

1 RENDERING - VIEW OF FRONT FACADE



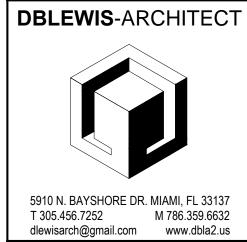
3 RENDERING - VIEW OF SIDE + FRONT FACADES



2 RENDERING- DRIVEWAY LOOKING EAST



4 RENDERING - COURTYARD LOOKING WEST



THRESHOLDS INTL. AA0003652 AR0017357 ID0004536

SEAL / SIGNATURE

apure. headquarters

PROJECT # 1307 5941 BISCAYNE BLVD., MIAMI, FL 33137

OWNER
ULI + FRIENDS INC.
3898 BISCAYNE BLVD.
MIAMI, FL 33137

STRUCTURAL ENGINEER:
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MEP + F ENGINEER:
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CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

MARIANO CORRAL LANDSCAPE ARCHITECTURE
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DESIGN CONSULTANTS: ILLUMINATION PLANNING: ULI + FRIENDS INC. 3898 BISCAYNE BLVD. MIAMI, FL 33137

RENDERINGS

N.T.S.

CONSTRUCTION DOCUMENTS

IM1.01

GENERAL NOTES

1. THE CONTRACTORS AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS AT THE JOB SITE AND AS SHOWN ON THE DRAWINGS. THEY SHALL REPORT IN WRITING ANY ERRORS, INCONSISTENCIES, OR OMISSIONS ON THE DRAWINGS TO THE ARCHITECT/ENGINEER (A/E) BEFORE COMMENCING WORK. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.

