



1 RENDERING - VIEW OF FRONT FACADE



2 RENDERING- DRIVEWAY LOOKING EAST



3 RENDERING - VIEW OF SIDE + FRONT FACADES



4 RENDERING - COURTYARD LOOKING WEST

**DBLEWIS-ARCHITECT**

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SEAL / SIGNATURE

**apure.**  
headquarters

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PROJECT # 1307  
5941 BISCAYNE BLVD.,  
MIAMI, FL 33137

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OWNER  
ULI + FRIENDS INC.  
3898 BISCAYNE BLVD.  
MIAMI, FL 33137

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CIVIL ENGINEER:

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DESIGN CONSULTANTS:  
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REVISIONS	DATE

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ISSUE DATE: DWN ATJ APPRV DBL

Drawing: **RENDERINGS**

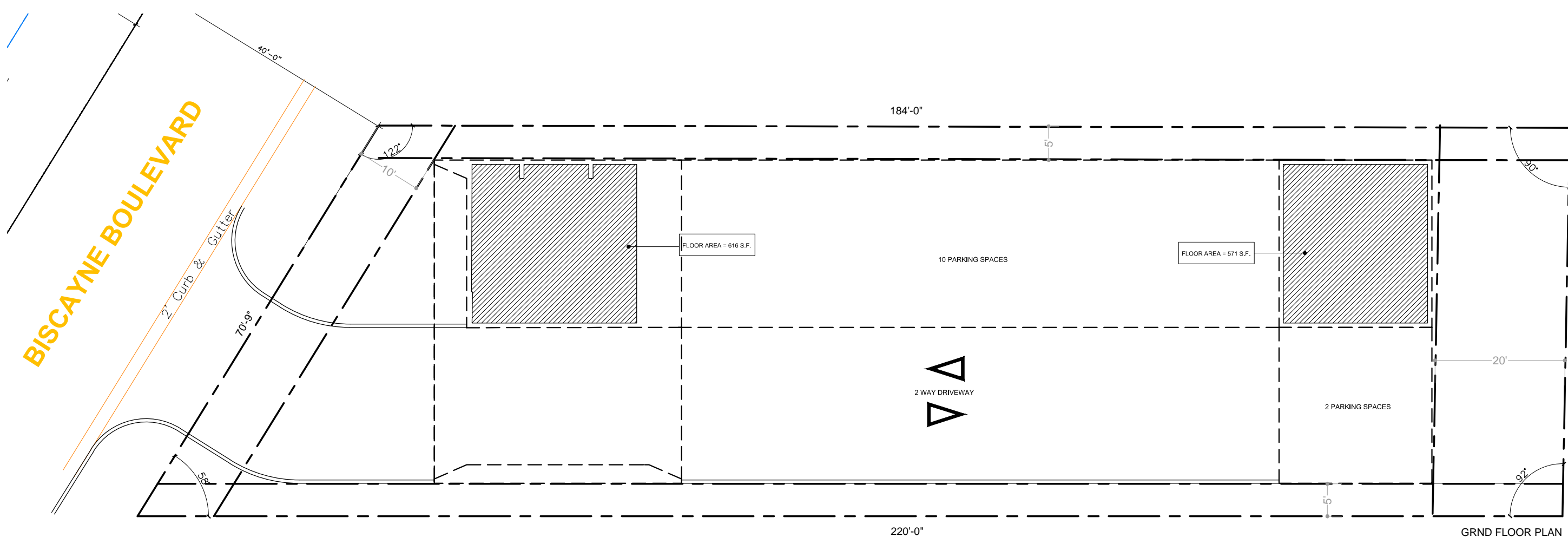
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Phase: **CONSTRUCTION DOCUMENTS**

