



254 1ST STREET EAST

SONOMA, CALIFORNIA

NORTH OF THE MISSION, LLC

DESIGN TEAM

DEVELOPER:
NORTH OF THE MISSION LLC, SONOMA, CA 95476

ARCHITECT:
MARCUS & WILLERS ARCHITECTS, SONOMA, CA 95476

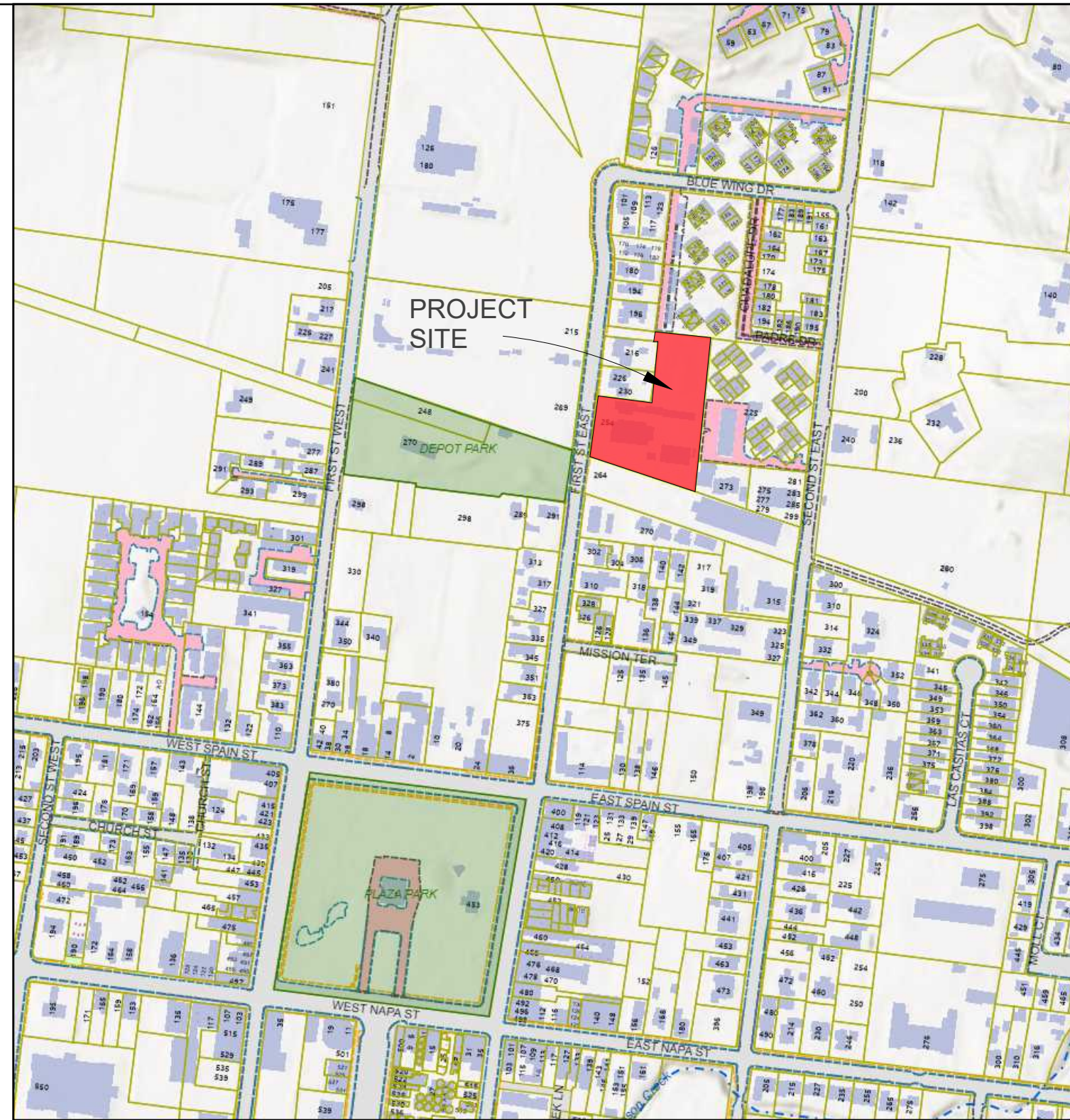
CIVIL ENGINEERS:
ADOBE ASSOCIATES INC, SANTA ROSA, CA 95401

LANDSCAPE ARCHITECT:
RON WELLANDER, SONOMA, CA 95476

GEOTECHNICAL ENGINEERS:
BAUER ASSOCIATES FORESTVILLE, CA 95436

ACCESSIBLTY CONSULTANT:
ACCESS COMPLIANCE CONSULTING, SACRAMENTO, CA 95436

ENVIRONMENTAL CONSULTANT:
RINCON CONSULTANTS INC., OAKLAND, CA 94612



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SONOMA, CALIFORNIA
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254 1ST STREET EAST

254 1ST STREET EAST
SONOMA, CA
A.P.N. : 018-131-018-000

COVER SHEET

SCALE: AS NOTED

NOT FOR CONSTRUCTION

DATE:
FEBRUARY 27, 2024

REVISIONS:
1 // -
2 // -
3 // -

CO.1

ABBREVIATIONS

@ & ABV. A.C. AC. ACT. ACOUST. ADDNL. ADJ. AFCI AFF. AGG. ALUM. ALT. ARCH. AVG.	AT AND ABOVE ASPHALTIC CONCRETE AIR CONDITIONING ABOVE COUNTERTOP ACOUSTICAL ADDITIONAL ADJACENT ARC FAULT CIRCUIT INTERRUPTER ABOVE FINISH FLOOR AGGREGATE ALUMINUM ALTERNATE ARCHITECTURAL AVERAGE	LAM. LB. LF. LVL. MAX. MECH. MFR. MH. MIN. MIR. MISC. MW. MOD. MTL.	LAMINATE POUND LINEAL FOOT LAMINATED VENEER LUMBER
BD. BF. BIC. BLDG. BLK. BLK'G. BLW BRZ. BTM. BTR. BTWN. BVL. BW.	BOARD BOTH FACES BUILT-IN CABINET BUILDING BLOCK BLOCKING BELOW BRONZE BOTTOM BETTER BETWEEN BEVELED BOTH WAYS	(N) NEC NIC. N/A NTS. O/ O.C. O.D. OFD. OH. OPP.	NEW NATIONAL ELECTRIC CODE NOT IN CONTRACT NOT APPLICABLE NOT TO SCALE
CAB. CBC. CCR CEC CFC CLG. CJ. CLR. CMC CMU CNTR. C.O. COL. COMP. CONC. CONFIN. CONT. CONTR. CPC CT.	CABINET CALIFORNIA BUILDING CODE CALIFORNIA CODE OF REGULATIONS CALIFORNIA ELECTRIC CODE CUBIC FEET CALIFORNIA FIRE CODE CEILING CONTROL JOINT CLEAR CALIFORNIA MECHANICAL CODE CONCRETE MASONRY UNIT COUNTER CLEAN OUT COLUMN COMPOSITION CONCRETE REINFORCING CONTINUOUS CONTRACTOR CALIFORNIA PLUMBING CODE CERAMIC TILE	PERF. PLAM. PLYWD PNT. PP. PSF PT. PVC. PVMT. PUE. Q. QT. R. RAD. RD. RDWD. REINFORC. REF. REQ'D RET. REV. RM. RO.	PERFORATED PLASTIC LAMINATED PLYWOOD PAINT POWER POLE POUNDS PER SQUARE FOOT PRESSURE TREATED POLY VINYL CHLORIDE PAVEMENT PUBLIC UTILITY EASEMENT QUARRY TILE RISER RADIUS ROOF DRAIN REDWOOD CONNECTION REFRIGIERATOR REQUIRED RETAINING REVISION ROOM ROUGH OPENING
DBL. DET. DEPT. D.F. DIA. DIM. DIV. DN DW DWG.	DOUBLE DETAIL DEPARTMENT DOUGLAS FIR DIAMETER DIMENSION DIVISION DOWN DISHWASHER DRAWING	SC. SCHED. SD. SDR. SECT. SEZ SF SHT. SHLVS. SHWR. SIM. SLR. SPECS. SQ. S&P SS S.S.D. S.S.T. STD. STL. STOR. STRUCT. SUSP. S.W.	SOLID CORE SCHEDULE SOAP DISPENSER STORM DRAIN SECTION STREAM EASEMENT ZONE SQUARE FOOT/FEET SHEET SHELVES SHOWER SIMILAR SEALER SPECIFICATIONS SQUARE SHELF & POLE SANITARY SEWER SEE STRUCTURAL DRAWINGS STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDE SHEARWALL
FA. FACP FAU FFE FG. FH. FIN. FLR.	FIRE ALARM FIRE ALARM CONTROL PANEL FORCED AIR UNIT FINISHED FLOOR ELEVATION FIXED GLASS FIRE HYDRANT FINISH FLOOR	T. TBD T/R TC. TEL. TEMP. T&G TV TYP.	TREAD TO BE DETERMINED TRASH/RECYCLING TRASH COMPACTOR TELEPHONE TEMPERED TONGUE & GROOVED TELEVISION TYPICAL
GA. GALV. GC. GFCI GI GLB. GND. GSM. GYP.	GAUGE GALVANIZED GENERAL CONTRACTOR GROUND FAULT CIRCUIT INTERRUPTER GALVANIZED IRON GLUED LAMINATED BEAM GROUND GALVANIZED SHEET METAL BD. GYPSUM WALL BOARD	UBC UC UFC UMC UON UPN	UNIFORM BUILDING CODE UNDER COUNTER UNIFORM FIRE CODE UNIFORM MECHANICAL CODE UNLESS OTHERWISE NOTED UNIFORM PLUMBING CODE
HB HC HDWR. HORIZ. HP. HT. HTG. HVAC HW.	HOSE BIBB HOLLOW CORE / HANDICAP HARDWARE HORIZONTAL HIGH POINT HEIGHT HEATING HEATING/VENTILATION/AIR CONDITIONING HOT WATER	VCT VENT. VERT. VIF. VNR. W/ WC. WD. W. WH. W/O WP YD.	VINYL COMPOSITION TILE VENTILATION VERTICAL VERIFY IN FIELD VENEER WITH WATER CLOSET WOOD WASHER WATER HEATER WITHOUT WATERPROOF YARD
ID. INCL. INFO. INSUL. INT. INF.	INSIDE DIAMETER INCLUDED INFORMATION INSULATION INTERIOR INFRARED		

PROJECT DATA

SCOPE OF WORK:

CONSTRUCTION OF 31 FOR-SALE CONDOMINIUM UNITS, A POOL AND A ONE-STORY POOL HOUSE. THE CONDOMINIUMS CONSIST OF TWENTY-TWO 1-BEDROOM UNITS AND NINE 2-BEDROOM UNITS. THE CONDOMINIUMS ARE GROUPED INTO SIX BUILDINGS WITH ONE 6-UNIT BUILDING AND FIVE 5-UNIT BUILDINGS. THE 6-UNIT BUILDING IS TWO-STORIES, AND THE FIVE 5-UNIT BUILDINGS ARE TWO-STORIES WITH MINIMAL THIRD STORIES AND SMALL ROOF TERRACES. TWO UNITS WILL BE AFFORDABLE AT THE LOW AND MODERATE INCOME LEVELS.

WATER: PUBLIC

SEWER: PUBLIC

FIRE PROTECTION AREA: LRA

JURISDICTION: CITY OF SONOMA BUILDING DEPARTMENT NO. 1 THE PLAZA SONOMA, CA. 95476 (707) 938-3681

2022 CALGREEN

THE PROJECT IS DESIGNED TO MEET THE REQUIREMENTS OF CALGREEN 2022 TIER 1 AS REQUIRED BY THE CITY OF SONOMA MUNICIPAL CODE.

FIRE STANDARDS

THE PROJECT IS DESIGNED TO MEET THE REQUIREMENTS OF THE 2022 CALIFORNIA FIRE CODE AS AMENDED BY THE CITY OF SONOMA MUNICIPAL CODE SMC 14.10.015

ALL BUILDINGS WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM DESIGNED TO THE STANDARDS OF 2022 NFPA 13R

CONSTRUCTION SUMMARY

CONSTRUCTION TYPE: V-A, SPRINKLERED OCCUPANCY GROUP: R-2

APPLICABLE CODES: 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA ELECTRIC CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE 2022 NFPA 13 R

ZONING CONFORMANCE			
254 1st Street East			
(See Civil Site Coverage Dwg.			
and Building Area Calculations			
for reference)			
		Proposed	Allowable/Required
Property Size Acres	1.96		
	SF 85,339		
Density		15.8 units/acre	20 units/acre
Unit Count		31	39
Inclusionary Units			
Total # of Units > 850 SF	9		
25% Required		2	2.25
Site Coverage			
Buildings	18,069		
Parking/Driveway	19,531		
Proposed Total SF	37,600	44%	60%
		0.39	0.6
(See Bldg. Area Calcs. Table: FAR)			
FAR 34,047/85,339			
Maximum Height		24 feet, typ.,	30 feet
		30 feet max.	Per SMC 19.18.020
Setbacks			
Front - West		17 ft. min., 23.5 ft. avg.	PC discretion
Side - North		5' ft. min., 14' ft. avg.	5 ft. 1-story 8 ft. 2-story
Side - South		5 ft. min., 22 ft. avg.	5 ft. 1-story 8 ft. 2-story
Rear - East		10 ft min., 19 ft. avg.	15 ft. 1-story 20 ft. 2-story
Open Space			
Common		SF/UNIT 838	SF/UNIT 300
Landscape		23,198	
Pool Area		2,792	
Total Common Open Space, SF		25,990	9,300
Private			
		SF/UNIT (Avg.)	SF/UNIT
1-bedroom units		317	75
Total: 22 @ 1-BR units, SF		6,966	1,650
2-bedroom units		960	150
Total: 9 @ 2-BR units, SF		8,642	1,350
Parking Landscape Area			
12% Parking+Driveway Area, SF		9,278	2,344
6,552 pkng. + 12,979 drwvy. = 19,531			
Parking			
22 @ 1-bedroom units			1 space/unit
			22
9 @ 2-bedroom units			1.5 spaces/unit
			14
Total Required		41	36
Parking and Driveway area SF		19,531	
Bicycle Parking			
Common (40 bdrms. proposed)	.05 per Bdrm	12	2
Private (40 bdrms. Proposed)	.5 per Bdrm	62	20

BUILDING AREA CALCULATIONS					
BUILDING AREAS					
Floor Area		FAR		Building Site Coverage	Private Open Space
		Includes Bike Storage Areas			
Building A	SF	Building A	SF	Building A	SF
Building A	SF	Building A	SF	Building A	SF
Unit A1 (1BR)	850	Unit A1	870	Unit A1	870
Unit A2 (1BR)	850	Unit A2	870	Unit A2	870
Unit A3 (1BR) BMR	800	Unit A3	810	Unit A3	810
Unit A4 (1BR)	850	Unit A4	870	Breezeway	208
Unit A5 (1BR)	850	Unit A5	870		
Unit A6 (1BR) BMR	800	Unit A6	810		
Total	5,000	Total	5,100	Total	2,758
Building B	SF	Building B	SF	Building B	SF
Building B	SF	Building B	SF	Building B	SF
Unit B1 (2BR)	1,211	Unit B1	1,238	Unit B1	1,238
Unit B2 (1BR)	850	Unit B2	870	Unit B2	870
Unit B3 (2BR)	1,857	Unit B3	1,868	Unit B3	820
Unit B4 (2BR)	1,211	Unit B4	1,238	Breezeway	208
Unit B5 (1BR)	850	Unit B5	870		
Total	5,979	Total	6,084	Total	3,136
Building C	SF	Building C	SF	Building C	SF
Building C	SF	Building C	SF	Building C	SF
Unit C1 (2BR)	1,211	Unit C1	1,238	Unit C1	1,238
Unit C2 (1BR)	850	Unit C2	870	Unit C2	870
Unit C3 (2BR)	1,857	Unit C3	1,868	Unit C3	820
Unit C4 (2BR)	1,211	Unit C4	1,238	Breezeway	208
Unit C5 (1BR)	850	Unit C5	870		
Total	5,979	Total	6,084	Total	3,136
Building D	SF	Building D	SF	Building D	SF
Building D	SF	Building D	SF	Building D	SF
Unit D1 (1BR)	850	Unit D1	870	Unit D1	870
Unit D2 (1BR)	850	Unit D2	870	Unit D2	870
Unit D3 (2BR)	1,857	Unit D3	1,868	Unit D3	820
Unit D4 (1BR)	850	Unit D4	870	Breezeway	208
Unit D5 (1BR)	850	Unit D5	870		
Total	5,257	Total	5,348	Total	2,768
Building E	SF	Building E	SF	Building E	SF
Building E	SF	Building E	SF	Building E	SF
Unit E1 (1BR)	850	Unit E1	870	Unit E1	870
Unit E2 (1BR)	850	Unit E2	870	Unit E2	870
Unit E3 (2BR)	1,857	Unit E3	1,868	Unit E3	820
Unit E4 (1BR)	850	Unit E4	870	Breezeway	208
Unit E5 (1BR)	850	Unit E5	870		
Total	5,257	Total	5,348	Total	2,768
Building F	SF	Building F	SF	Building F	SF
Building F	SF	Building F	SF	Building F	SF
Unit F1 (1BR)	850	Unit F1	870	Unit F1	870
Unit F2 (1BR)	850	Unit F2	870	Unit F2	870
Unit F3 (2BR)	1,857	Unit F3	1,868	Unit F3	820
Unit F4 (1BR)	850	Unit F4	870	Breezeway	208
Unit F5 (1BR)	850	Unit F5	870		
Total	5,257	Total	5,348	Total	2,768
Building G	520	Building G	520	Building G	520
Trash Enclosure	215	Trash Enclosure	215	Trash Enclosure	215
				Avg Per Unit	503
TOTAL	33,464	TOTAL	34,047	TOTAL	18,069
TOTAL		TOTAL		TOTAL	