- 2. CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME.
- 3. THE CONTRACTOR IS RESPONSIBLE THAT ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF ALL APPLICABLE LOCAL CODES. ORDINANCES. AND PERMIT PROCEDURES.
- 4. THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE FLORIDA BUILDING CODE AND ALL LOCAL, STATE AND FEDERAL LAWS.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL WORK AND MATERIALS FROM WEATHER DAMAGE.
- 6. THE CONTRACTOR AGREES THAT HE WILL HOLD OWNER, ARCHITECT, ENGINEER AND/OR ANY OF THEIR EMPLOYEES OR AGENTS HARMLESS FROM ANY ALL DAMAGE AND CLAIMS WHICH MAY ARISE BY REASON OF ANY NEGLIGENCE ON THE PART OF THE CONTRACTOR, ANY OF HIS SUBCONTRACTORS, MATERIALS AND EQUIPMENT SUPPLIES AND/OR ANY OF THEIR EMPLOYEES OR AGENTS, IN PERFORMANCE OF THIS CONTRACT; AND, IN CASE ANY ACTION IS BROUGHT THEREFORE AGAINST OWNER, ARCHITECT, ENGINEERS AND/OR ANY OF THEIR EMPLOYEES OR AGENTS THEY RESERVE THE RIGHT TO DEFEND SUCH ACTION AND CHARGE ALL COST THEREOF TO THE CONTRACTOR.
- 7. DO NOT SCALE DRAWING: USE DIMENSION INDICATED ON DRAWINGS. DIMENSIONS OF LARGER SCALE DRAWING AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND VERIFY SAME IN FIELD.
- 8. IN THE EVENT THERE ARE FOUND DISCREPANCIES ON SITE OR AMBIGUITIES IN OR OMISSION FROM, THE CONTRACT DOCUMENTS INCLUDING ALL PLANS AND SPECIFICATIONS PROVIDED, OR SHOULD BE ANY DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT. SHALL BE NOTIFIED IN WRITING BY THE GENERAL CONTRACTOR IN ORDER TO PROVIDE CLARIFICATION. PRIOR TO THE COMMENCEMENT OF WORK.
- 9. SOIL UNDER NEW SLABS TO BE TERMITE TREATED AS PER FBC 1816.1.7.
- 10. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL, OR CHARGE OF THE CONSTRUCTION MEANS. METHODS. SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS.
- 11. ALL WOOD WITHIN WALL SHALL BE FIRE-TREATED. WOOD CASING, JAMBS AND TRIM SHALL BE STAIN GRADE OR CLEAR UNLESS SPECIFIED OTHERWISE.
- 12. WHERE APPLICABLE, INSULATE MASONRY WALLS. EXTERIOR STUDS WALLS, AND ATTIC SPACE IN ACCORDANCE WITH THE ENERGY CODE CALCULATIONS.
- 13. ALL WINDOW AND DOOR SIZES ARE NOMINAL, VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS. G.C. TO EXPOSE ALL DOOR & WINDOW SURROUNDS (INTERIOR FACE) TO CONCRETE BLOCK PRIOR TO FINAL SIZING.
- 14. ALL PERIMETER THRESHOLDS SHALL BE 1/2" MAX. W/ THE EXCEPTION OF SECONDARY SLIDING GLASS DOORS EXITING ONTO BALCONIES WITH IMPERVIOUS PIN.
- 15. FIXED GLASS AND/OR OPERABLE WINDOW WITHIN 24" OF THE FINISH FLOOR SHALL BE SAFETY GLASS.
- 16. ALL REQUIRED TESTS AND INSPECTIONS SHALL BE PERFORMED BY OWNER.
- 17. ALL DRYWALL, PLASTER AND STUCCO SHALL RECEIVE TWO COATS OF PREMIUM QUALITY PAINT. WOOD SHALL BE PAINTED OR STAINED. COLOR TO BE SELECTED BY OWNER/ARCHITECT.
- 18. THE CONTRACTOR SHALL OBTAIN FROM ALL SUB CONTRACTORS THE SIZE AND LOCATION OPENINGS TO BE PROVIDED BY THEIR RESPECTIVE TRADE. THE CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION, LOCATION, SIZE AND DETAIL.
- 19. THE CONTRACTOR SHALL AS PER MANUF. SPECS. NOA PROVIDE ALL SUPPLEMENTAL MATERIAL REQUIRED TO PROPERLY INSTALL, SUPPORT AND BRACE ALL ITEMS AND COMPONENTS WITHIN THE WORK.
- 20. THE GENERAL CONTRACTOR GUARANTEES AND WARRANTS THAT ALL WORK PERFORMED SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. ANY DEFECTS OR DAMAGE DISCOVERED DURING SAID PERIOD SHALL BE REPAIRED OR REPLACED AS DIRECTED IN WRITING BY THE ARCHITECT/OWNER, AT NO ADDITIONAL COSTS.
- 21. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH CHAPTER VIII OF THE FLORIDA BUILDING CODE. TABLE 803.3 AS WELL AS STATED IN #4.
- 22. COMPLETION:CONTRACTOR TO NOTIFY OWNER AND/OR ARCHITECT IN WRITING AT LEAST ONE WEEK PRIOR TO FINAL INSPECTION. FINAL DISBURSEMENT TO CONTRACTOR SHALL NOT BE MADE UNTIL OWNERS PUNCH LIST HAS BEEN SATISFIED.CONTRACTOR TO PROVIDE OWNER WITH WRITTEN GUARANTEE ON ALL EQUIPMENT. CONTRACTOR AT COMPLETION OF WORK SHALL REMOVE FROM THE PREMISES ALL RUBBISH,SPACE IMPLEMENTS,EQUIPMENT,AND SURPLUS MATERIALS,AND LEAVE THE PROJECT "BROOM CLEAN".
- 23. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND ALL REQUIRED NOTICES OF APPROVAL FOR ALL CUSTOM FABRICATED WORK. CONTRACTOR SHALL REVIEW/APPROVE ALL SUBMITTALS/SHOP DRAWING PRIOR TO SUBMITTING FOR ARCHITECTS REVIEW.
- 24. G.C. TO COORD. WITH OWNER ACCESS TO SITE AND SECURITY ISSUES.
- 25. FOR ALL PRE-FABRICATED EQUIPMENT CONTRACTOR MUST VERIFY EXACT DIMENSIONS & MOUNTING/INSTALLATION PRIOR TO INSTALLING. PROVIDE ALL MATERIALS & LABOR NECESSARY FOR THE INSTALLATION. AS PER MANUF. SPECS. ALL CONTRACT DOCUMENTS.

PROPERTY INFORMATION

OWNER: ULI + FRIENDS INC.