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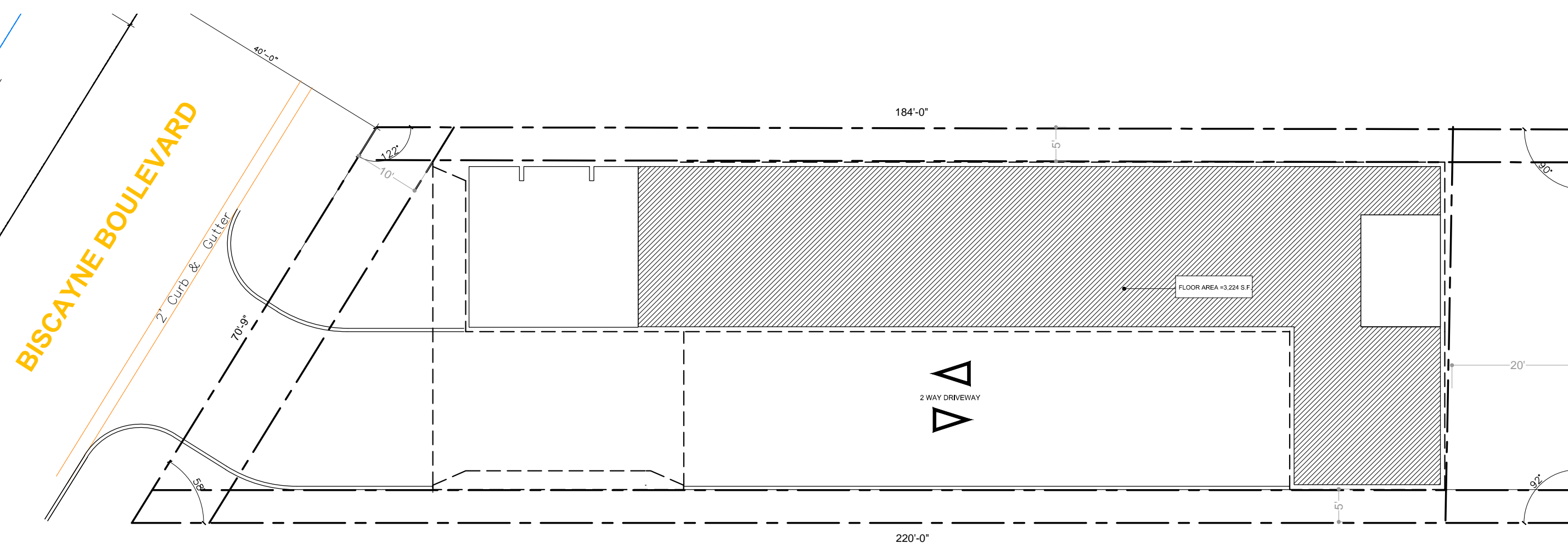
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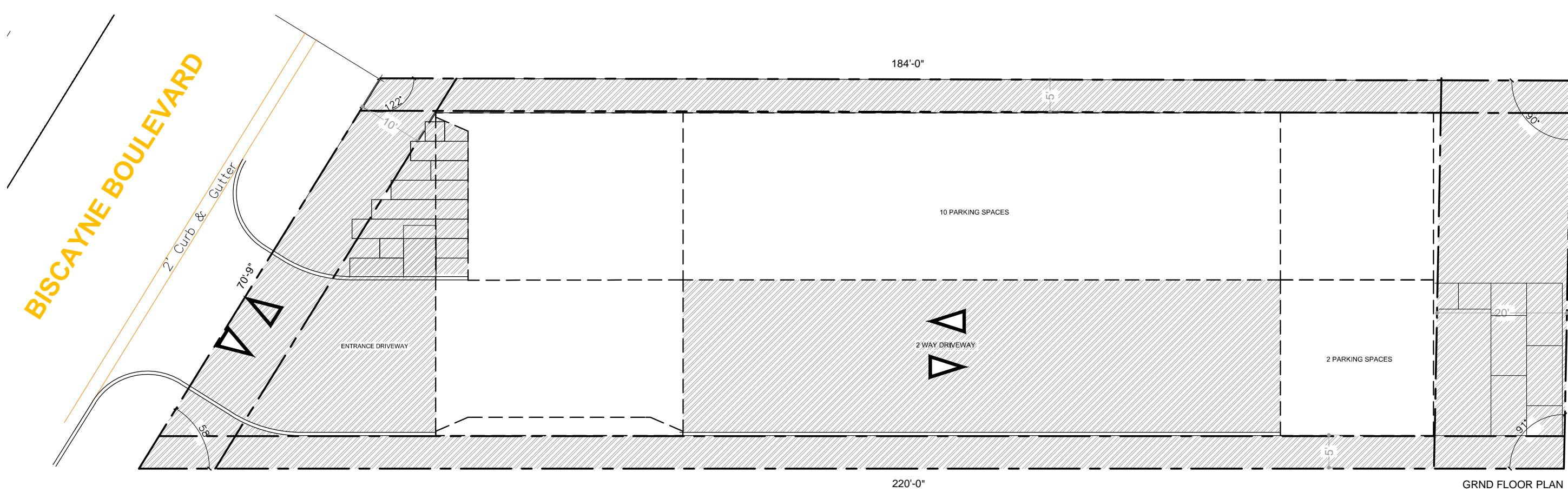
FLOOR AREA  
(AS PER MIAMI 21)  
1,231 SF.

