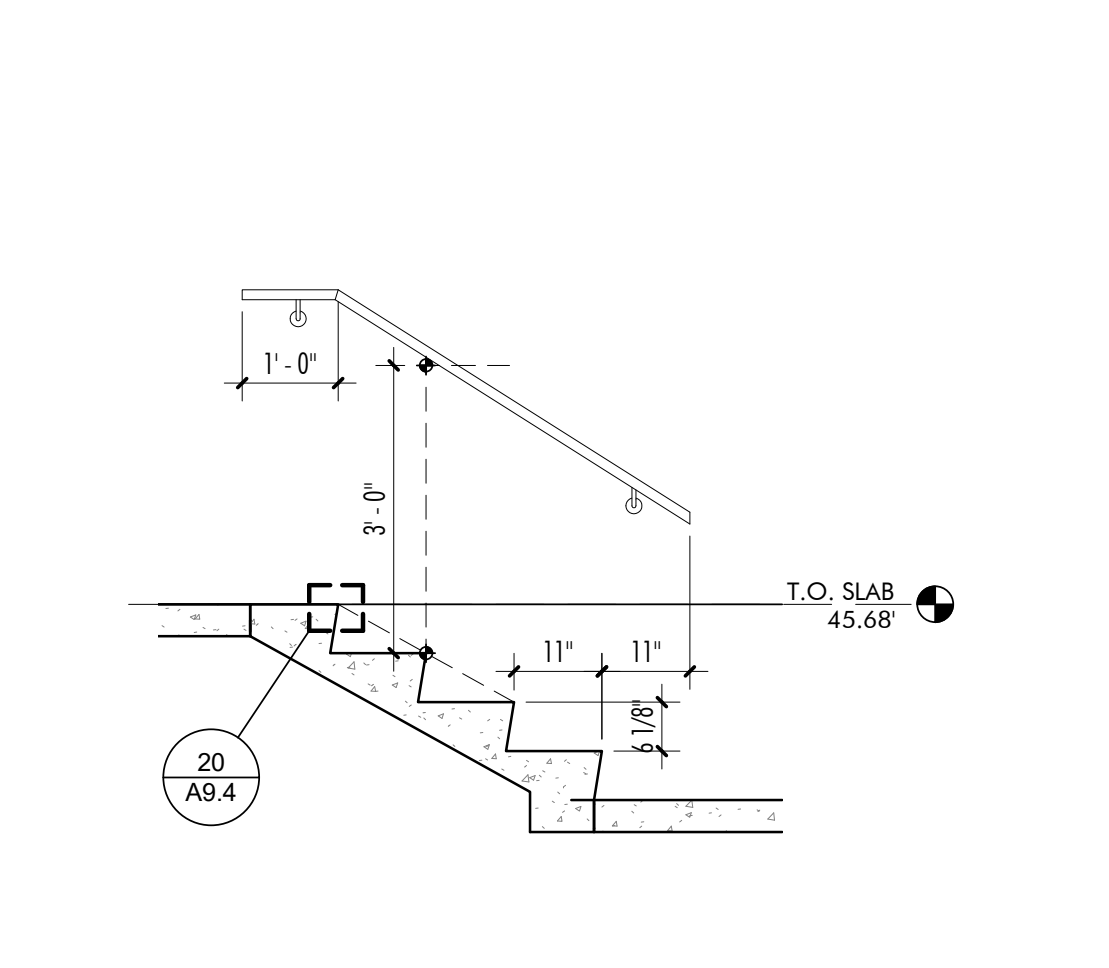
- 1 DOOR IN STEEL TUBE FRAME TO BE SELECTED BY OWNER
- 2 5/4 HARDIE TRIM WALL CAP
- 3 4' X 8' HARDIE PANEL, PAINTED
- 4 6" METAL STUD
- 5 PAVER UNIT, TO BE SELECTED BY OWNER
- 6 4" METAL STUD
- 7 PREFINISHED BREAK-FORM GUTTER