PROPERTY ADDRESS: 5941 BISCAYNE BLVD, MIAMI, FL 33137

MIMO HISTORIC DISTRICT FOLIO: 01-3218-031-0320

LEGAL DESCRIPTION: LOT 5 OF 'BAY SHORE', ACCORDING TO THE

PLAT THEREOF AS RECORDED IN PLAT BOOK 5 AT PAGE 116 OF THE PUBLIC RECORDS OF

MIAMI-DADE COUNTY, FLORIDA.

YEAR BUILT: VACANT LOT IN MIMO HISTORIC DISTRICT

STATUS: CONSTRUCTION:

FIRE PROTECTION:

ZONING: T4-O

FEMA

BASE FLOOD ELEVATION FLOOD ZONE CROWN OF ROAD

FINISHED FLOOR ELEVATIONS

N/A' N.G.V.D.

X (SEE ELEVATION CERTIFICATE)

VARIES 12.97'-13.06' N.G.V.D.

FFE = 13.50' N.G.V.D.

APPLICABLE CODES

- * FLORIDA BUILDING CODE, 2010 EDITION + LATEST ADDENDUMS
- * LIFE SAFETY CODE (N.F.P.A. 101), 2003 ED.
- * FLORIDA ACCESCIPILITY CODE, 2001 EDITION
- * FLORIDA ACCESSIBILITY CODE, 2001 ED.

JURISDICTION: CITY OF MIAMI, FL

SHOP DRAWING NOTES

SUBMIT 4 SET MINIMUM SIGNED & SEALED BY LIC. ENG. W/ ALL SPECS (FOR ARCHITECT APPROVAL PRIOR TO FABRICATION) ALLOW SUFFICIENT TIME FOR PROCESSING (TWO WEEKS). SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY CONTRACTOR AND ARCHITECT. SHOP DRAWINGS SUBMITTALS REJECTED SHALL BE RESUBMITTED SHOWING CORRECTIONS.

SUBMIT SAMPLES AND COLOR CHART FOR FINISHES SUBMIT ROOFING BOND "10 YEARS" (MATERIALS AND INSTALLATION) ELEVATOR GUARANTEES IF APPLICABLE CONCRETE TEST AND DESIGN MIX MORTAR MIX AND DESIGN

MATERIALS + INSTALLATION + FIXTURES

DOORS- FRAMES, DOOR TYPES, SPECIFICATIONS, INSTALLATIONS AND HARDWARE SCHEDULE WINDOWS AND GLAZING - DETAILS AND SAMPLES

METAL WORK SUCH AS RAILINGS GATES, AND STAIRS DRYWALL - MATERIALS AND INSTALLATION MECHANICAL A/C, HEATING AND VENTILATION - MATERIALS AND FIXTURES SPRINKLERS, METAL GUTTERS, DRAIN SPOUTS AUDIO

KITCHEN EQUIPMENT, CABINETS - AS SHOWN ON INTERIOR DESIGN DRAWINGS

FINISHES - SHOWN ON DRAWINGS

VISUAL COMPONENTS, ALARMS

ALL SUBCONTRACTORS SHALL GUARANTEE THEIR WORK (MATERIAL AND LABOR) FOR A MINIMUM PERIOD OF ONE YEAR UNLESS OTHERWISE NOTED OR REQUIRED

BUILDING DISPOSITION	(BASED ON T	l- O)	
LOT OCCUPATION	REQUIRED/MAX.	EXISTING	PROPOSED (Pre-existing
LOT AREA SURVEY	1,400 S.F. MIN 20,000 S.F. MA	12,083.71 S	5.F. 12,083.71 S.F. AS PER
LOT WIDTH	50 FT MIN	60' FT	60' FT
OT COVERAGE			
BUILDING	60% MAX.	0 SF	4,475 S.F. (37%)
BUILDING FLOOR AREAS (*)			
FIRST FLOOR	N/A	N/A	1,231 S.F.
SECOND FLOOR	N/A	N/A	3,244S.F.
TOTAL BLDG. AREA	N/A	N/A	4,475 S.F.
*AS PER MIAMI 21 CODE)			
FLOOR LOT RATIO (FLR)	N/A		
FRONTAGE AT FRONT SETBACK	50% MIN.	N/A	LESS THAN 50% VIA WAIVER
OPEN SPACE REQUIREMENTS (15% LOT AREA MIN.)	1,812.6 S.F. 1	2,083.71 S.F.	
GREEN SPACE REQUIREMENTS (10% LOT AREA MIN.)	1,208 S.F.	12,083.71 S.F.	3,510 S.F.
DENSITY (DU/ACRE MAX.)	36DU/ACRE M	 AX	
BUILDING SETBACK (PRIMARY)	REQUIRED	EXISTING	PROPOSED
PRINCIPAL FRONT (WEST)	10 FT	N/A	10 FT
SIDE, (NORTH)	5FT	N/A	5FT
REAR, ABUTTING T5 (EAST)	20 FT	N/A	20 FT
SIDE, (SOUTH)	5 FT	N/A	5 FT
BUILDING CONFIGURATION			
NEW CONSTRUCTION OF TWO ST	OREY COMMERCIAL	SHOWROOM &	OFFICES
BUILDING HEIGHT (stories)	ALLOWED	EXISTING	PROPOSED
PRINCIPAL BUILDING	3 MAX.	N/A	2 STOREYS
	(35 FT MAX)		(30'-4")