**1 FLOOR AREA DIAG. - GRD FLOOR**  
SCALE 1/16" = 1'-0"



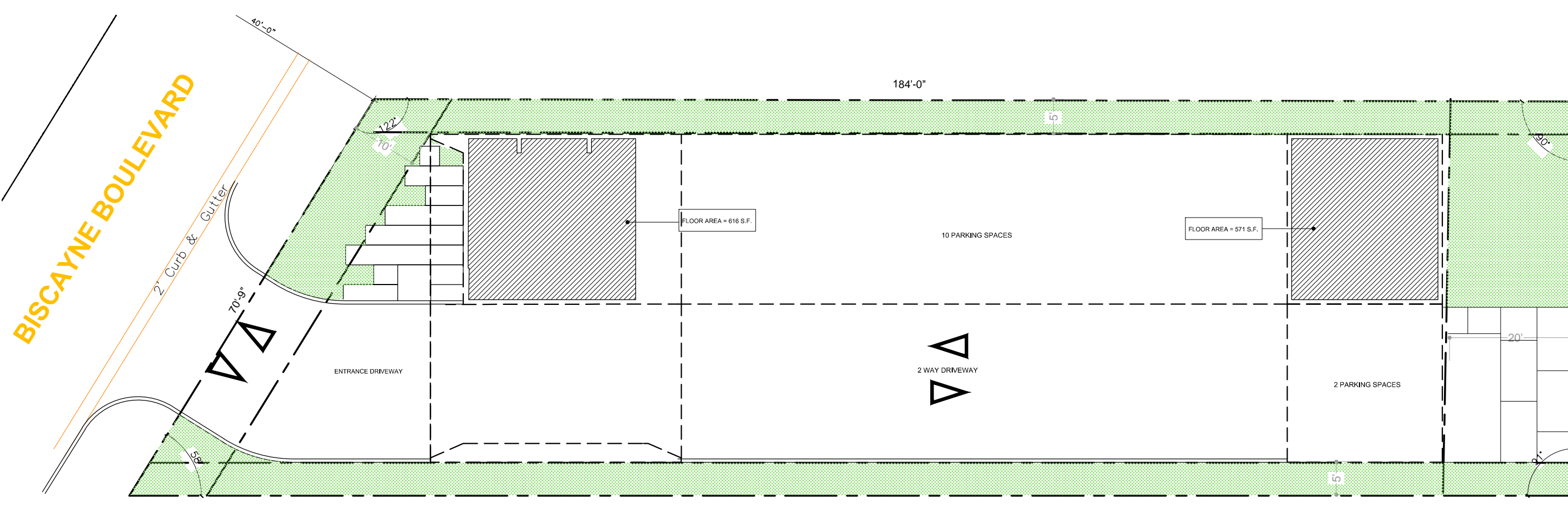
FLOOR AREA  
AS PER MIAMI 21  
3,244 SF.