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ZONING, CALCULATIONS, ABBREVIATIONS & NOTES

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DATE:
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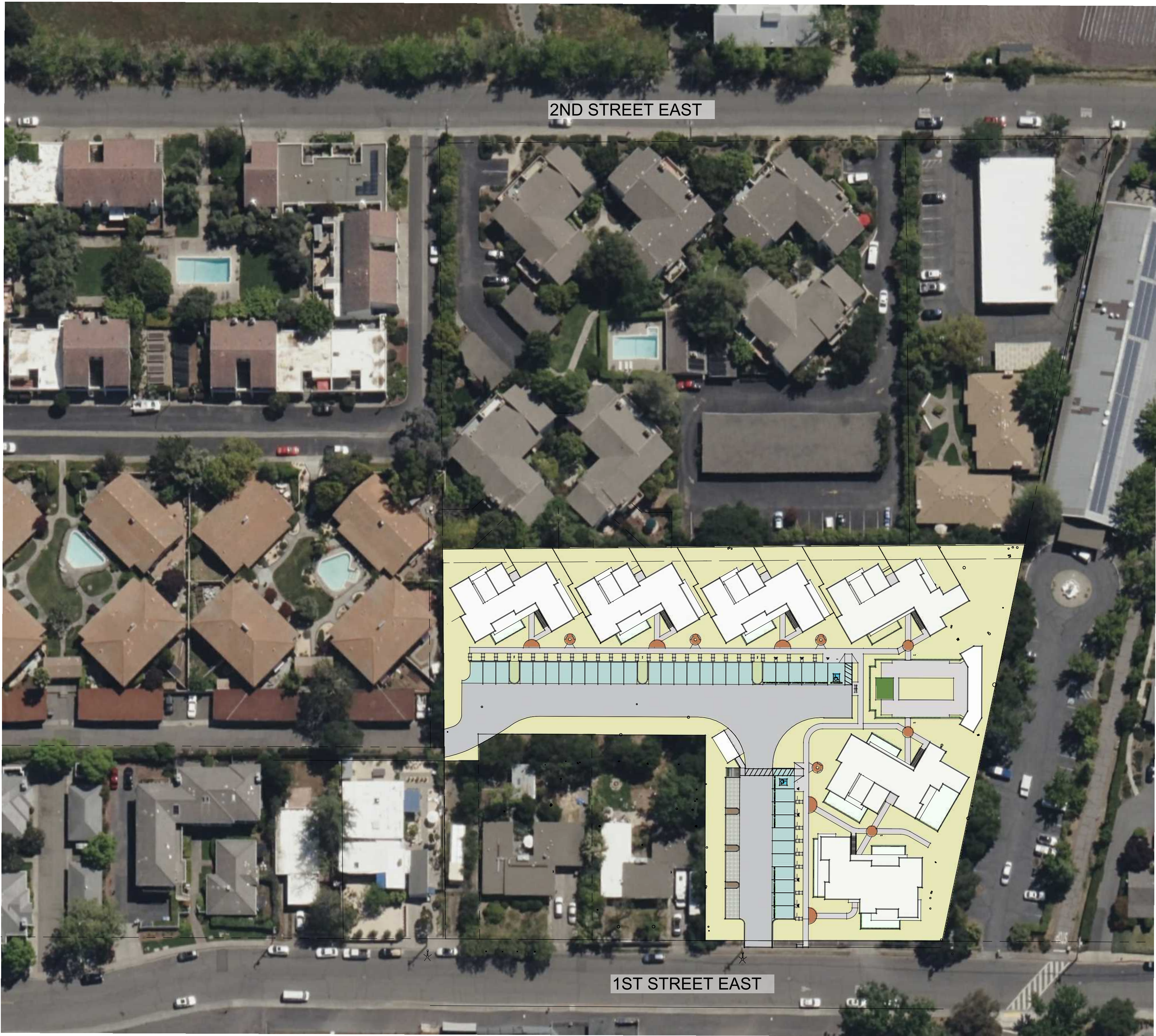
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CO.2

1
SP1.1

SITE PLAN - CONTEXT

1" = 40'-0"





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SITE PLAN - CONTEXT

SCALE: 1" = 40'-0"

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DATE:
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REVISIONS:

SP1.1



1 SITE PLAN - ZONING INFORMATION
SP1.2 1" = 20'-0"



LEGEND

- 3-STORIES
- 2-STORIES
- 1-STORY
- INCLUSIONARY UNITS - 2 UNITS
1ST FL.: MODERATE INCOME
2ND FL.: LOW INCOME
- NATURAL LANDSCAPE UNDER OAK TREES
- COMMON OPEN SPACE
- PARKING LOT LANDSCAPE
- PRIVATE OPEN SPACE
- (E) TREES TO REMAIN
- PROPOSED STREET TREES
- PROPOSED LARGE-STATURE TREES

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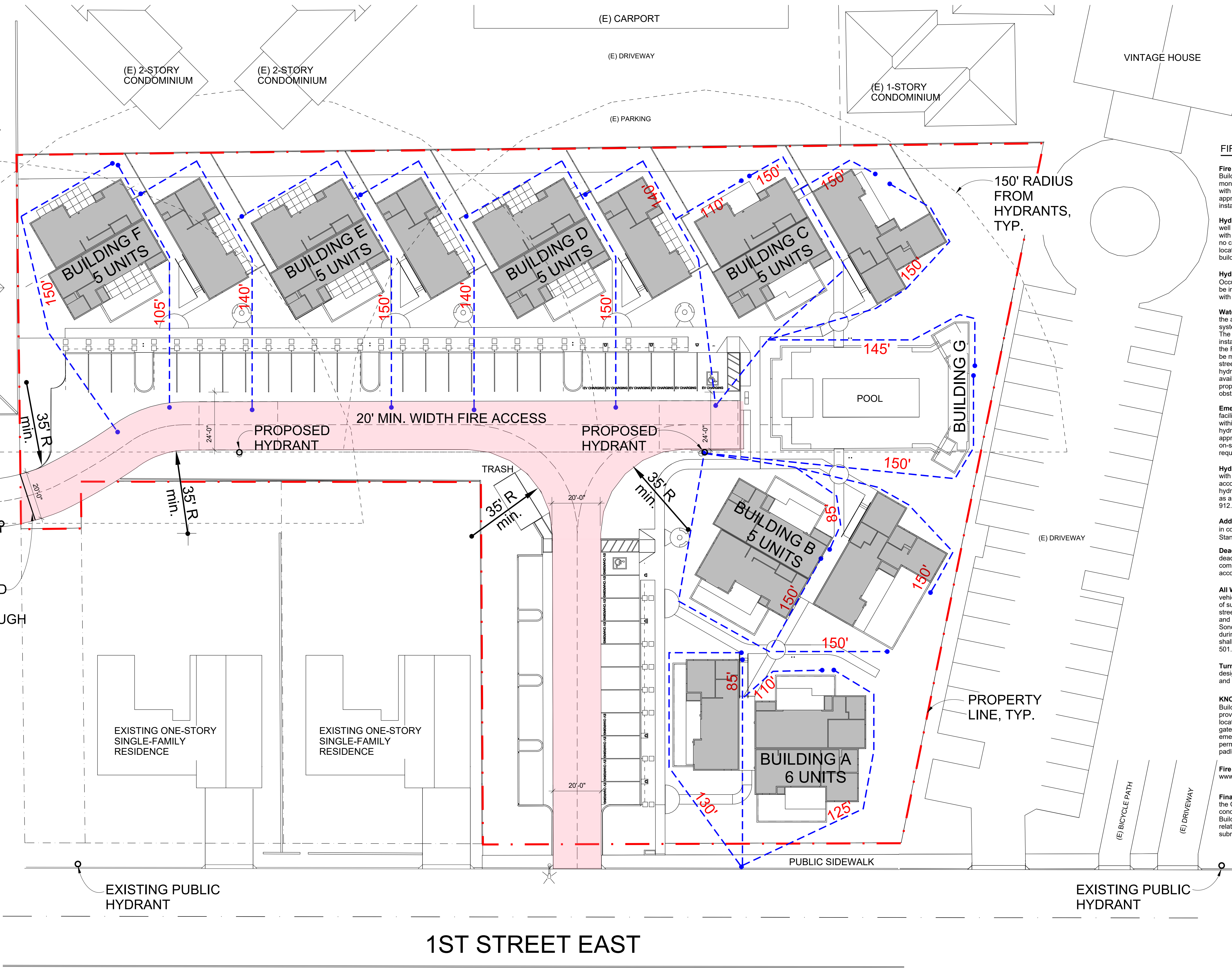
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SCALE 1" = 20'-0"

NOT FOR CONSTRUCTION

SP1.2



1 SITE PLAN - FIRE ACCESS
SP1.3 1" = 20'-0"

135' FIRE HOSE DIAGRAM W/ LENGTH



FIRE COMPLIANCE NOTES:

Fire Alarms: Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a monitored manual/automatic fire alarm system in accordance with CFC Section 907. Plans shall be submitted and approved by the Office of the Fire Marshal prior to installation. CFC Section 907.

Hydrants: The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with the CFC, and NFPA 24. Fire hydrants shall be located no closer than 40 feet to a building. A fire hydrant shall be located within 50 feet of the fire department connection for buildings protected with a fire sprinkler system.

Hydrant Marking: Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations in accordance with City specifications. CFC 507.5.8

Water System Plans: Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Office of the Fire Marshal for review. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Office of the Fire Marshal prior to beginning construction. They shall be maintained accessible. Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. CFC 507.5.3

Emergency Water Supply Hydrants: Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 150 feet (45.179 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. CFC 507.5.1

Hydrant for fire department connections: Buildings equipped with a water-based fire protection system installed in accordance with Section 903 through 905 shall have a fire hydrant within 50 feet of the fire department connections, or as approved by the fire code official. (Also see Section 912.2). CFC 507.5.1.1

Addressing: Multi-family residences shall display the address in compliance with the Sonoma Valley Fire District's Standard and Guideline "Addressing Standard" CFC 505.1

Dead Ends: (construction) Prior to building construction, dead end roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5

All Weather Access: The Fire Department emergency vehicular access road shall be (all weather surface) capable of sustaining an imposed load of 75,000 lbs. GVW, based on street standards approved by the Office of the Fire Marshal and CFC Appendix D as adopted and amended by the City of Sonoma. The approved fire access road shall be in place during the time of construction. Temporary fire access roads shall be approved by the Office of the Fire Marshal. CFC 501.4.

Turning Radius: Fire apparatus access roads shall be designed to accommodate a 35 foot inside turning radius, and a 55 foot minimum outside turning radius. CFC 503.2.4

KNOX: Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. Electric powered gates shall be provided with Knox key switches for access by emergency personnel. Where manual operated gates are permitted, they shall be provided with a Knox box or Knox padlock. CFC 506.1, 503.6

Fire Protection Signage: Requirements available at www.sonomavalleyfire.org

Final fire and life safety conditions: will be addressed when the Office of the Fire Marshal reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.



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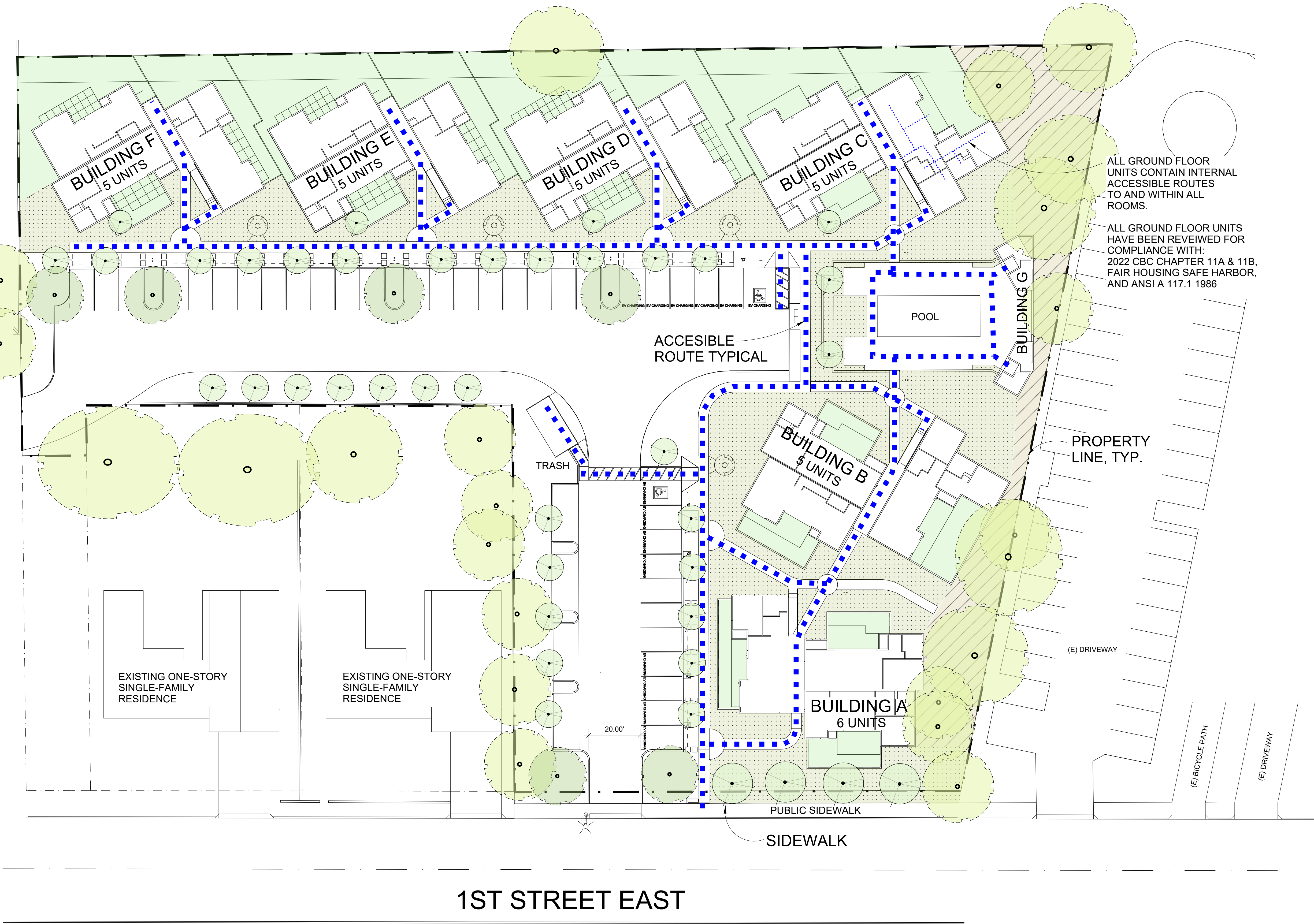
SITE PLAN - FIRE ACCESS

DATE:
FEBRUARY 27, 2024

REVISIONS:
1 // -
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SCALE: 1" = 20'-0"
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SP1.3





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SITE PLAN - ACCESSIBLE ROUTE

DATE:
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REVISIONS:

1	✓	✓	-
2	✓	✓	-
3	✓	✓	-

SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION

SP1.4

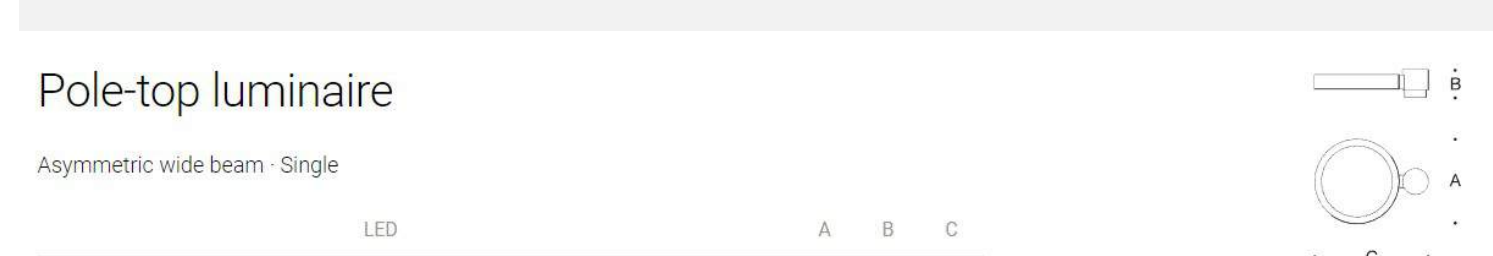
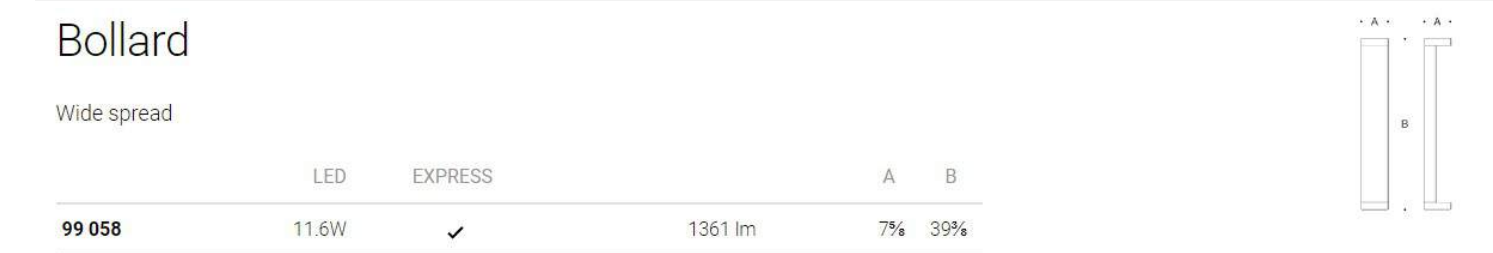
[illegible]

Some differences between measured and calculated results may be due to imbalances in calculation techniques, testing procedures, component and measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflections, furniture and electrical elements significantly affect



AGI(C) 2024 LIGHTING ANALYSTS, INC. From REVALIZE SOFTWARE
3000 BAYMEADOWS WAY WEST SUITE 500 JACKSONVILLE FL 32256
AG32 VERSION 20.0

PROJECT INFORMATION		REPORT FOR	
PROJECT DESCRIPTION	PROJECT LOCATION	PROJECT NAME	PROJECT ADDRESS
254 1st Street East Sonoma xx	254 1st Street East Sonoma xx	BILL WILLERS MARCUS AND WILLERS ARCHITECTS	254 1st Street East Sonoma - HAL - 3
DRAWING NO. 1 / INITIAL FILE	DRAWING NO. 1 / INITIAL FILE	TIM HALEY SALES REPRESENTATIVE	254 1st Street East Sonoma - HAL - 3
REV#	SHEET	DATE	SCALE
0	1 OF 1	3/7/24	AS NOTED
		GREG KESLER ASSOCIATED LIGHTING REPRESENTATIVES, INC.	