* AS PER MIAMI 21 ARTICLE 4 TABLE 5
**1 ADA / 25 SPACES = 1 ADA SPACE

BICYCLE RACKS

COMMERCIAL/OFFICE USE

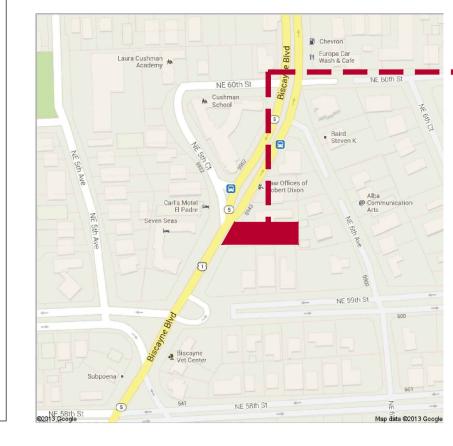
LOADING

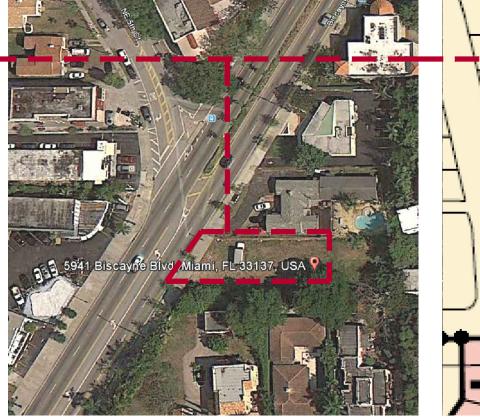
1 RACK / 20 PARKING SPACES. 1 REQUIRED, 1 PROVIDED

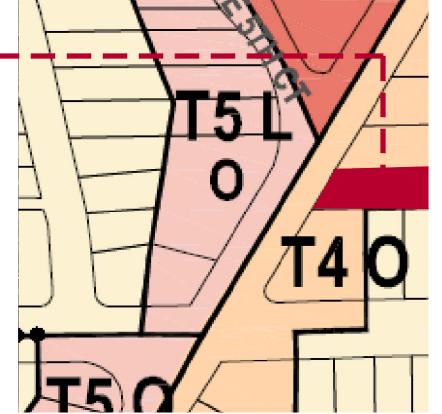
UNDER 25.000 SQ FT = NOT REQUIRED. NONE PROVIDED