SECT @ RESTROOMS 2
1/2" = 1'-0" 03B

SECT @ RESTROOMS
1/2" = 1'-0" 03A

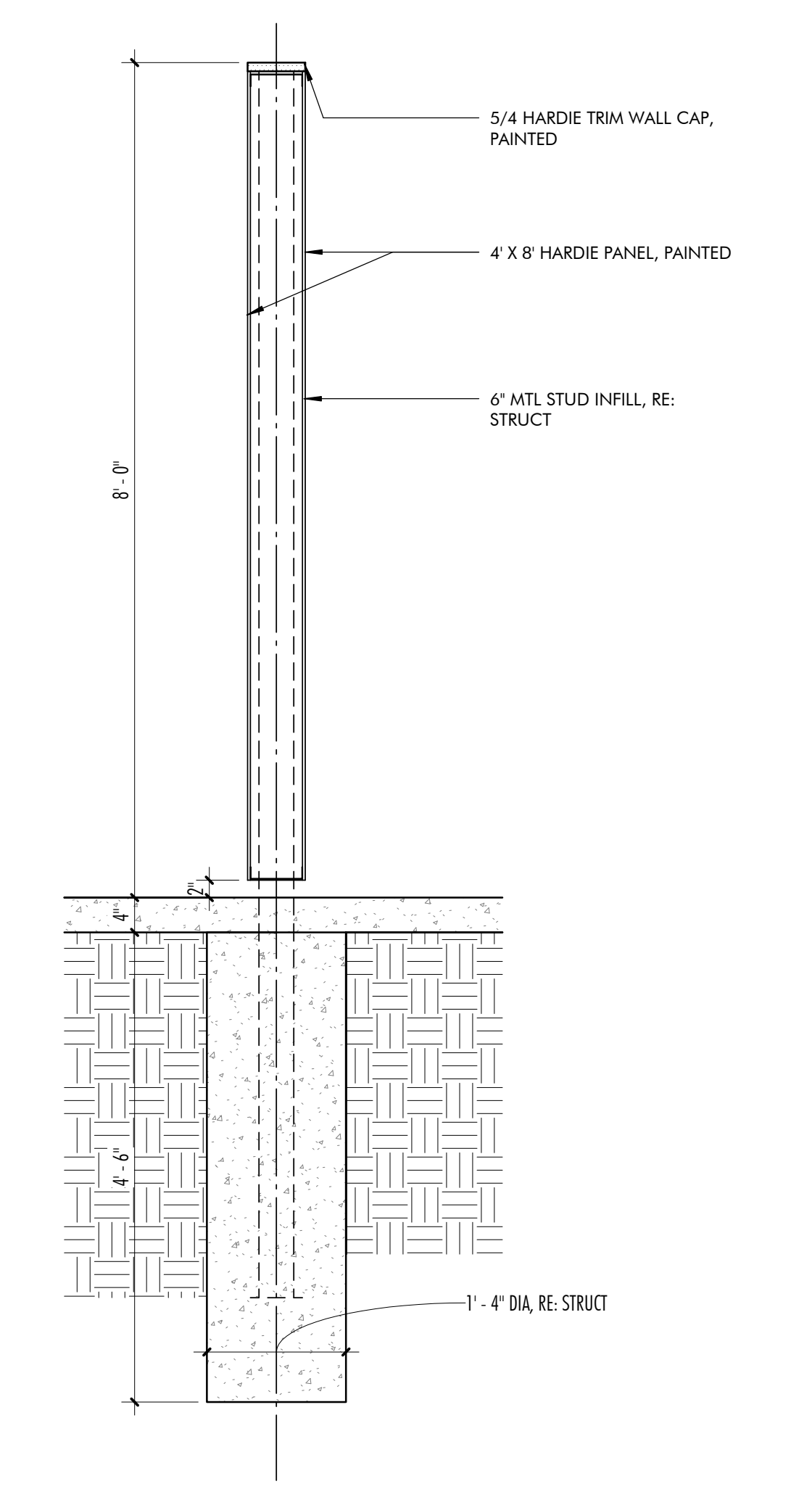


SECTION @ FOUNDATION
1 1/2" = 1'-0" 19