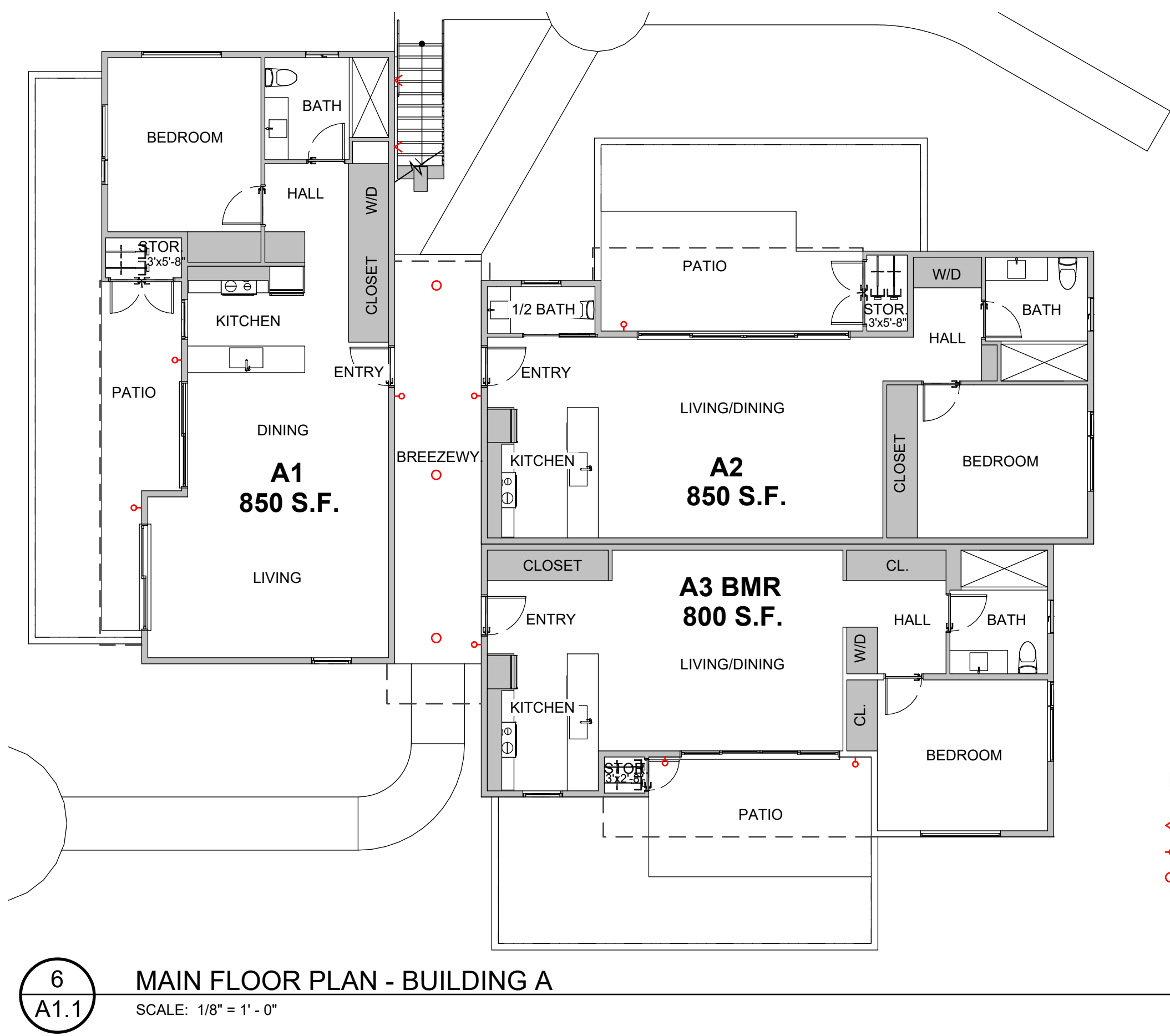
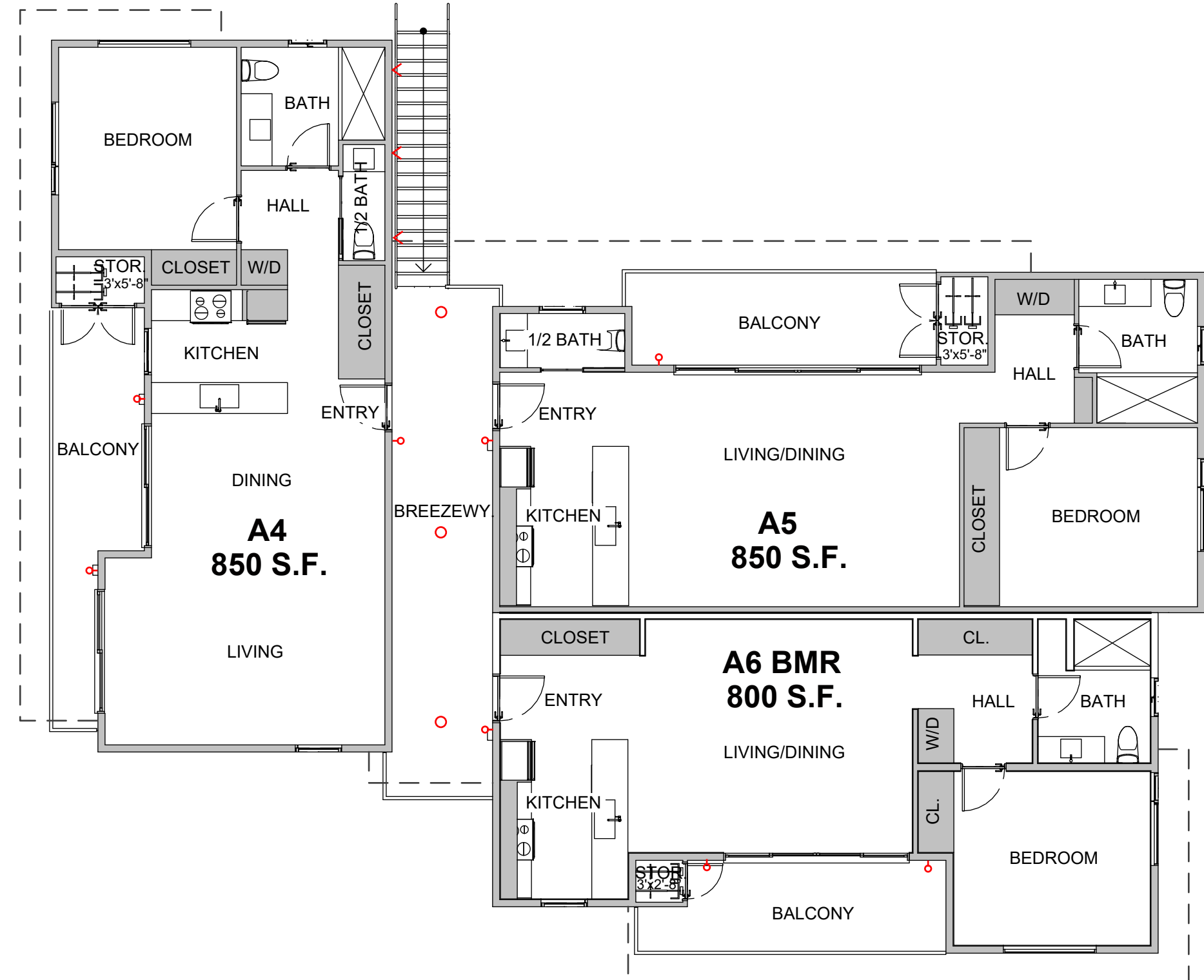
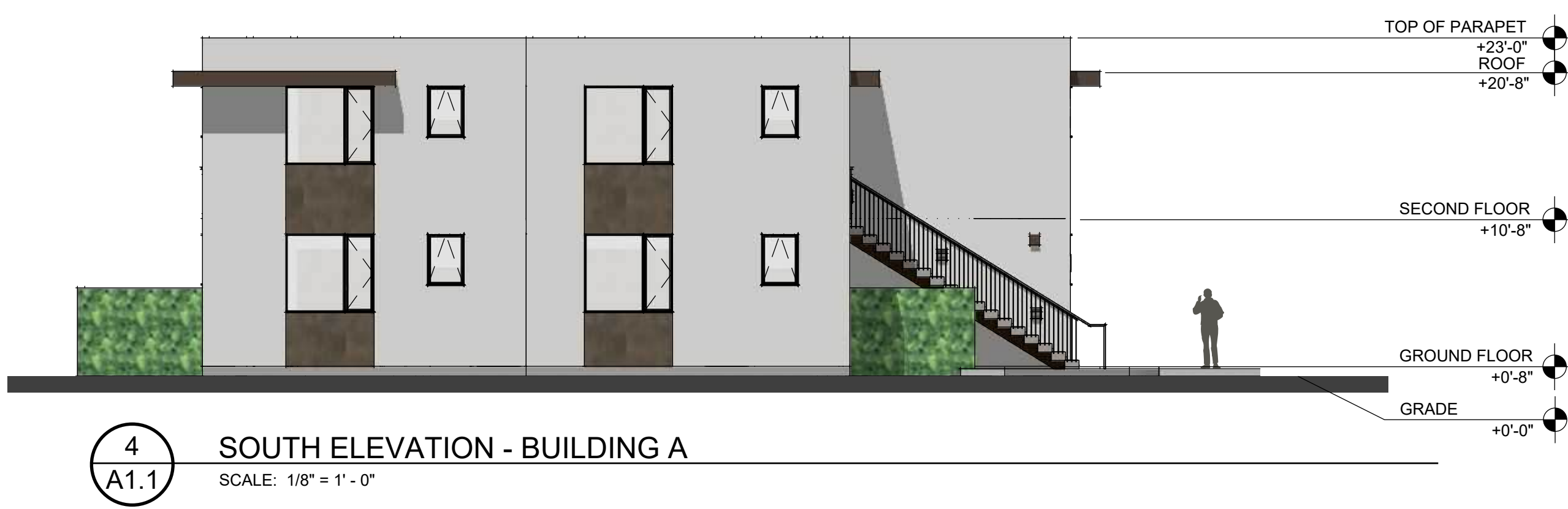
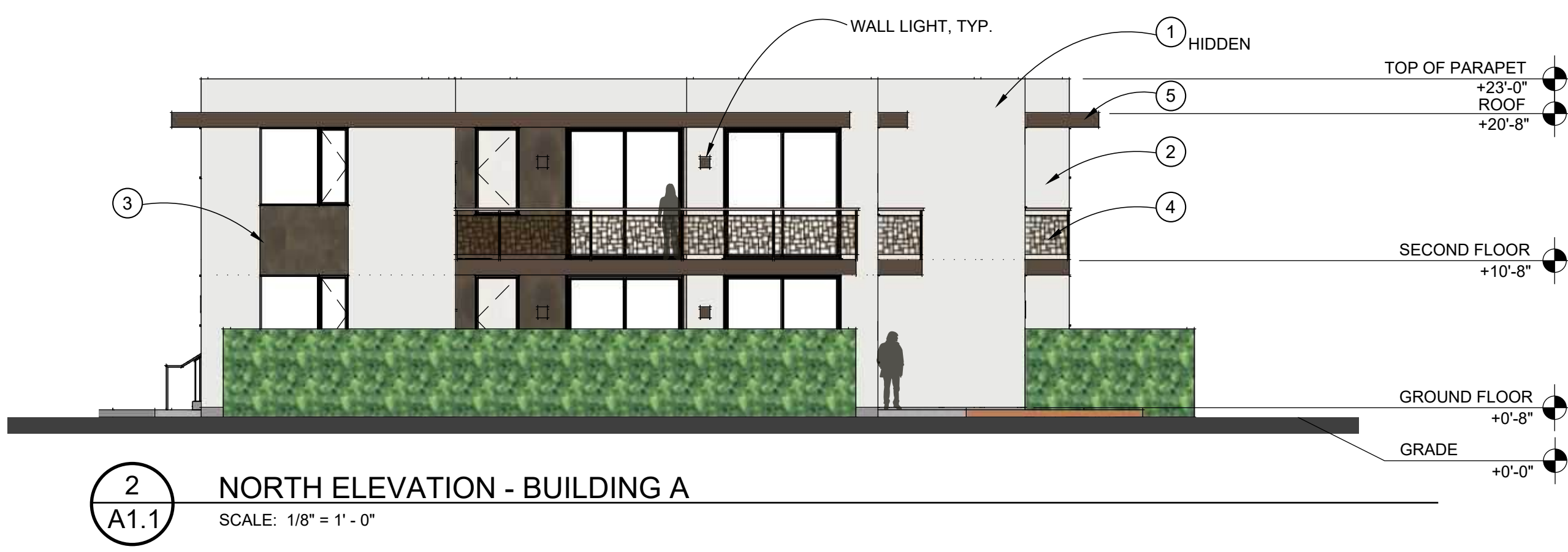


Luminaire Schedule							
Scene: GENERAL							
Symbol	Qty	Label	Arrangement	Description	Lum. Lumens	LLF	Filename
	45	B1	SINGLE	BEGA 99 058	1414	0.900	99058K3_BEGA_IES.ies
	11	S1	SINGLE	BEGA 99 407	3117	0.900	99407_BEGA_IES.ies
	5	W1	SINGLE	BEGA 24 218	989	0.900	24218_BEGA_IES.ies

Calculation Summary							
Scene: GENERAL							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Fc	0.98	4.4	0.0	N.A.	N.A.
POOL AREA	Illuminance	Fc	3.12	45.7	0.0	N.A.	N.A.
WALKWAY	Illuminance	Fc	6.10	45.8	0.1	61.00	458.00

Note: Unless otherwise specified - the lamp lumen depreciation (LLD) for legacy sources used in these calculations is based on published mean lumen ratings by major lamp manufacturers; 0.80 LLD for pulse start metal halide; 0.90 LLD for high pressure sodium; 0.95 LLD for linear T8 and T5 fluorescent; 0.86 LLD for compact fluorescent and induction; 0.88 LLD for Cosmo and Elite lamps. 0.94 LLD for all LED sources. Unless otherwise noted - 0.90 luminaire dirt depreciation (LDD) is commonly applied. In cases where appropriate - ballast factor (BF) is applied. Additional user defined factors (UDF) may be applied if necessary to represent luminaire performance to a higher degree of accuracy. Total light loss factor (LLF) is the product of all multiplied loss factors.