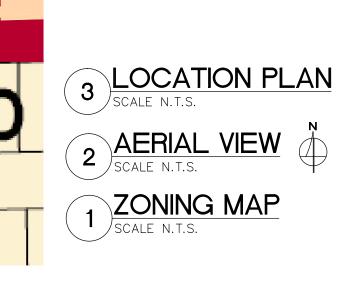
4,475 SF 3/1000 SF

=13 SPACES









12 (INCL. 1 ADA)**

= 11 SPACES

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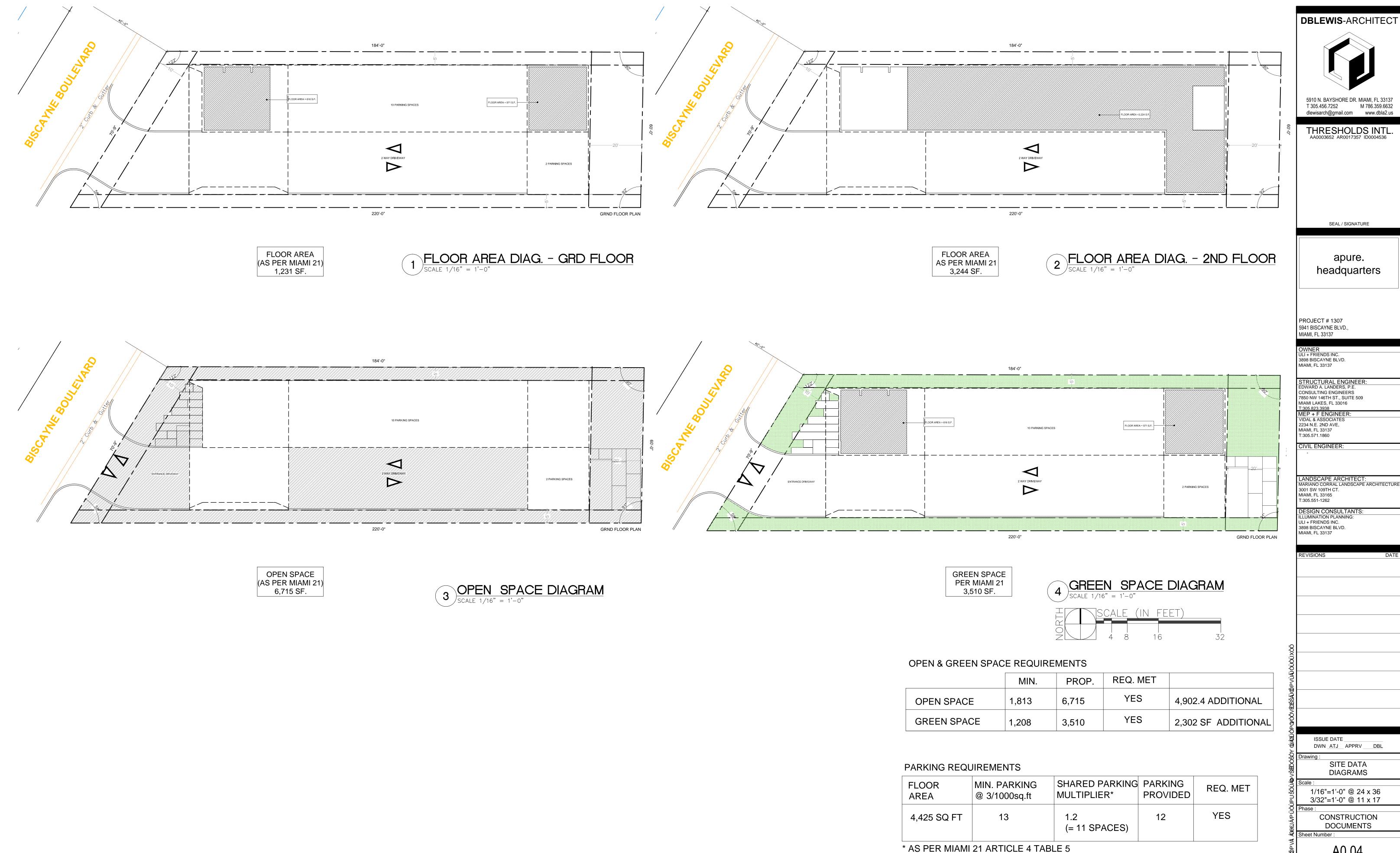