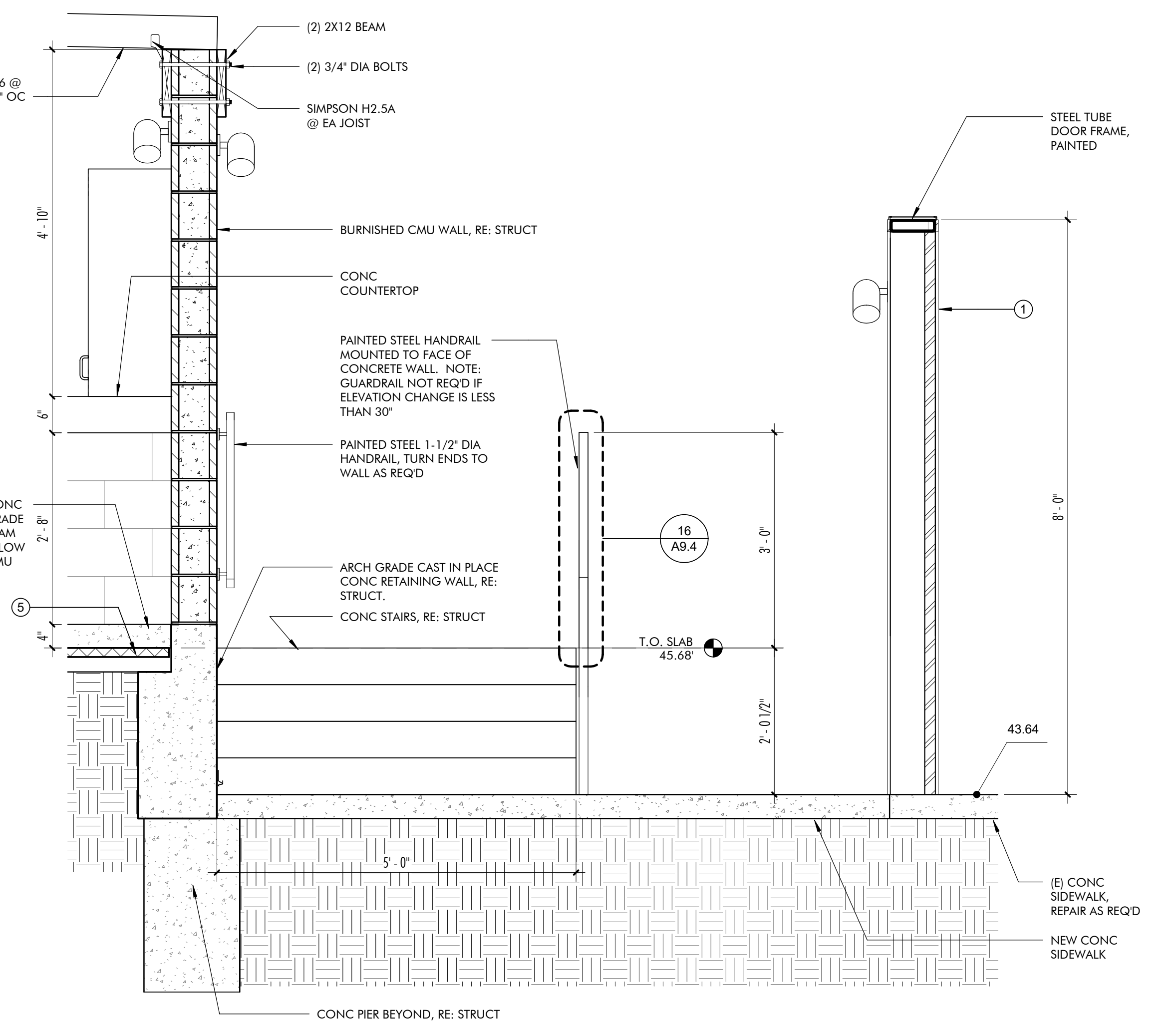


WALL MTD HANDRAIL ELEV
1/2" = 1'-0" 15

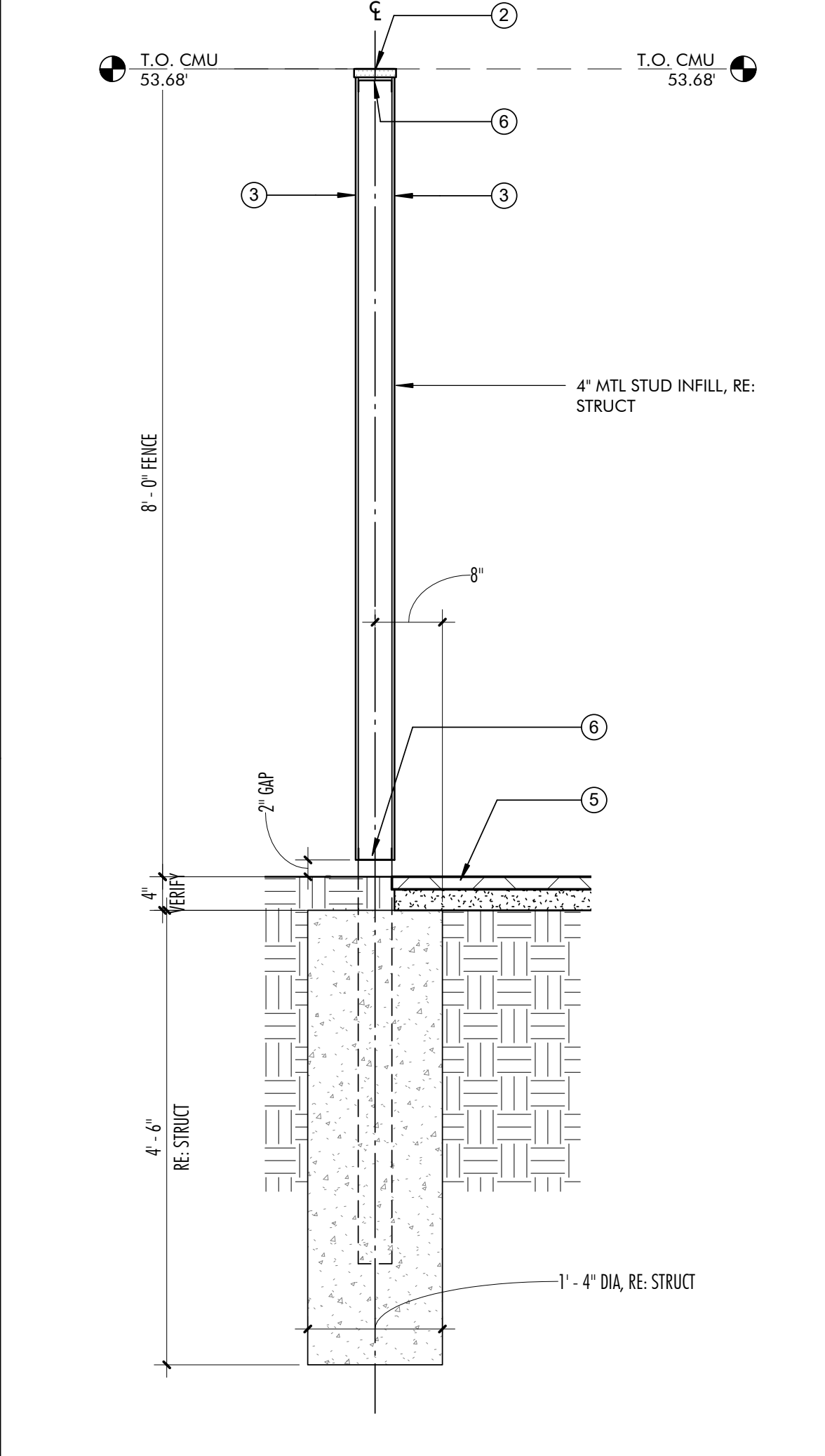
SECTIONS @ CMU BUILDING
03



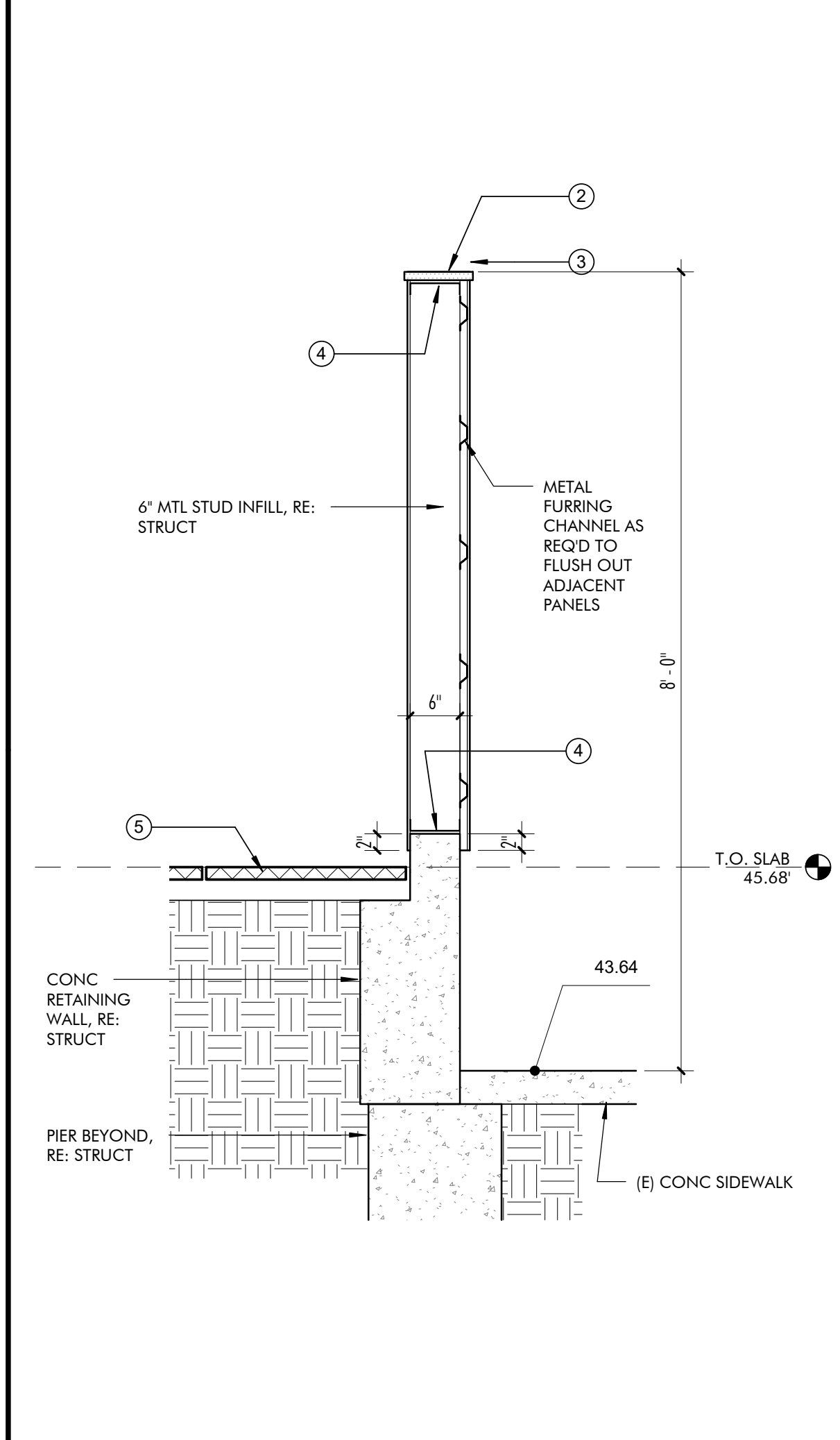
SECT @ FENCE
3/4" = 1'-0" 17



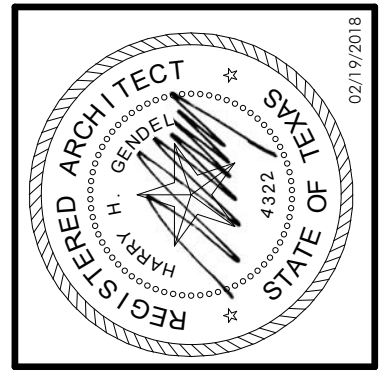
SECT @ ENTRY
3/4" = 1'-0" 09



SECT @ BACK FENCE
3/4" = 1'-0" 05



FENCE @ RETAINING WALL
3/4" = 1'-0" 01



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PROJECT:	
FILE:	
DATE:	1 02/19/2018
ISSUE/REVISION:	ISSUED FOR PERMIT
TITLE:	WALL SECTIONS
DRAWING:	A9.4