**2 FLOOR AREA DIAG. - 2ND FLOOR**  
SCALE 1/16" = 1'-0"



OPEN SPACE  
(AS PER MIAMI 21)  
6,715 SF.

**3 OPEN SPACE DIAGRAM**  
SCALE 1/16" = 1'-0"



GREEN SPACE  
PER MIAMI 21  
3,510 SF.

**4 GREEN SPACE DIAGRAM**  
SCALE 1/16" = 1'-0"



**OPEN & GREEN SPACE REQUIREMENTS**

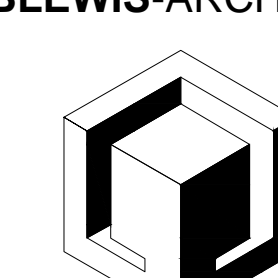
	MIN.	PROP.	REQ. MET	
OPEN SPACE	1,813	6,715	YES	4,902.4 ADDITIONAL
GREEN SPACE	1,208	3,510	YES	2,302 SF ADDITIONAL

**PARKING REQUIREMENTS**

FLOOR AREA	MIN. PARKING @ 3/1000sq.ft	SHARED PARKING MULTIPLIER*	PARKING PROVIDED	REQ. MET
4,425 SQ FT	13	1.2 (= 11 SPACES)	12	YES

\* AS PER MIAMI 21 ARTICLE 4 TABLE 5

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OWNER  
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REVISIONS	DATE

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DWN ATJ APPRV DBL

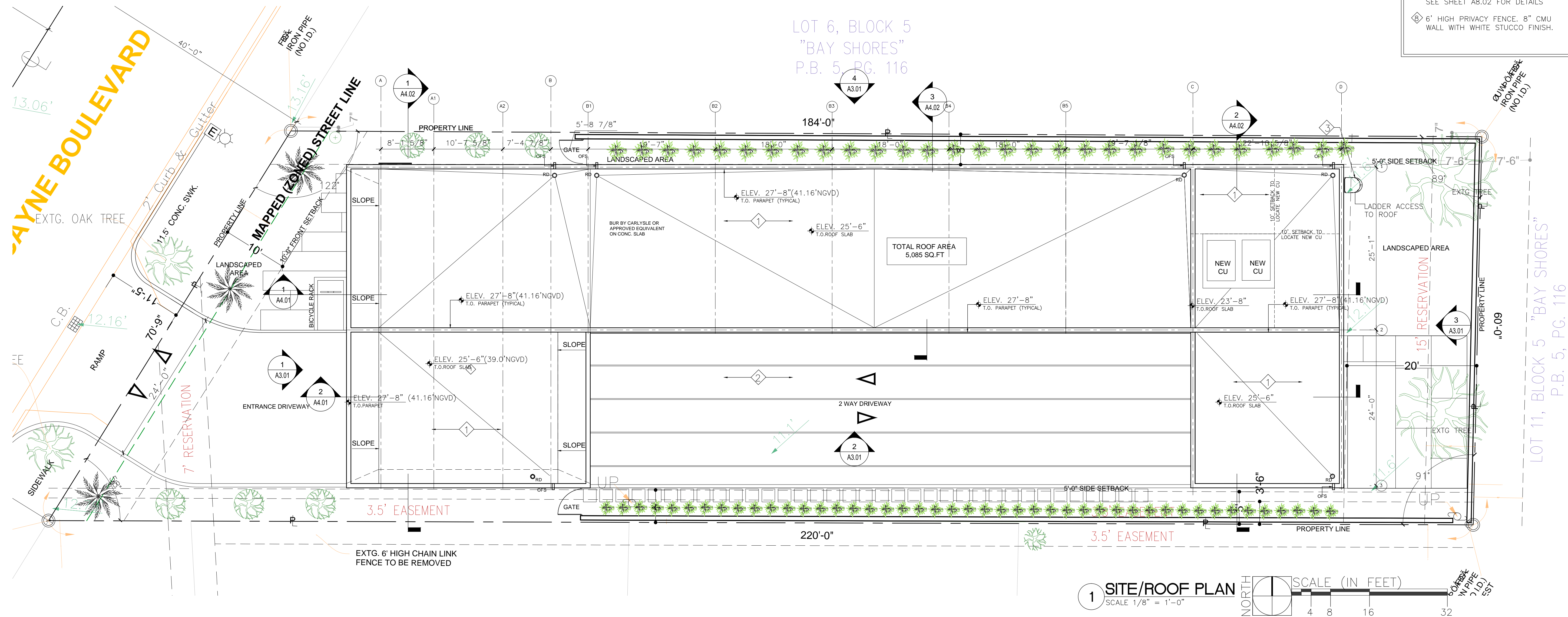
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SITE DATA  
DIAGRAMS