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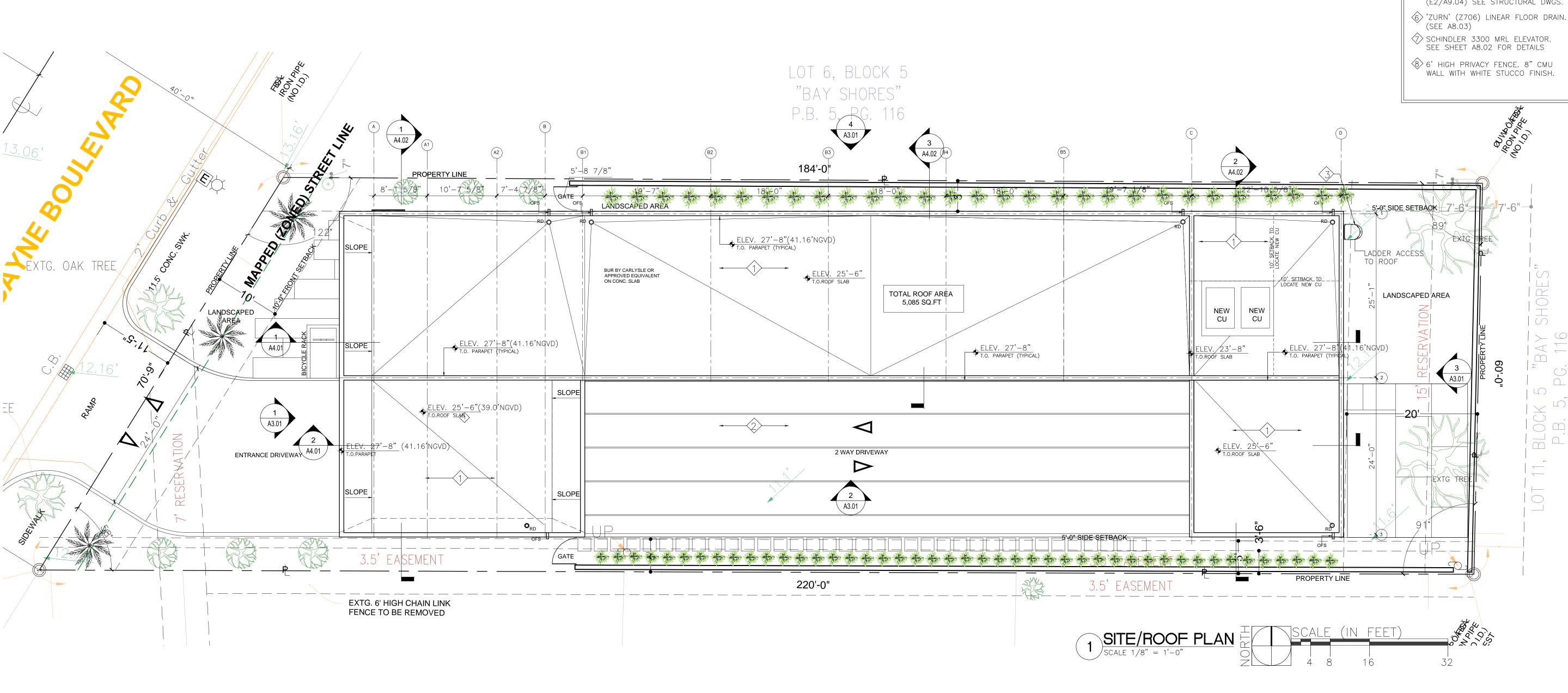
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REVISIONS