SL1.1



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254 1ST STREET EAST
BUILDING A
254 1ST STREET EAST
SONOMA, CA
A.P.N. : 018-131-018-000

BUILDING A
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

DATE:
FEBRUARY 27, 2024

REVISIONS:

1	✓	-
2	✓	-
3	✓	-

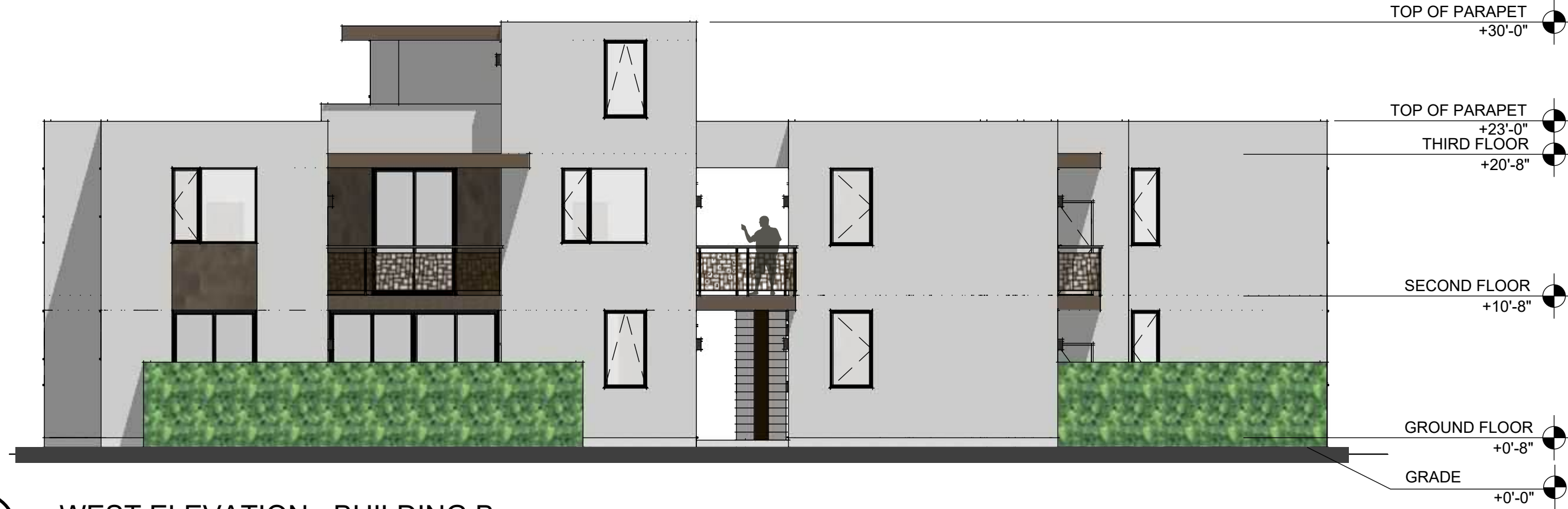
A

A1.1

1
A1.2

WEST ELEVATION - BUILDING B

SCALE: 1/8" = 1' - 0"



2
A1.2

NORTH ELEVATION - BUILDING B

SCALE: 1/8" = 1' - 0"



3
A1.2

EAST ELEVATION - BUILDING B

SCALE: 1/8" = 1' - 0"



4
A1.2

SOUTH ELEVATION - BUILDING B

SCALE: 1/8" = 1' - 0"



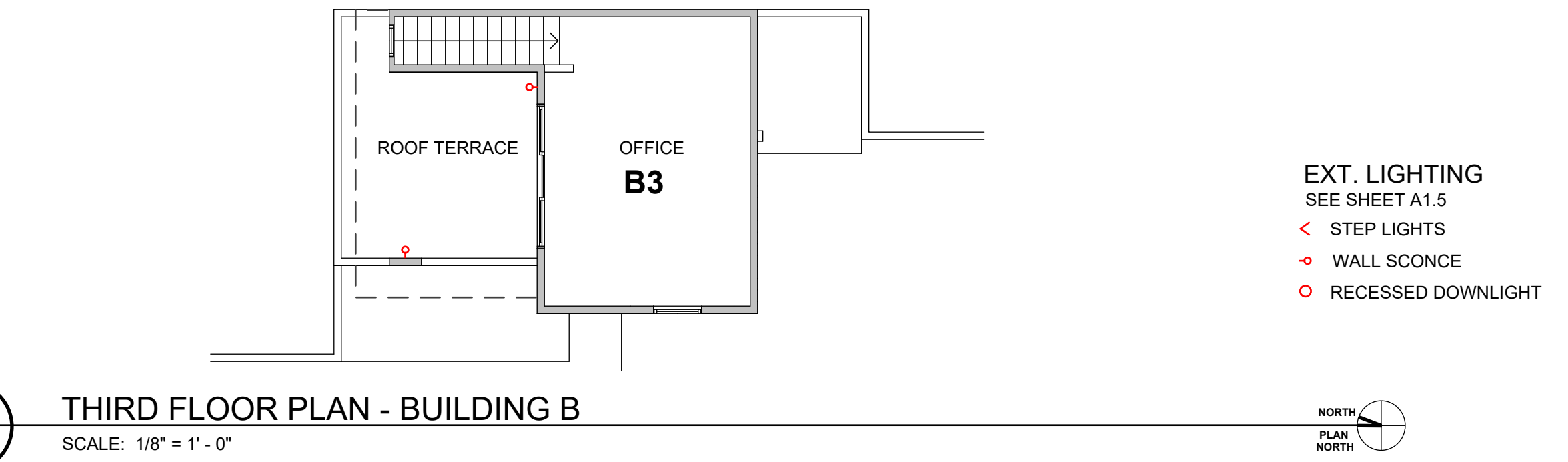
EXTERIOR MATERIALS

- 1 TPO ROOF
- 2 CEMENT PLASTER
- 3 PORCELAIN CLADDING
- 4 METAL RAILING
- 5 PAINTED METAL FASCIA
- 6 GLAZING

5
A1.2

THIRD FLOOR PLAN - BUILDING B

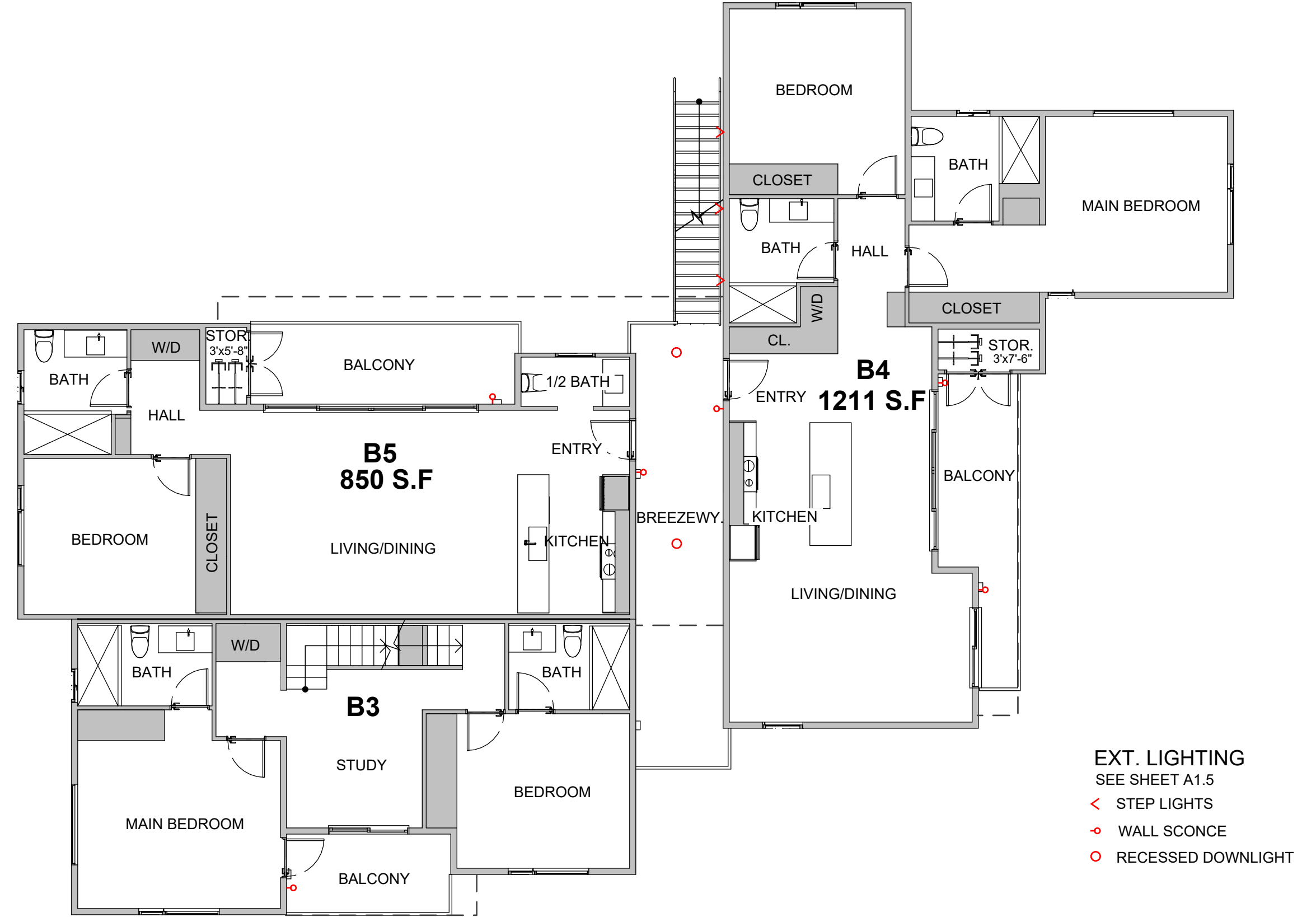
SCALE: 1/8" = 1' - 0"



6
A1.2

SECOND FLOOR PLAN - BUILDING B

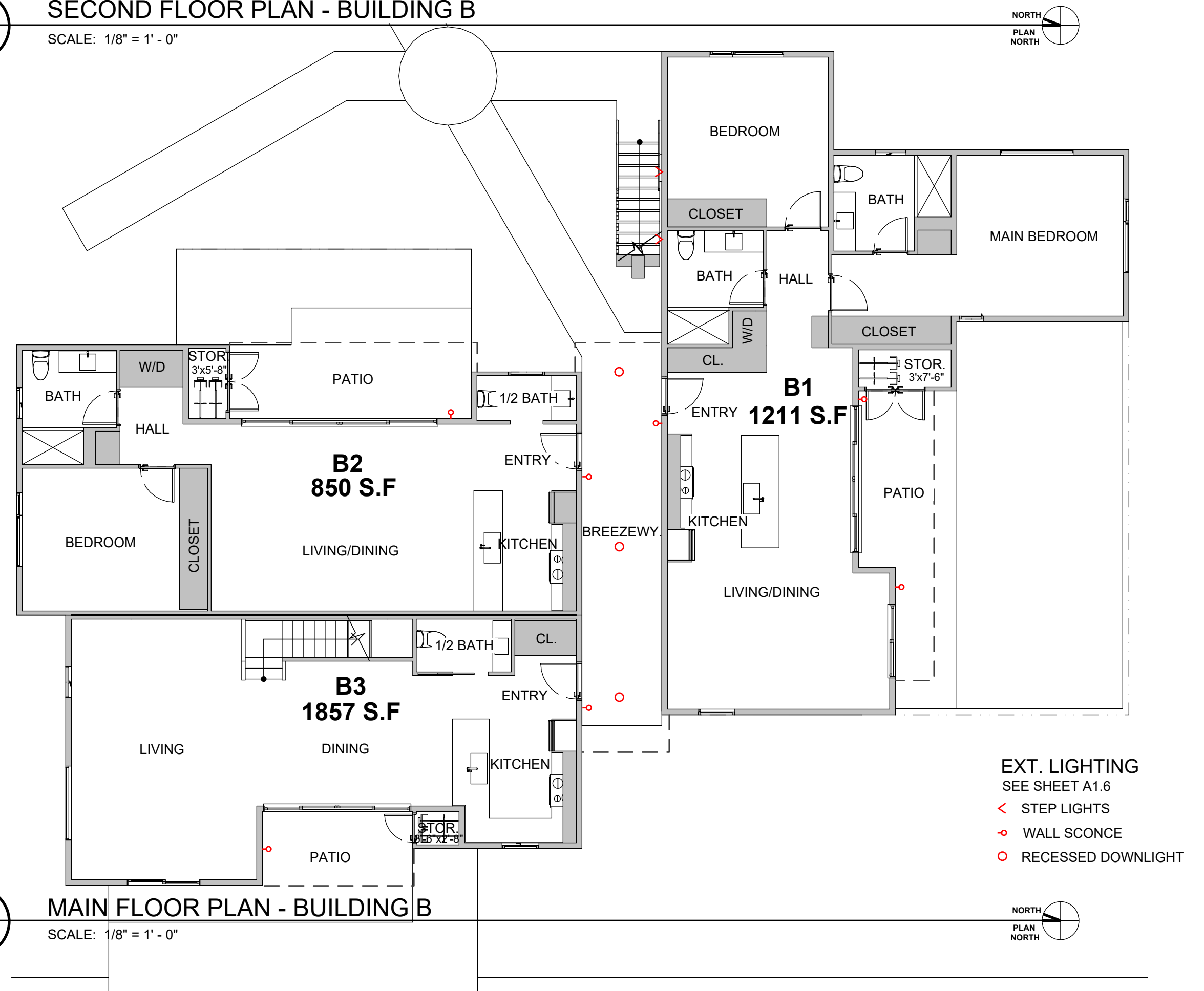
SCALE: 1/8" = 1' - 0"



7
A1.2

MAIN FLOOR PLAN - BUILDING B

SCALE: 1/8" = 1' - 0"



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254 1ST STREET EAST

BUILDING B

254 1ST STREET EAST

SONOMA, CA

A.P.N. : 018-131-018-000

BUILDING B
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

DATE: FEBRUARY 27, 2024

REVISIONS:

B

A1.2



1
A1.3
WEST ELEVATION - BUILDING C
SCALE: 1/8" = 1' - 0"



2
A1.3
NORTH ELEVATION - BUILDING C
SCALE: 1/8" = 1' - 0"



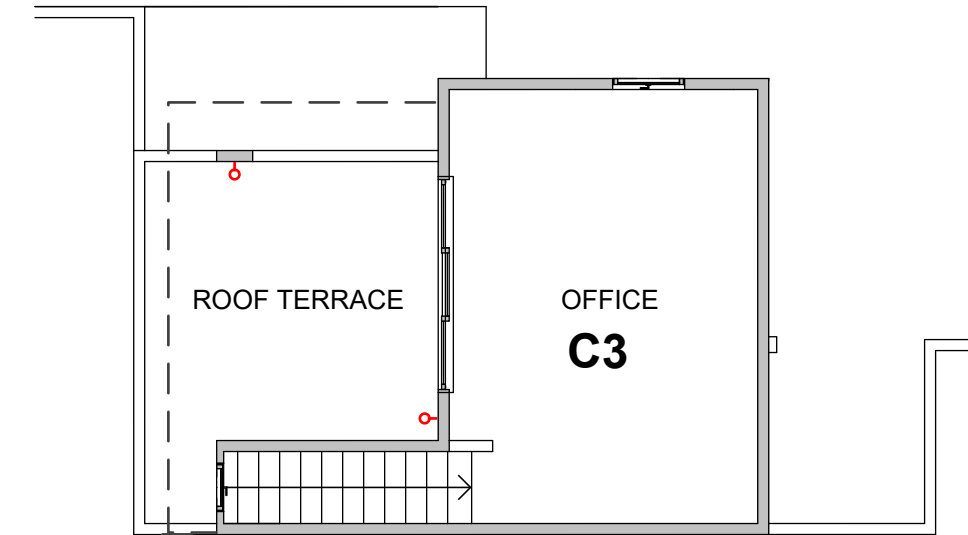
3
A1.3
EAST ELEVATION - BUILDING C
SCALE: 1/8" = 1' - 0"