Scale:  
1/16"=1'-0" @ 24 x 36  
3/32"=1'-0" @ 11 x 17

Phase:  
CONSTRUCTION  
DOCUMENTS

Sheet Number:  
**A0.04**

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- PLAN LEGEND AND NOTES**
- 1 BUILT UP ROOFING BY CARLYSLE OR APPROVED EQUIVALENT. MINIMUM 2% SLOPE TO FALL.
  - 2 5' WIDE CONCRETE BAND WITH 2" JOINT
  - 3 ROOF ACCESS LADDER. SEE SHEET AB.01 FOR DETAILS.
  - 4 GROUND LINER LED EXTRUSION. (SEE RCP 2.01)
  - 5 10" DIA. CONCRETE COLUMNS. COLOR "KENDALL CHARCOAL" (E2/A9.04) SEE STRUCTURAL DWGS.
  - 6 "ZURN" (Z706) LINEAR FLOOR DRAIN. (SEE AB.03)
  - 7 SCHINDLER 3300 MRL ELEVATOR. SEE SHEET AB.02 FOR DETAILS.
  - 8 6' HIGH PRIVACY FENCE. 8" CMU WALL WITH WHITE STUCCO FINISH.

**1 SITE/ROOF PLAN**  
SCALE 1/8" = 1'-0"  
NORTH  
SCALE (IN FEET)  
0 4 8 16 32

- GENERAL NOTES**
1. FOR ALL LANDSCAPE AND HARDSCAPE NOTES AND DETAILS, SEE LANDSCAPE PLANS LP-1, LP-2 AND LD-1
  2. REFER TO SHEET A2.03 FOR ROOF DRAINAGE