DA



A0.04



PLAN LEGEND AND NOTES

- BUILT UP ROOFING BY CARLYSLE OR APPROVED EQUIVALENT. MINIMUM 2% SLOPE TO FALL
- 5' WIDE CONCRETE BAND WITH 2"
 JOINT
- ROOF ACCESS LADDER. SEE SHEET A8.01 FOR DETAILS.
- 4 GROUND LINER LED EXTRUSION. (SEE RCP 2.01)
- 5 10" DIA. CONCRETE COLUMNS. COLOR"KENDALL CHARCOAL' (E2/A9.04) SEE STRUCTURAL DWGS.

GENERAL NOTES

DRAINAGE

1. FOR ALL LANDSCAPE AND HARDSCAPE

PLANS LP-1, LP-2 AND LD-1

2. REFER TO SHEET A2.03 FOR ROOF

NOTES AND DETAILS, SEE LANDSCAPE

SEAL / SIGNATURE

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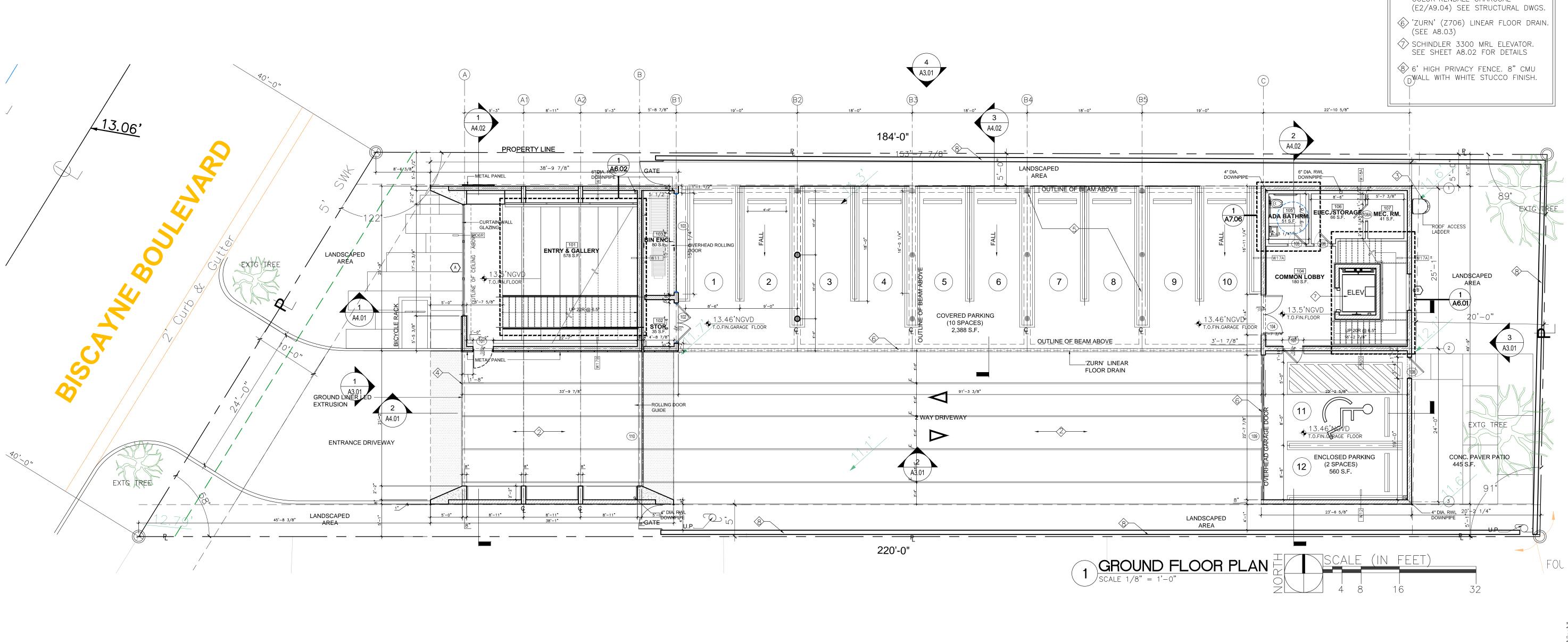
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SITE/ROOF PLAN

1/8"=1'-0" @ 24 x 36 1/16"=1'-0" @ 11 x 17

CONSTRUCTION **DOCUMENTS**

A1.01



PLAN LEGEND AND NOTES

BUILT UP ROOFING BY CARLYSLE OR APPROVED EQUIVALENT. MINIMUM 2% SLOPE TO FALL

NEW REINFORCED CMU WALLS. SEE STRUCTURAL

HATCH LEGEND

- ==== 1 HR FIRE RATED PARTITION
- NON RATED PARTITION

1 HR FIRE RATED

GENERAL NOTES

DRAINAGE

1. FOR ALL LANDSCAPE AND HARDSCAPE

PLANS LP-1, LP-2 AND LD-1

2. REFER TO SHEET A2.03 FOR ROOF

NOTES AND DETAILS, SEE LANDSCAPE

- GLASS CURTAIN WALL
- 5' WIDE CONCRETE BAND WITH 2"
 JOINT
- ROOF ACCESS LADDER. SEE SHEET A8.01 FOR DETAILS.
- 4 GROUND LINER LED EXTRUSION. (SEE RCP 2.01)
- (5) 10" DIA. CONCRETE COLUMNS. COLOR"KENDALL CHARCOAL'