4
A1.3
SOUTH ELEVATION - BUILDING C
SCALE: 1/8" = 1' - 0"

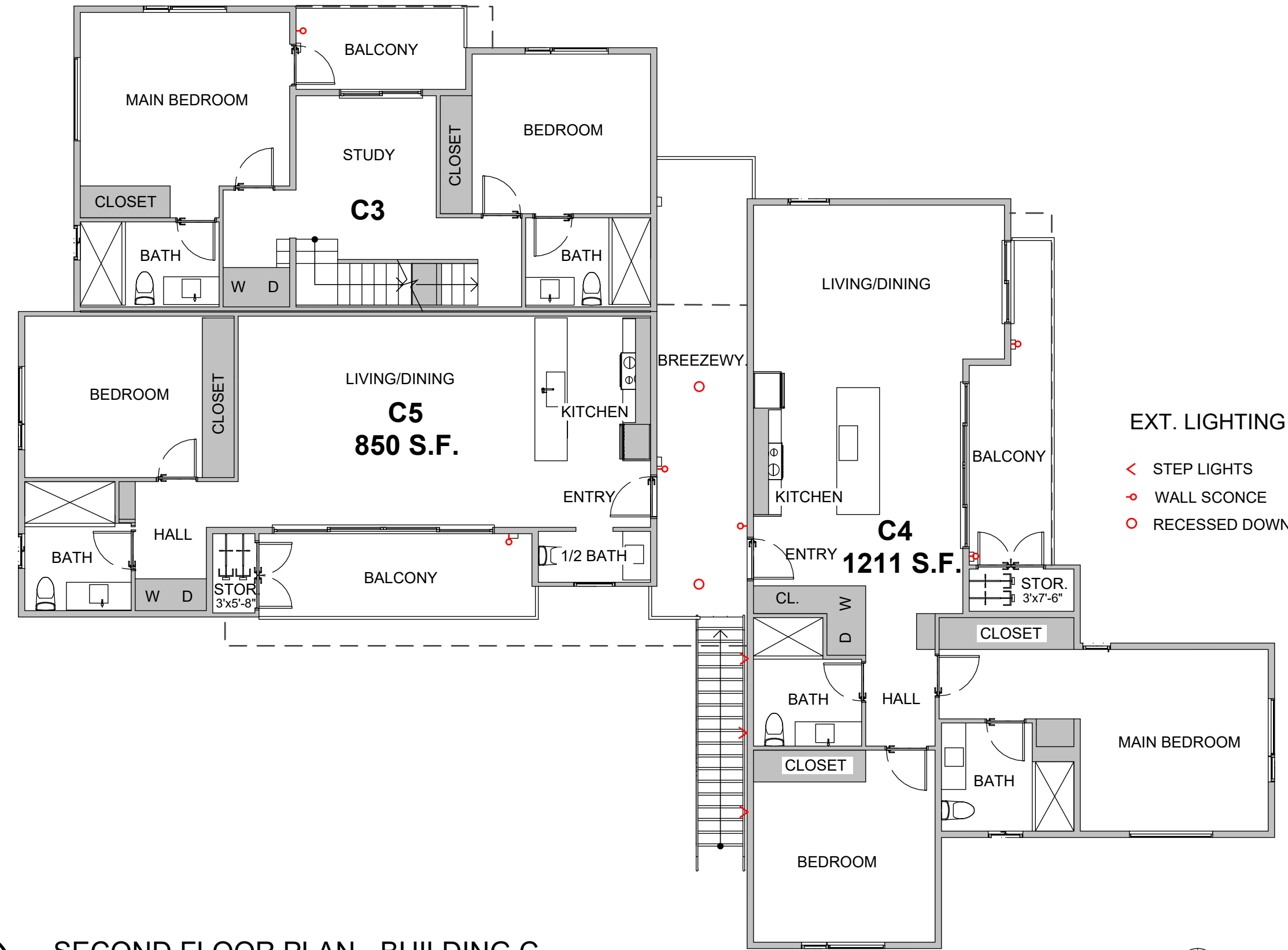
EXTERIOR MATERIALS

- 1 TPO ROOF
- 2 CEMENT PLASTER
- 3 PORCELAIN CLADDING
- 4 METAL RAILING
- 5 PAINTED METAL FASCIA
- 6 GLAZING



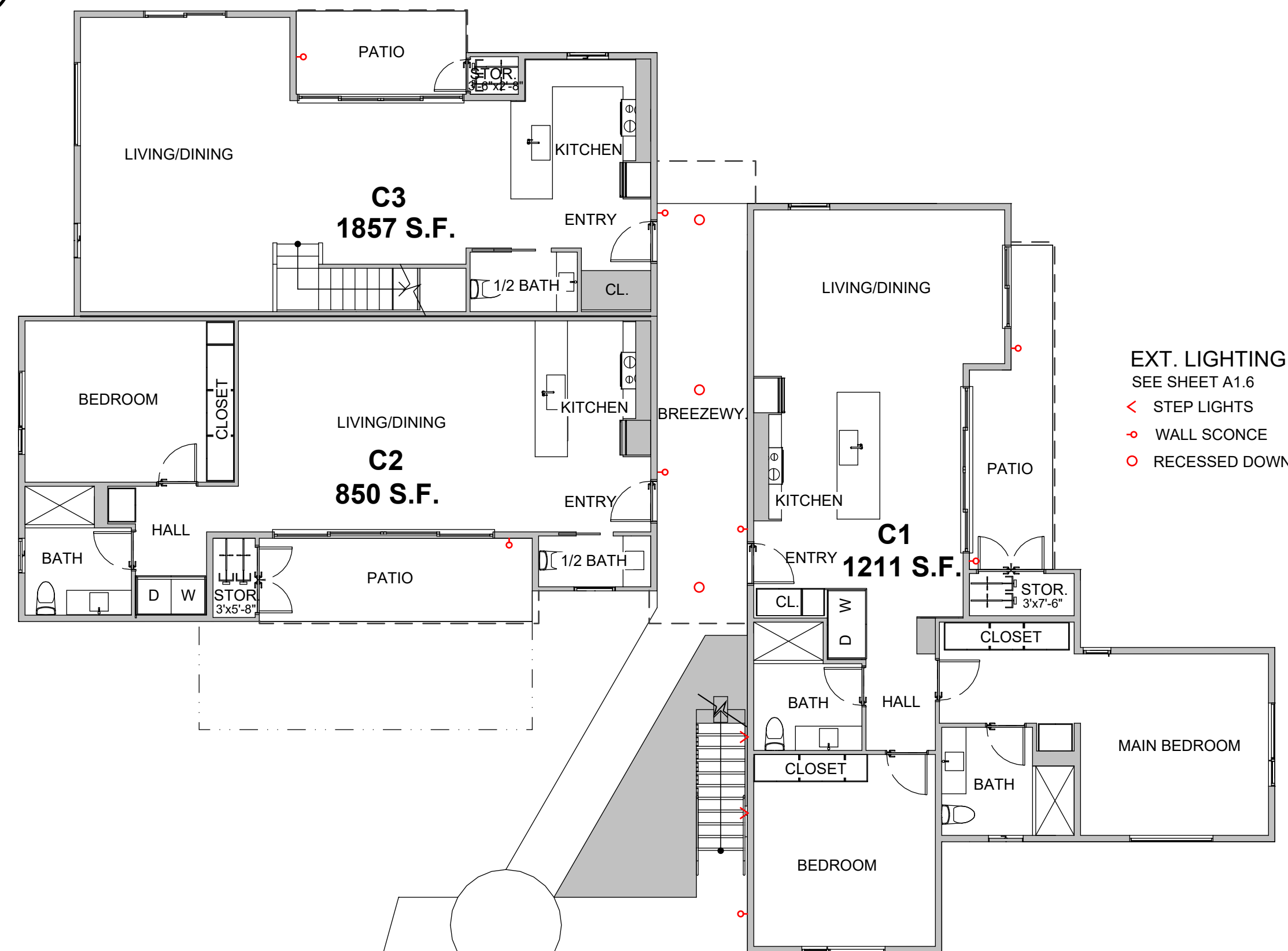
5
A1.3
THIRD FLOOR PLAN - BUILDING C
SCALE: 1/8" = 1' - 0"

- EXT. LIGHTING
- < STEP LIGHTS
 - o WALL SCONCE
 - o RECESSED DOWNLIGHT



6
A1.3
SECOND FLOOR PLAN - BUILDING C
SCALE: 1/8" = 1' - 0"

- EXT. LIGHTING
- < STEP LIGHTS
 - o WALL SCONCE
 - o RECESSED DOWNLIGHT



7
A1.3
MAIN FLOOR PLAN - BUILDING C
SCALE: 1/8" = 1' - 0"

- EXT. LIGHTING
- SEE SHEET A1.6
- < STEP LIGHTS
 - o WALL SCONCE
 - o RECESSED DOWNLIGHT



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BUILDING C
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BUILDING C
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"
NOT FOR CONSTRUCTION

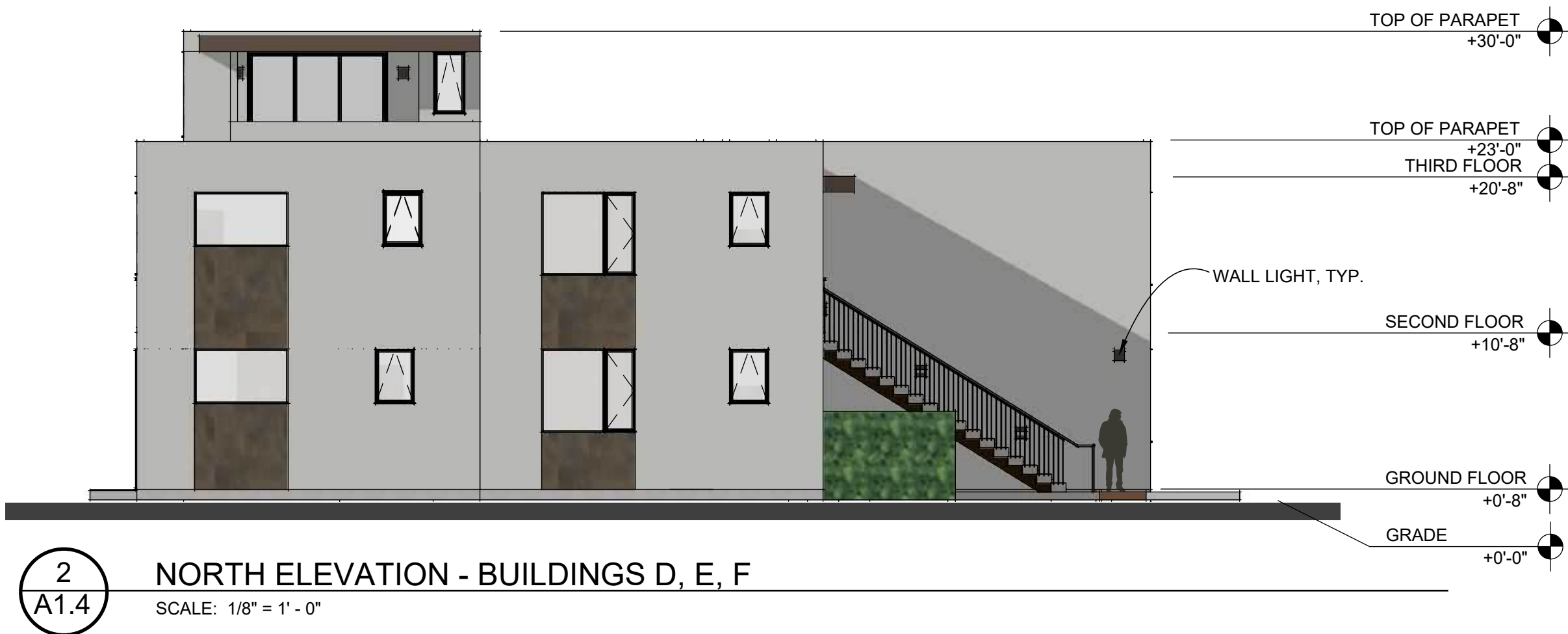
DATE:
FEBRUARY 27, 2024
REVISIONS:

C

A1.3



1
A1.4 WEST ELEVATION - BUILDINGS D, E, F
SCALE: 1/8" = 1' - 0"



2
A1.4 NORTH ELEVATION - BUILDINGS D, E, F
SCALE: 1/8" = 1' - 0"



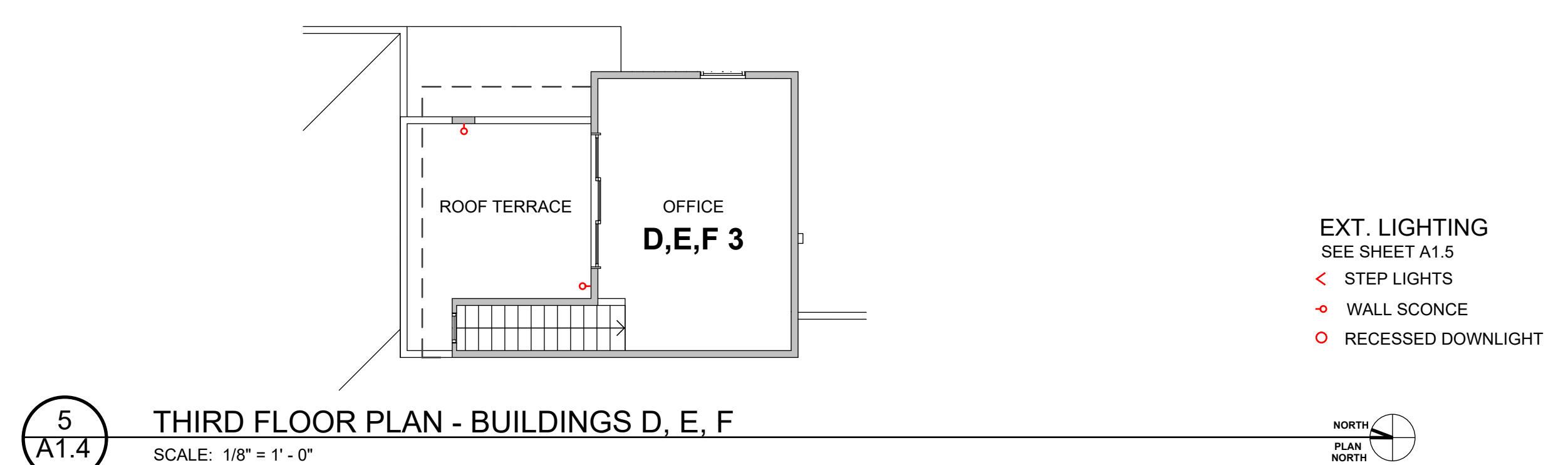
3
A1.4 EAST ELEVATION - BUILDINGS D, E, F
SCALE: 1/8" = 1' - 0"



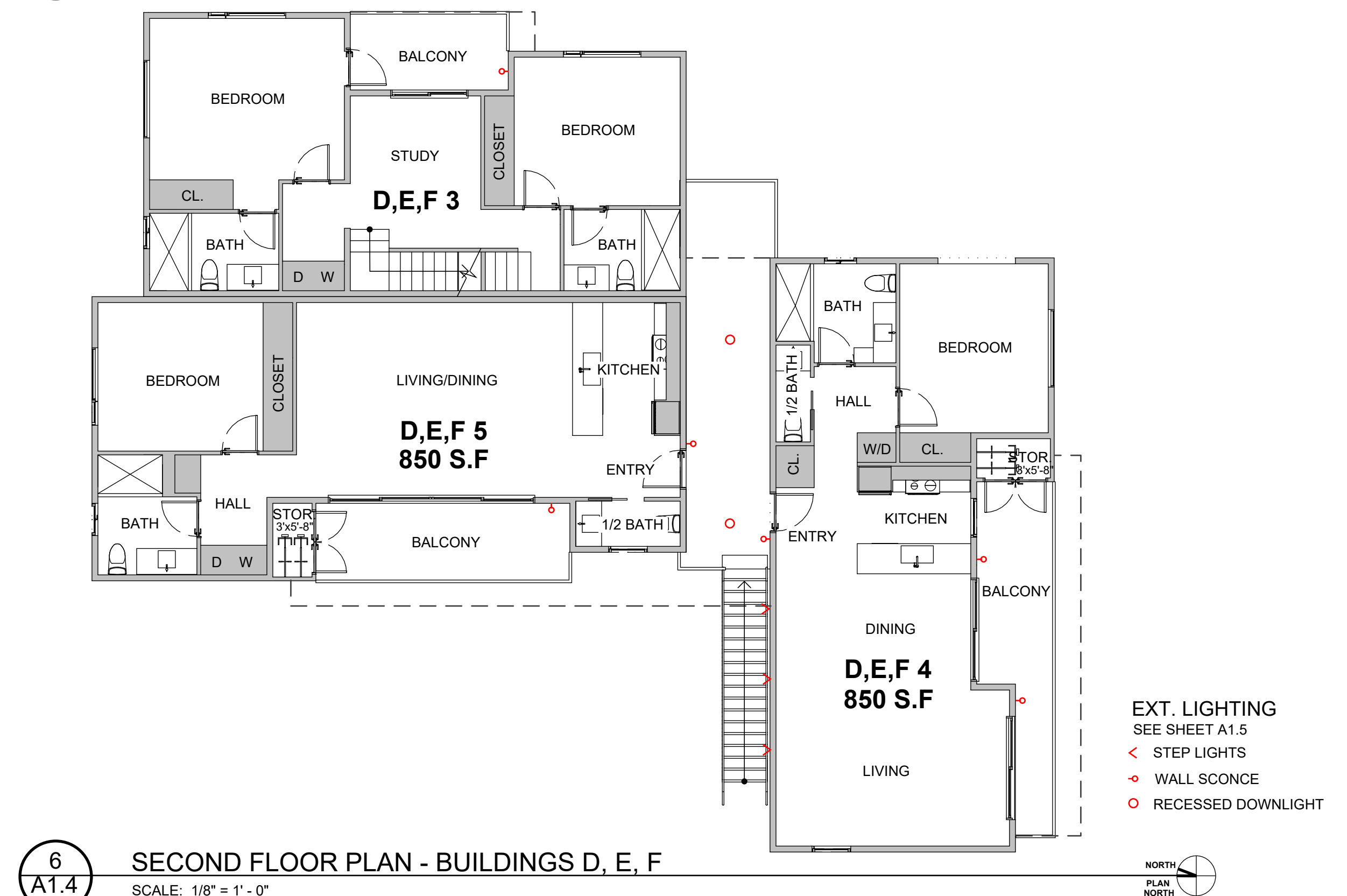
4
A1.4 SOUTH ELEVATION - BUILDINGS D, E, F
SCALE: 1/8" = 1' - 0"