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REVISIONS	DATE

ISSUE DATE  
DWN ATJ APPRV DBL

Drawing: **SITE/ROOF PLAN**

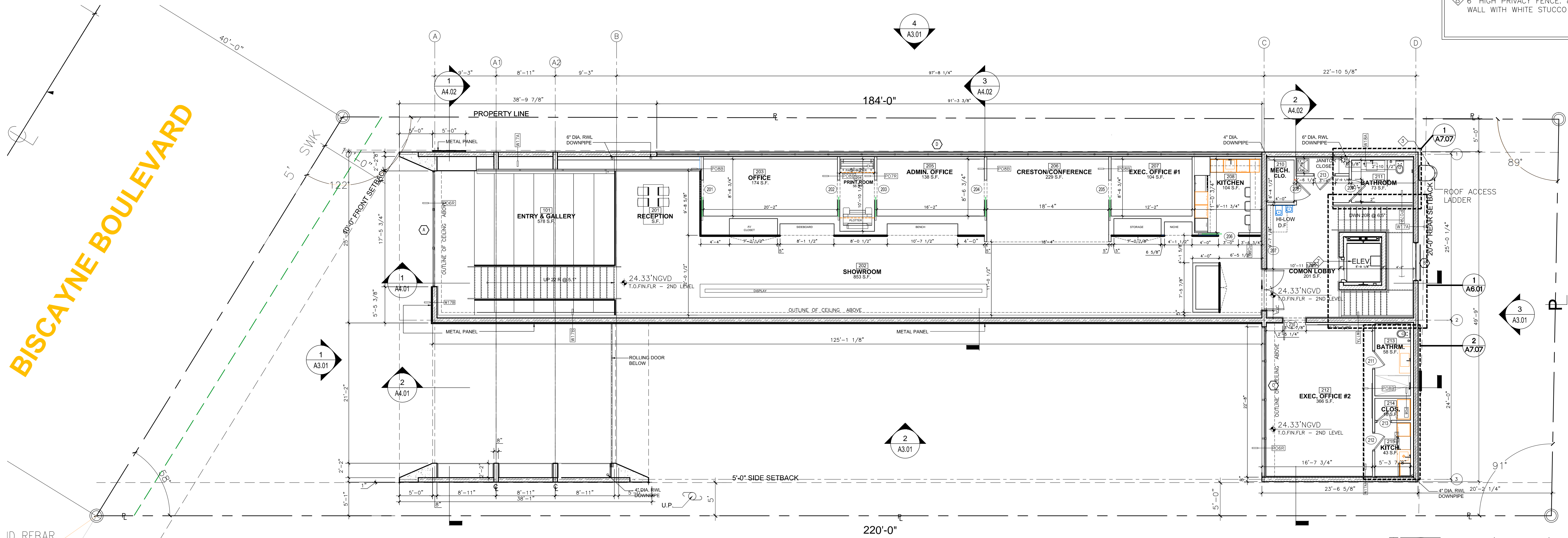
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1/8"=1'-0" @ 24 x 36  
1/16"=1'-0" @ 11 x 17

Phase:  
**CONSTRUCTION DOCUMENTS**

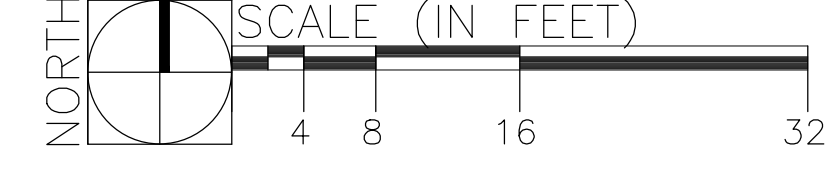
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**A1.01**

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**1 SECOND FLOOR PLAN**  
SCALE 1/8" = 1'-0"



**HATCH LEGEND**

- NEW REINFORCED CMU WALLS. SEE STRUCTURAL DWGS.
- 1 HR FIRE RATED PARTITION
- NON RATED PARTITION
- GLASS CURTAIN WALL  
1 HR FIRE RATED

**PLAN LEGEND AND NOTES**

- BUILT UP ROOFING BY CARLYSLE OR APPROVED EQUIVALENT. MINIMUM 2% SLOPE TO FALL.
- 5' WIDE CONCRETE BAND WITH 2" JOINT
- ROOF ACCESS LADDER. SEE SHEET A8.01 FOR DETAILS.
- GROUND LINER LED EXTRUSION. (SEE RCP 2.01)
- 10" DIA. CONCRETE COLUMNS. COLOR "KENDALL CHARCOAL" (E2/A9.04) SEE STRUCTURAL DWGS.
- 'ZURN' (Z706) LINEAR FLOOR DRAIN. (SEE A8.03)
- SCHINDLER 3300 MRL ELEVATOR. SEE SHEET A8.02 FOR DETAILS.
- 6' HIGH PRIVACY FENCE. 8" CMU WALL WITH WHITE STUCCO FINISH.

BISCAYNE BOULEVARD

LOT 11, BLOCK 5 "BAY SHORES"

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Miami, FL 33137

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REVISIONS	DATE

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**ISSUE DATE**  
DWN ATJ APPRV DBL

Drawing: **SECOND FLOOR PLAN**

Scale: 1/8" = 1'-0" @ 24 x 36  
1/16" = 1'-0" @ 11 x 17

Phase: **CONSTRUCTION DOCUMENTS**

Sheet Number: **A2.02**