SEAL / SIGNATURE

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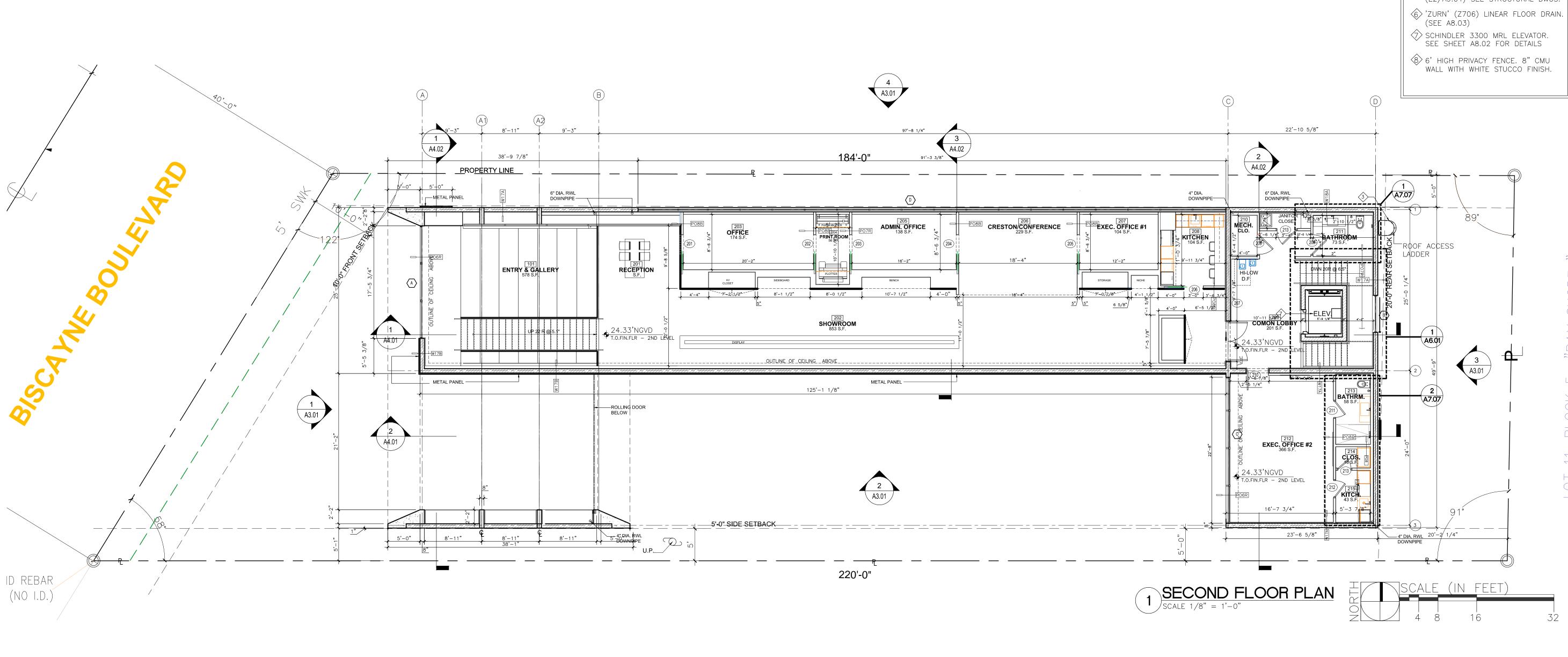
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GROUND FLOOR PLAN

1/8"=1'-0" @ 24 x 36 1/16"=1'-0" @ 11 x 17

> CONSTRUCTION **DOCUMENTS**

> > A2.01



PLAN LEGEND AND NOTES

5' WIDE CONCRETE BAND WITH 2"
JOINT

ROOF ACCESS LADDER. SEE SHEET A8.01 FOR DETAILS.

- BUILT UP ROOFING BY CARLYSLE OR APPROVED EQUIVALENT. MINIMUM 2% SLOPE TO FALL
- ==== 1 HR FIRE RATED PARTITION
- ____ NON RATED PARTITION

NEW REINFORCED CMU
WALLS. SEE STRUCTURAL

HATCH LEGEND

- GLASS CURTAIN WALL
 1 HR FIRE RATED
- 4 GROUND LINER LED EXTRUSION. (SEE RCP 2.01)
- (5) 10" DIA. CONCRETE COLUMNS. COLOR"KENDALL CHARCOAL' (E2/A9.04) SEE STRUCTURAL DWGS.

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SECOND FLOOR PLAN

1/8"=1'-0" @ 24 x 36 1/16"=1'-0" @ 11 x 17

> CONSTRUCTION DOCUMENTS

> > A2.02