EXTERIOR MATERIALS

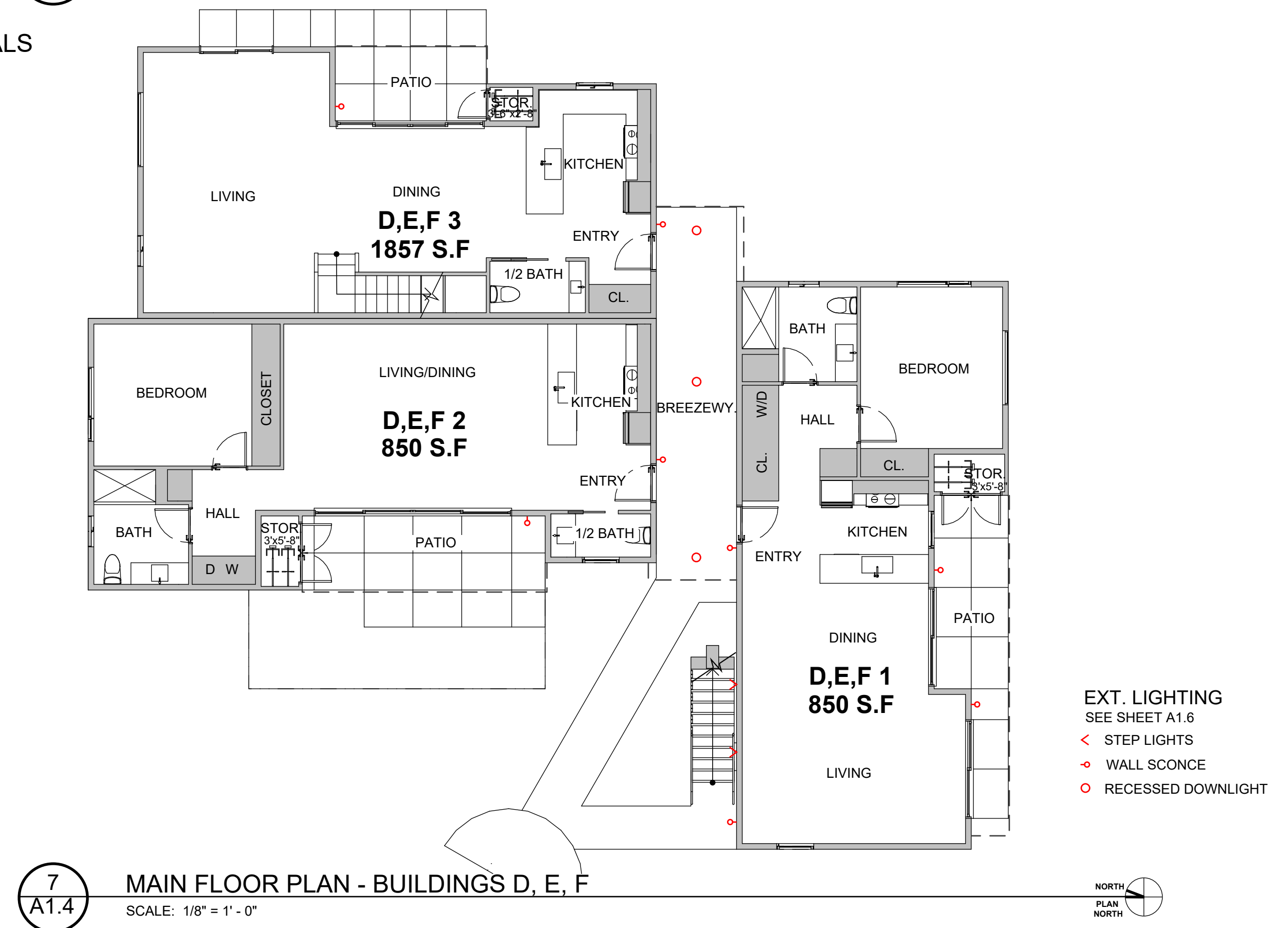
- 1 TPO ROOF
- 2 CEMENT PLASTER
- 3 PORCELAIN CLADDING
- 4 METAL RAILING
- 5 PAINTED METAL FASCIA
- 6 GLAZING



5
A1.4 THIRD FLOOR PLAN - BUILDINGS D, E, F
SCALE: 1/8" = 1' - 0"



6
A1.4 SECOND FLOOR PLAN - BUILDINGS D, E, F
SCALE: 1/8" = 1' - 0"



7
A1.4 MAIN FLOOR PLAN - BUILDINGS D, E, F
SCALE: 1/8" = 1' - 0"



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BUILDINGS D,E,F

254 1ST STREET EAST
SONOMA, CA
A.P.N. : 018-131-018-000

BUILDINGS D,E,F
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

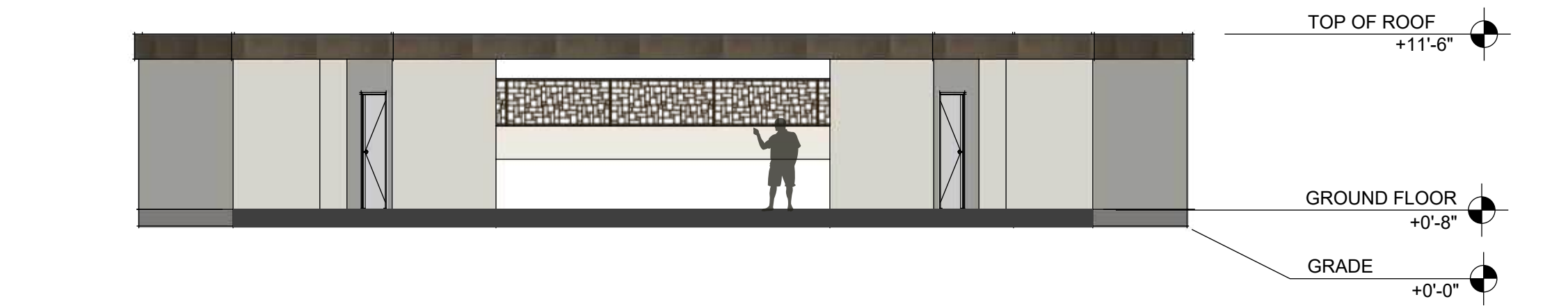
DATE:
FEBRUARY 27, 2024

REVISIONS:

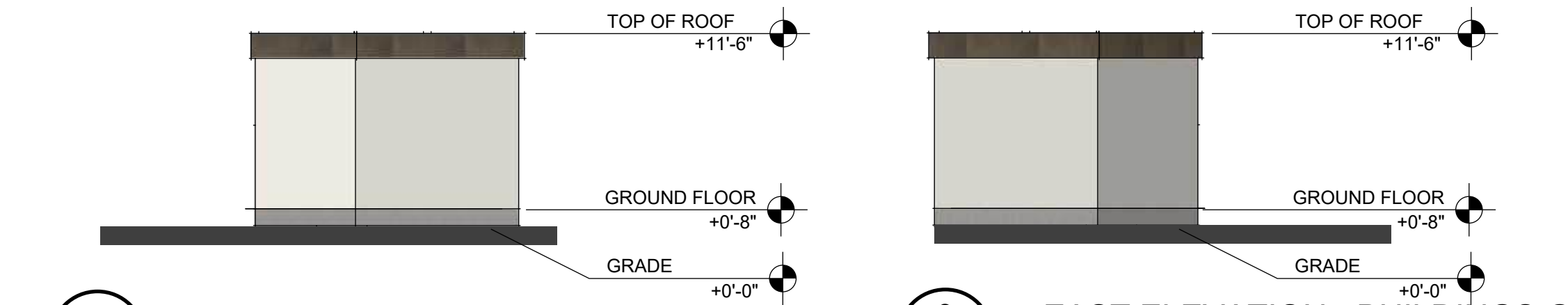
1	✓	-
2	✓	-
3	✓	-

D,E,F

A1.4

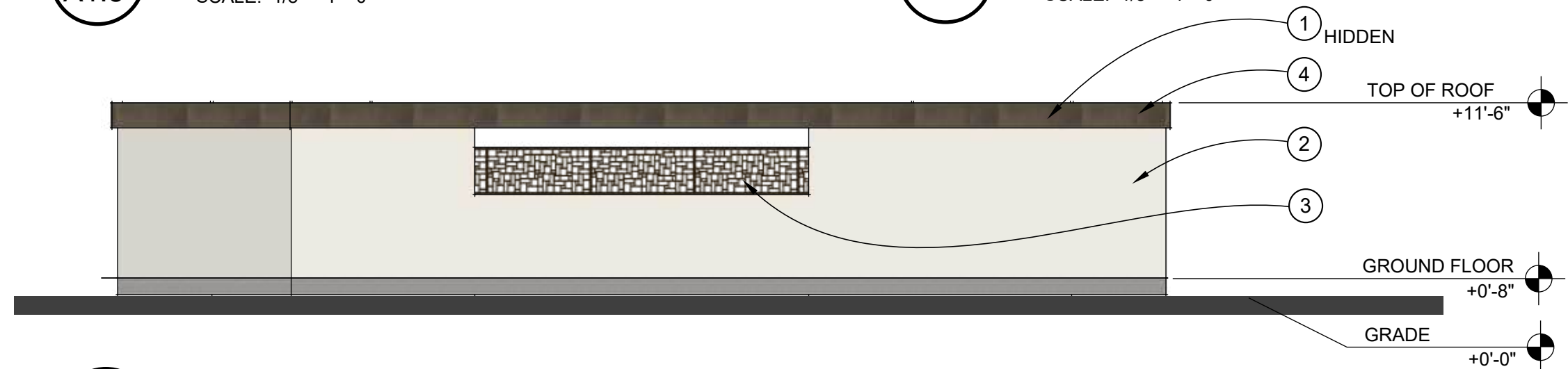


1 NORTH ELEVATION - BUILDINGS G
A1.5 SCALE: 1/8" = 1' - 0"

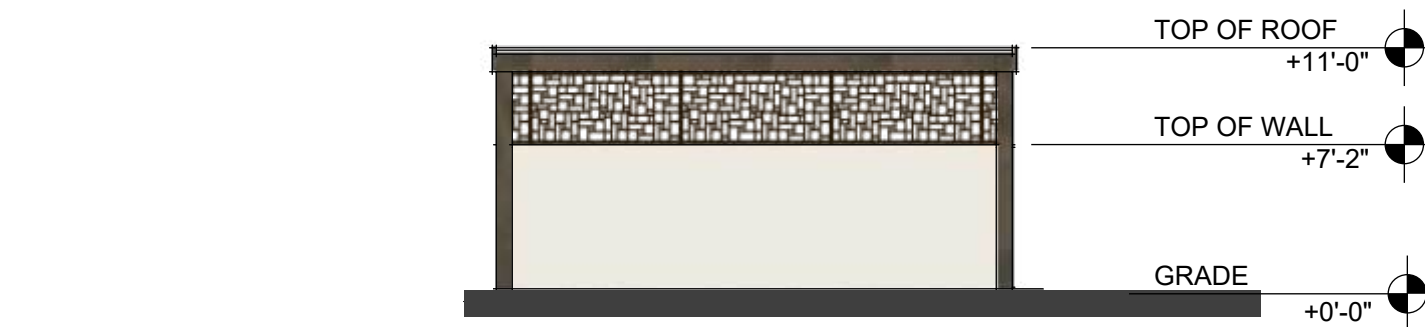


2 WEST ELEVATION - BUILDINGS G
A1.5 SCALE: 1/8" = 1' - 0"

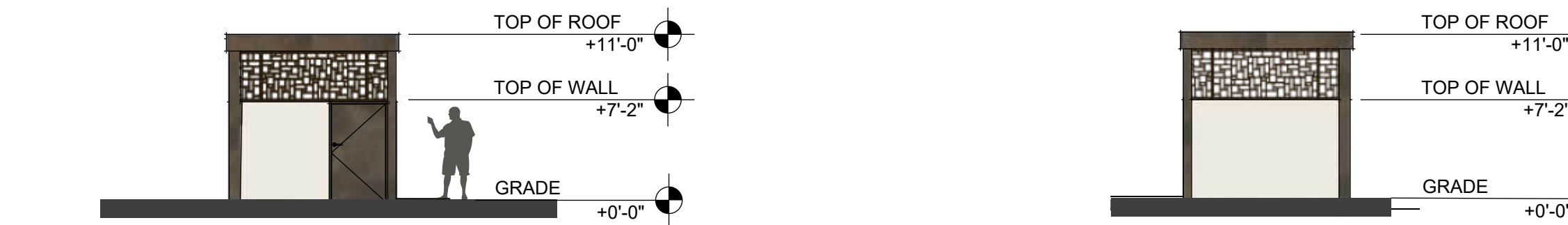
3 EAST ELEVATION - BUILDINGS G
A1.5 SCALE: 1/8" = 1' - 0"



4 SOUTH ELEVATION - BUILDINGS G
A1.5 SCALE: 1/8" = 1' - 0"

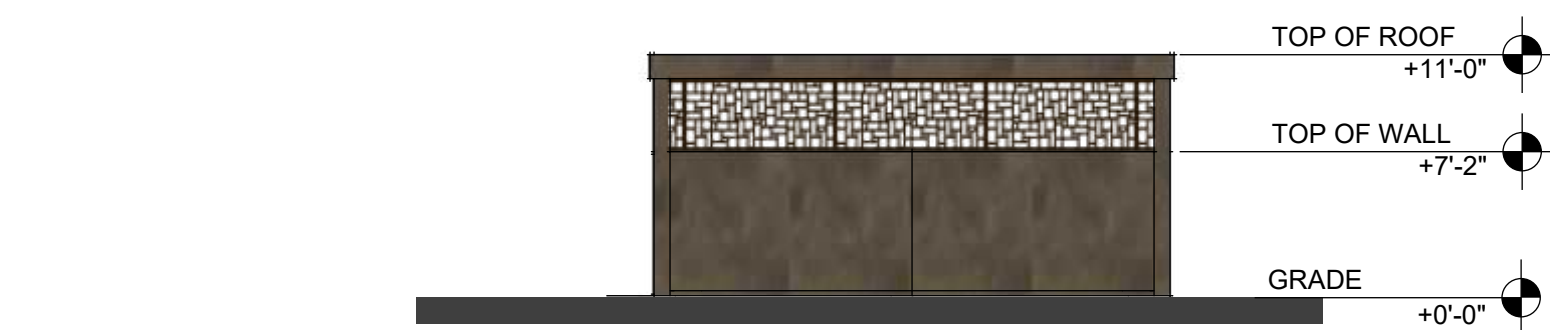


5 NORTH ELEVATION - BUILDING H
A1.5 SCALE: 1/8" = 1' - 0"



6 WEST ELEVATION - BUILDING H
A1.5 SCALE: 1/8" = 1' - 0"

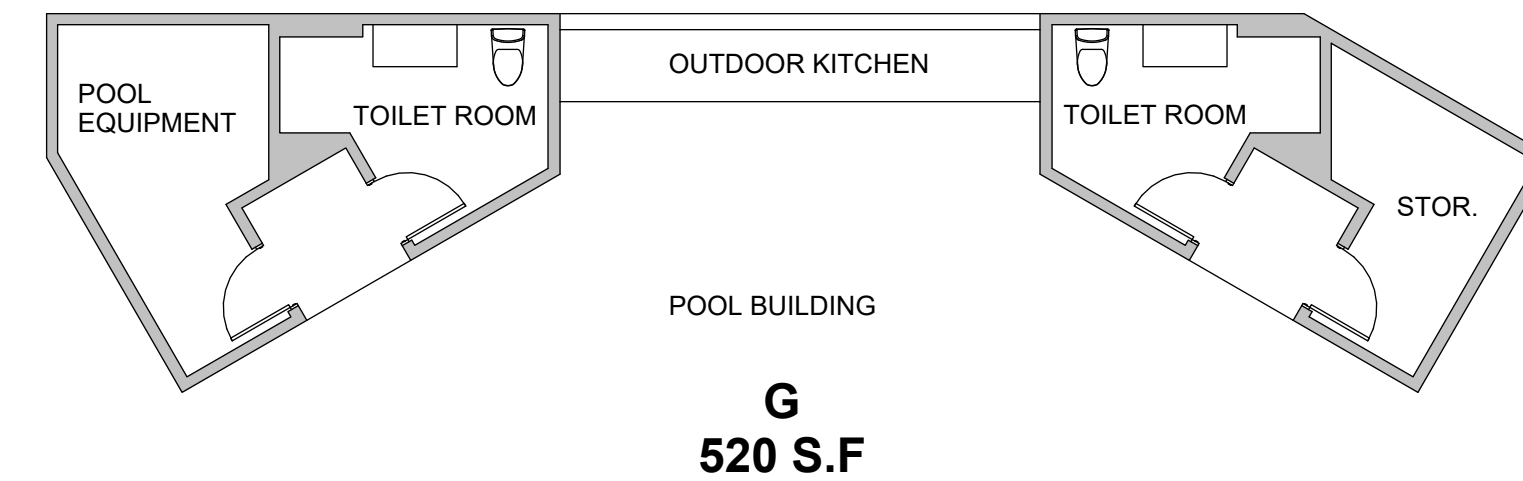
7 EAST ELEVATION - BUILDING H
A1.5 SCALE: 1/8" = 1' - 0"



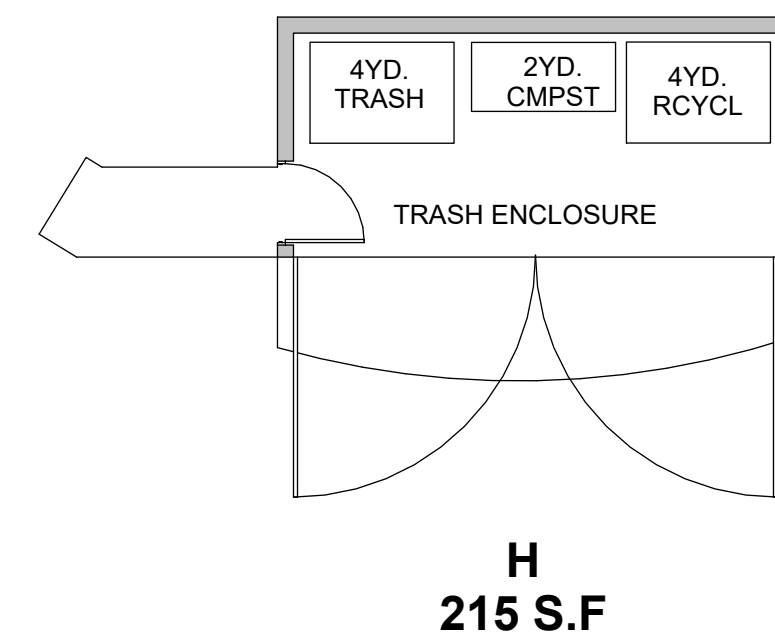
8 SOUTH ELEVATION - BUILDING H
A1.5 SCALE: 1/8" = 1' - 0"

EXTERIOR MATERIALS

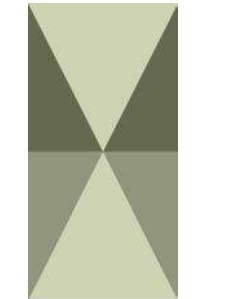
- 1 TPO ROOF
- 2 CEMENT PLASTER
- 3 METAL PANELS
- 4 PAINTED METAL FASCIA



9 MAIN FLOOR PLAN - BUILDING G - POOL BUILDING
A1.5 SCALE: 1/8" = 1' - 0"



10 SECOND FLOOR PLAN - BUILDING H - TRASH ENCLOSURE
A1.5 SCALE: 1/8" = 1' - 0"



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254 1ST STREET EAST
BUILDINGS D,E,F

254 1ST STREET EAST
SONOMA, CA
A.P.N. : 018-131-018-000

BUILDINGS G & H
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"
NOT FOR CONSTRUCTION

DATE:
FEBRUARY 27, 2024

REVISIONS:
1 // -
2 // -
3 // -

G & H

A1.5



WALL SCNCE
CUBED OUTDOOR WALL SCNCE
BY ET2



STEP LIGHTS
CASA SQUARE OUTDOOR WALL LIGHT
BY KURZCO

Cubed | E23224-BK

PRODUCT DESCRIPTION

A simple in modern design, the square block form is the perfect minimalist accent to your home's interior or exterior elevations. The fixed position in this concept, the cubes are installed with optional features that include range voltage input for both residential and commercial applications, an adjustable beam angle structure within the die cast housing allows the end user to set the light spread from either the top or bottom indefinitely, since the sconces meet the dimensional extension compliant for ADA applications. Available in Black or Silver Aluminum finishes (noted for outdoor, the modern design just got better.

MEASUREMENTS

DIMENSION : 5.5" W x 5.5" H x 2.5" D
BACK PLATE : 5.5" W x 4.5" H
HANGING WEIGHT : 1.75 lb
LAMPING : 120-277V
INPUT VOLTAGE : 900 Watts (650 Watts)
LUMENS : 2 x (10W LED PCB Integrated, 20W Total)
BULB : (Integrated)
BULB INCLUDED : (Integrated)
DIMMABLE : (Integrated)
CRI : 90 CRI
COLOR TEMP : 3000K
LIGHTING DIRECTION : Adjustable

FINISHES OPTION

Black (BK)

Silver Aluminum (SA)

ALUMINUM

CEILING

WET LOCATION

ADA

ADDITIONAL

INSTALL (UP/CROWN HANGING) NOT RATED LIFE 50000 Hours
OPERATING TEMPERATURE: -20°C (-4°F) - 40°C (104°F)

Always consult a qualified electrician before installing any lighting product.

E2 Contemporary Lighting™

WESTERN DISTRIBUTION CENTER (HEADQUARTERS)
253 NORTH WINDLAND AVE (CITY OF INDUSTRY), CA 91746
EASTERN DISTRIBUTION CENTER
101 GARDNER PARK | PEACHTREE CITY, GA 30349
P: 424.956.4200 | F: 424.956.4225 | modernlighting.com

WINDOWS AND DOORS
KOLBE VISTA LUXE AL LINE
THERMALLY BROKEN ALL ALUMINUM
WINDOWS AND DOORS
COLOR: SIGNAL BLACK

METAL RAILINGS
DECORATIVE METAL PANELS
AND RAILINGS, PAINTED FINISH
COLOR: SEE PALETTE

CASA EW71305

WALL

PROJECT

DESCRIPTION

This family of exterior wall-mounted fixtures is available in a variety of geometric forms, circle, square, and two different recessed configurations. Light is directed downward from a recess, and the reflector allows the glow to radiate gradually, lending this and other for organic, courtyard, and grace lighting. Optional stone inlay offer additional opportunities for customizing to complement different wall surfaces.

EW71305-BK

EW71305-GY

Black

Gray

SPECIFICATION DETAILS

*For custom options, consult factory for details.

Fixture Dimensions

6W 12" x 4W 12" x 12"

Light Source

40 LED Bulbs

Weight

11 lb

Total Lumens

8000

Delivered Lumens

8000 (10000-12000)

Voltage

120V

Color Temperature

3000K

CRI (Ra)

90 CRI

Optional Color Temp

2700K - 5000K Available, Minimum Order Quantities Apply

LED Rated Life

50,000 Hours

Bulbless

100% - 100% LED (Driver Not Included)

Glass Details

Tempered Glass

ADA Compliant

Yes

Location

Indoor

Compliance

ADA

Warranty

5 Years

COMMENT

KURZCO

18054 26TH AVENUE
SUITE 207 - BC V2C 6W3
CANADA
WWW.KURZCO.COM

EXTERIOR COLOR PALETTE

Metal Fascia and Railings

BENJAMIN MOORE

Willow
CC-542

Soffits and Exterior Ceilings
(Hidden)

BENJAMIN MOORE

Simply White
OC-117

Cement Plaster Color

BENJAMIN MOORE

Silver Fox
2108-50

Infill Panels

Neolith Porcelain Cladding
Sofia Cuprum

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254 1ST STREET EAST
COLOR PALETTE
254 1ST STREET EAST
SONOMA, CA
A.P.N. : 018-131-018-000

TYPICAL
EXTERIOR MATERIALS, COLORS &
LIGHTING
NOT FOR CONSTRUCTION

DATE:
FEBRUARY 27, 2024
REVISIONS:

TYP.

A1.6

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www.marcuswillers.com

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**254 1ST STREET EAST
RENDERINGS**

254 1ST STREET EAST
SONOMA, CA
A.P.N. : 018-131-018-000

TYPICAL
EXTERIOR RENDERINGS

NOT FOR CONSTRUCTION

DATE:
FEBRUARY 27, 2024

REVISIONS:

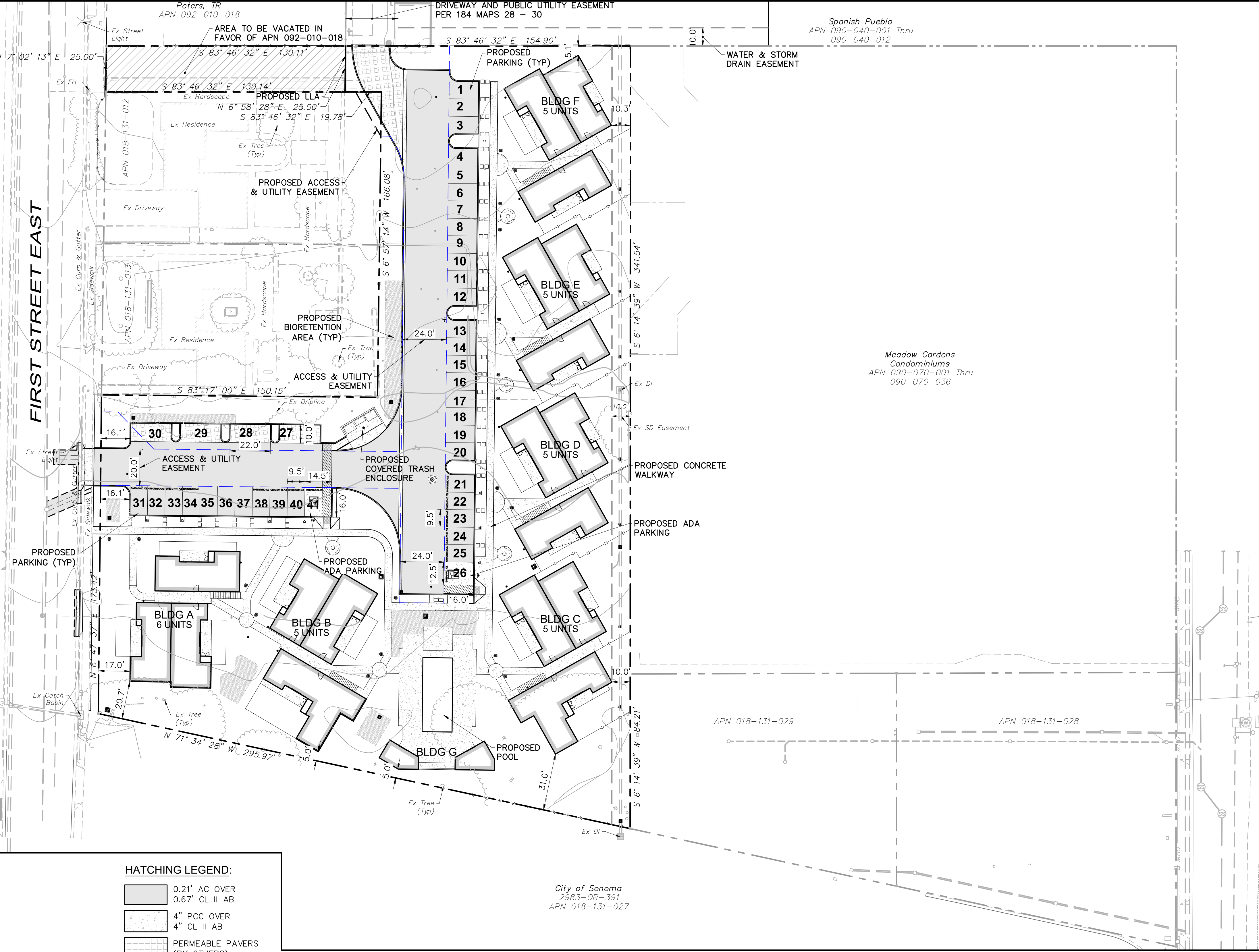
TYP.

A1.7

TENTATIVE MAP
FSE PROJECT
254 1ST STREET EAST
Sonoma, California
APN: 018-131-018

SHEET INDEX

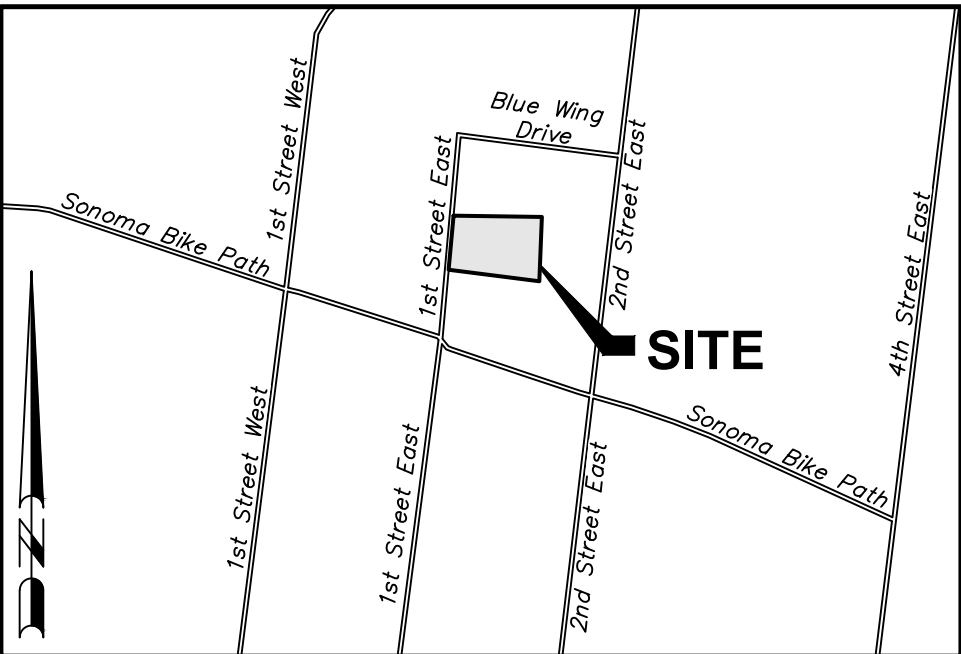
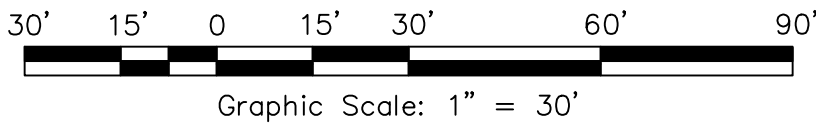
C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS MAP
C3.0-C3.2	GRADING & DRAINAGE PLAN
C4.0-C4.2	UTILITY PLAN
C5.0-C5.1	CONDOMINIUM PLAN
C6.0	SITE COVERAGE MAP
C7.0	STORMWATER CONTROL PLAN
C8.0	SITE SECTION



HATCHING LEGEND:

[Hatch Pattern]	0.21' AC OVER
[Hatch Pattern]	0.67' CL II AB
[Hatch Pattern]	4" PCC OVER
[Hatch Pattern]	4" CL II AB
[Hatch Pattern]	PERMEABLE PAVERS (BY OTHERS)
[Hatch Pattern]	BIO-RETENTION AREA

OVERALL SITE PLAN



LOCATION MAP

NOT TO SCALE

OWNER/SUBDIVIDER

KELSO BARNETT
NORTH OF THE MISSION LLC
P.O. BOX 1452
SONOMA, CA 95476
PHONE: (707) 758-3805
EMAIL: KELSOGBARNETT@GMAIL.COM

ENGINEER

TIM SCHRAM, RCE 67890
ADOBE ASSOCIATES, INC.
1220 N DUTTON AVENUE
SANTA ROSA, CALIFORNIA 95401
PHONE: (707) 541-2300
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ARCHITECT

MARCUS & WILLERS ARCHITECTS
873 FIRST STREET WEST
SONOMA, CA 95476
PHONE: (707) 996-2396

SURVEYOR

AARON SMITH, PLS 7901
ADOBE ASSOCIATES, INC.
1220 N DUTTON AVENUE
SANTA ROSA, CALIFORNIA 95401
PHONE: (707) 541-2300
FAX: (707) 541-2301

TOPOGRAPHIC
REFERENCE

PHILLIP A DANSKIN & ASSOCIATES
265 E AGUA CALIENTE RD
SONOMA, CA 95476
PHONE: (707) 938-2520

REFERENCE DATA:
"TOPOGRAPHIC MAP" OF THE LANDS OF
THE LKN TRUST AS DESCRIBED IN
OFFICIAL RECORDS INSTRUMENT NO
2003-202544 BEING A PORTION OF
THE LANDS CONVEYED IN BOOK 876 OF
OFFICIAL RECORDS, AT PAGE 519
SONOMA COUNTY RECORDS CITY OF
SONOMA, DATE OF SURVEY: AUGUST
2006, SURVEY NO: 872; DATUM =
NGVD 1929

ADDITIONAL TOPO PROVIDED BY BKF

ABBREVIATIONS

AAI	ADOBE ASSOCIATES, INC.	IG	INVERT GRATE
AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
AD	AREA DRAIN	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCHMARK	NTS	NOT TO SCALE
C	COMPACT PARKING	NO	NUMBER
CB	CATCH BASIN	PIV	POST INDICATOR VALVE
CL	CLASS	PL	PROPERTY LINE
CO	CENTERLINE	PP	POWER POLE
CONC	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
DI	DROP INLET	RCE	REGISTERED CIVIL ENGINEER
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIP
EG	EXISTING GRADE	R/W	RIGHT OF WAY
EP	EDGE OF PAVEMENT	S	SLOPE
EL	ELEVATION	SD	STORM DRAIN
EX	EXISTING	SS	SANITARY SEWER
FL	FLOWLINE	STA	STATION
FG	FINISH GRADE	STD	STANDARD
FH	FIRE HYDRANT	TC	TOP OF CURB
FS	FINISH SURFACE	TYP	TYPICAL
FSS	FIRE SAFE STANDARD	W	WATER
GB	GRADE BREAK	WM	WATER METER
GR	GRATE	WV	WATER VALVE
HC	HANDICAPPED		

SITE INFORMATION

SITE AREA
EXISTING LOT..... (2.03 ACRES)
PROPOSED LOT..... (1.96 ACRES)

ZONING
MIXED USE, MX

EASEMENTS
THERE IS AN EXISTING 10' SD EASEMENT PER
2665 O.R. 559

PROJECT DESCRIPTION
THIS PROJECT PROPOSES A 1 LOT SUBDIVISION
AND GRADING AND DRAINAGE IMPROVEMENTS
FOR A 31 CONDOMINIUMS.

LEGEND

PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	PROPERTY BOUNDARY
[Symbol]	[Symbol]	SANITARY SEWER & MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER & CLEANOUT
[Symbol]	[Symbol]	STORM DRAIN & MANHOLE
[Symbol]	[Symbol]	STORM DRAIN & DRAINAGE INLET (DI)
[Symbol]	[Symbol]	STORM DRAIN & AREA DRAIN (AD)
[Symbol]	[Symbol]	ROOF DRAIN & DOWN SPOUT (DS)
[Symbol]	[Symbol]	WATER SERVICE / WM
[Symbol]	[Symbol]	WATER MAIN & GATE/WATER VALVE
[Symbol]	[Symbol]	FIRE HYDRANT WITH BOLLARDS
[Symbol]	[Symbol]	DAYLIGHT LINE
[Symbol]	[Symbol]	APPROXIMATE LIMIT OF GRADING/DISTURBANCE
[Symbol]	[Symbol]	INDEX CONTOUR
[Symbol]	[Symbol]	INTERMEDIATE CONTOUR
[Symbol]	[Symbol]	GRADE BREAK W/ SLOPE SYMBOL
[Symbol]	[Symbol]	PROPOSED ACCESS & UTILITY EASEMENT

TENTATIVE MAP - FSE PROJECT

TITLE SHEET

254 1st Street East
Sonoma, California
APN 018-131-018

SCALE: AS NOTED

Date: May 2, 2024
Design by: KM
Drawn by: KM
Checked by: TJSZK

Sheet

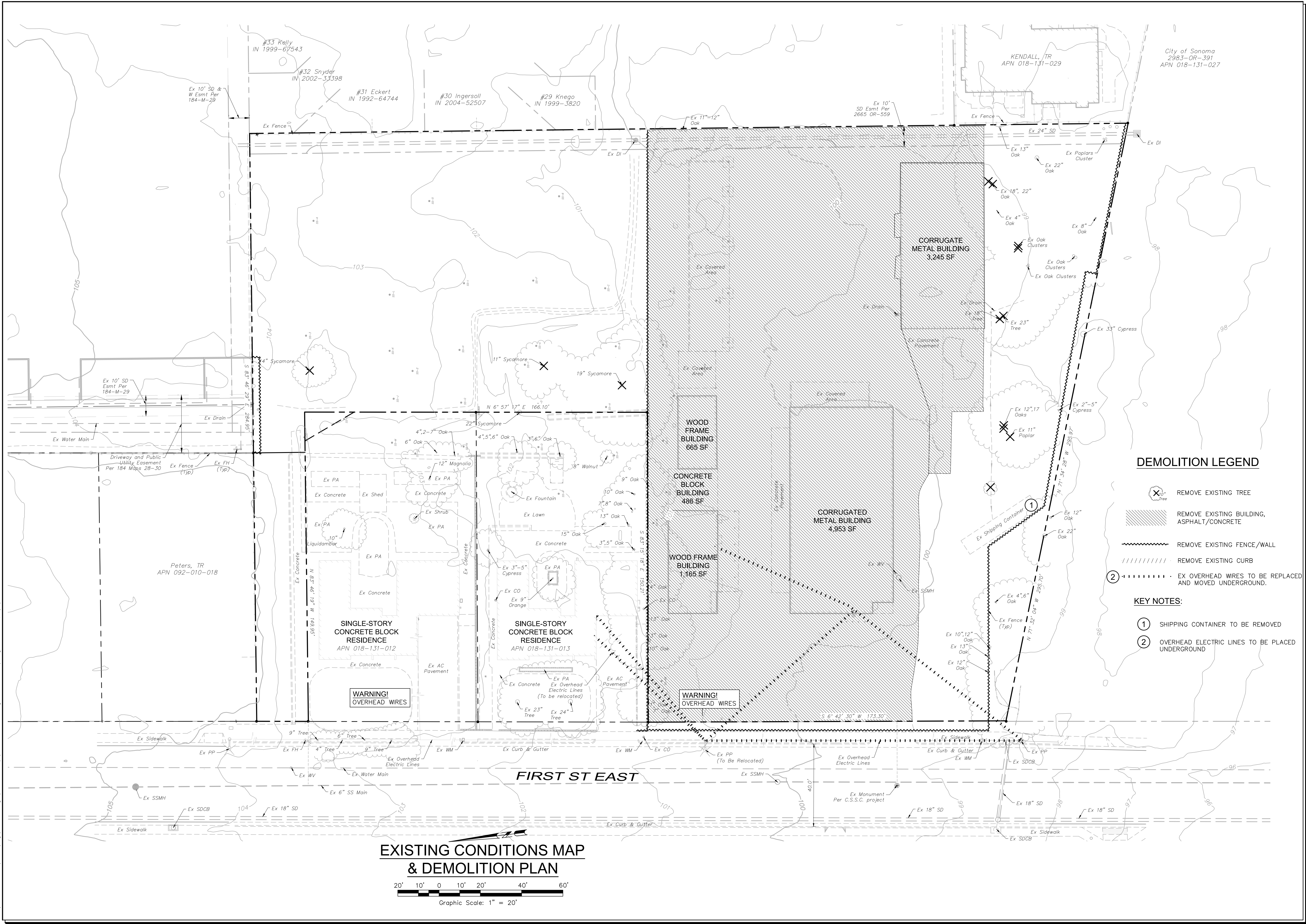
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1 of 13 Sheets
Job 23191

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Website: www.adobeinc.com
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PROFESSIONAL ENGINEER • CIVIL
TIMOTHY L. SCHRAM
No. C67890
Exp. 6/30/2025
STATE OF CALIFORNIA
Timothy L. Schram, RCE 67890
My license expires 6/30/2025

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TENTATIVE MAP - FSE PROJECT

EXISTING CONDITIONS MAP

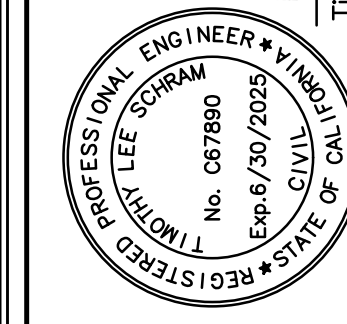
254 1st Street East
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APN 018-131-018

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Date: May 2, 2024
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Drawn by: KM
Checked by: TJSZR

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C2.0

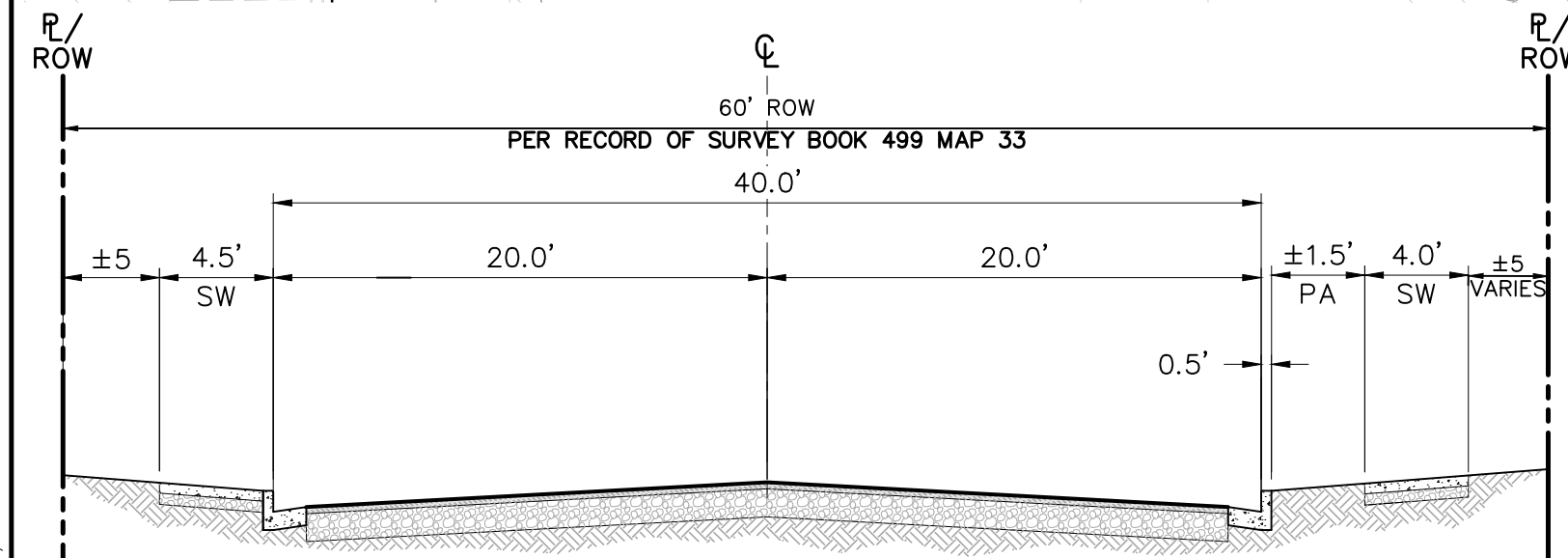
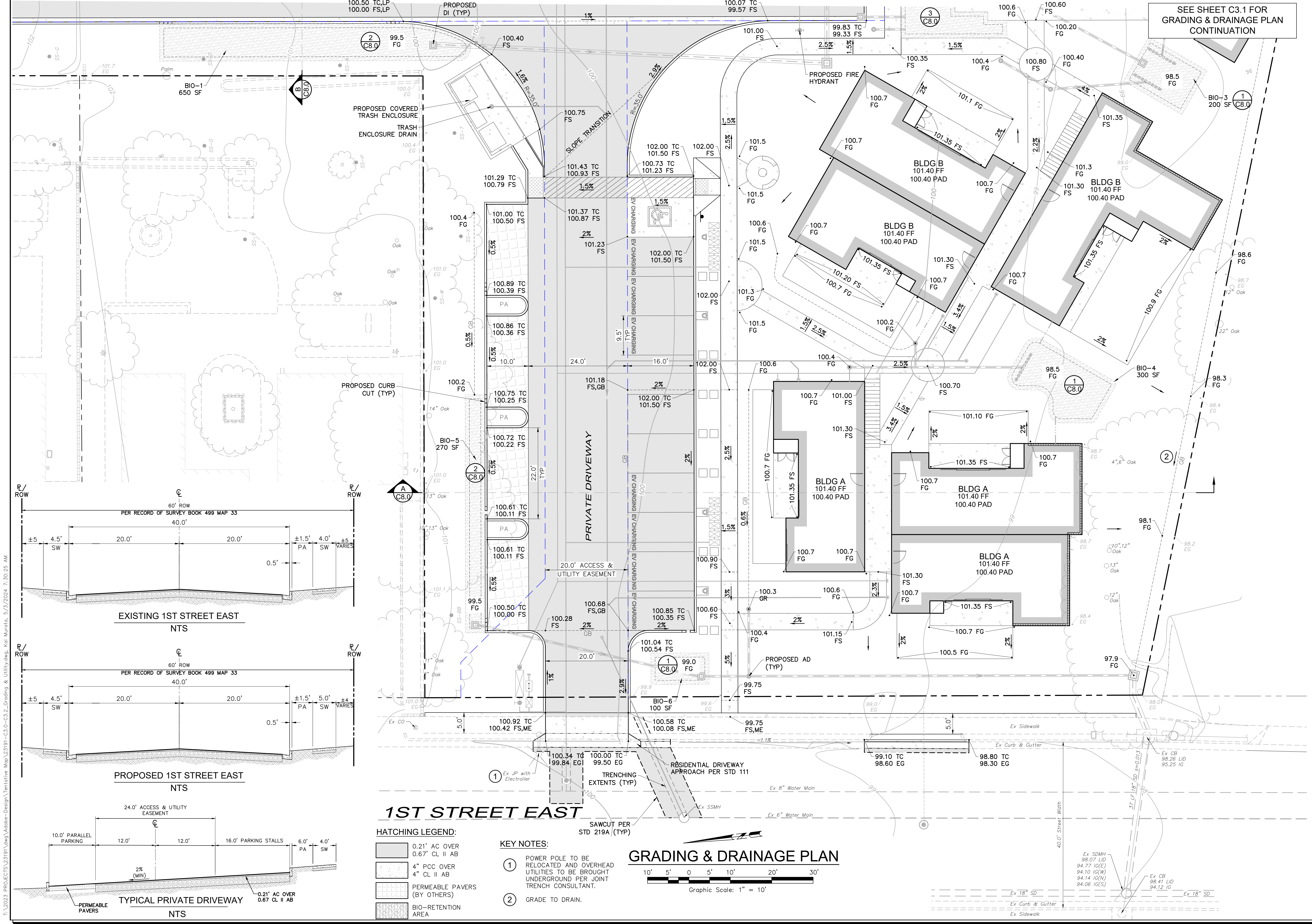
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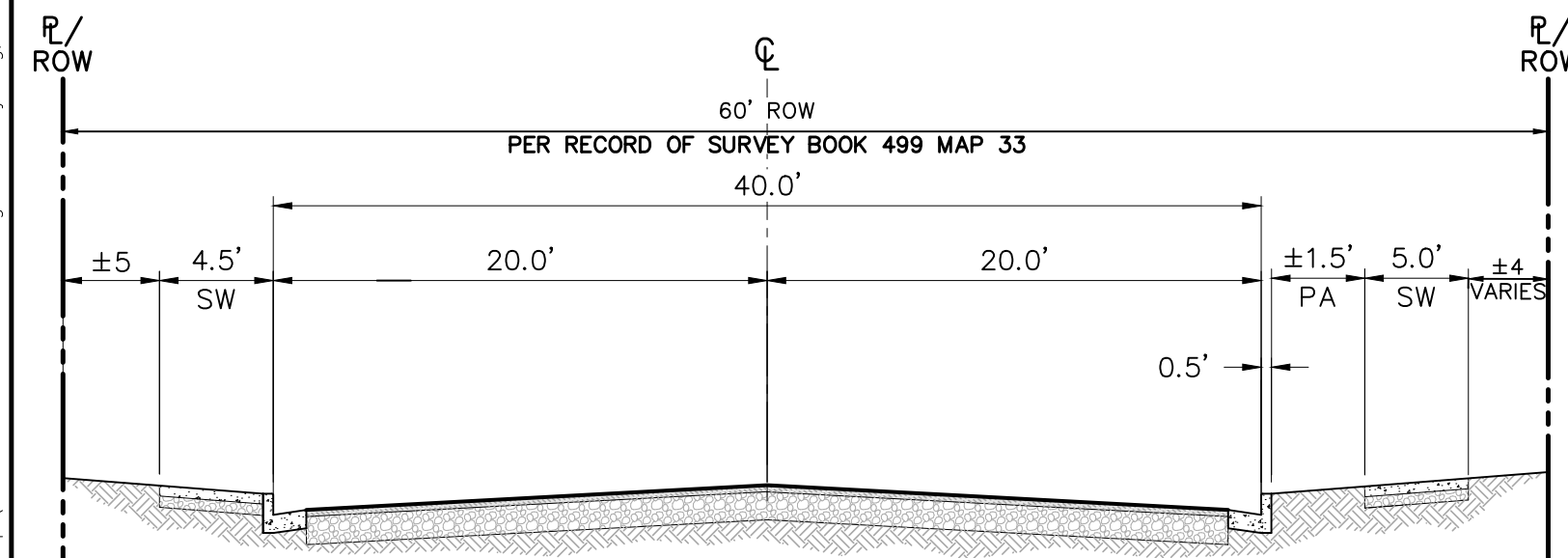
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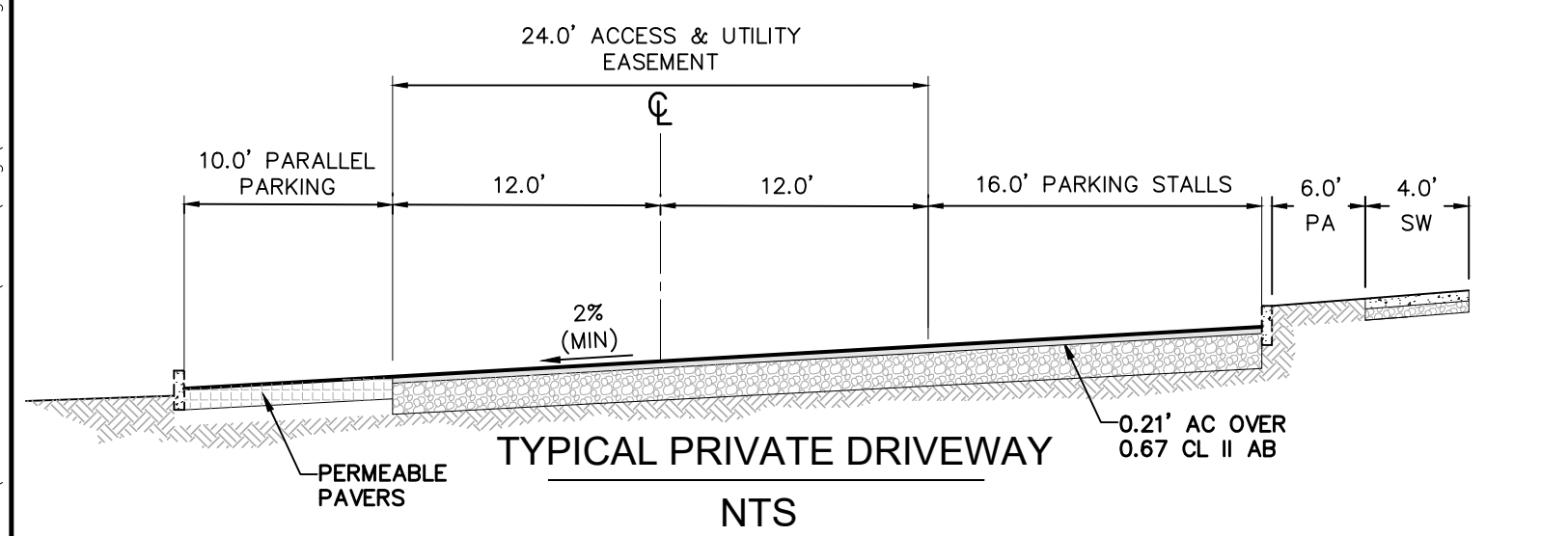
Revisions	No.	Date	Description	Approved



EXISTING 1ST STREET EAST
NTS



PROPOSED 1ST STREET EAST
NTS

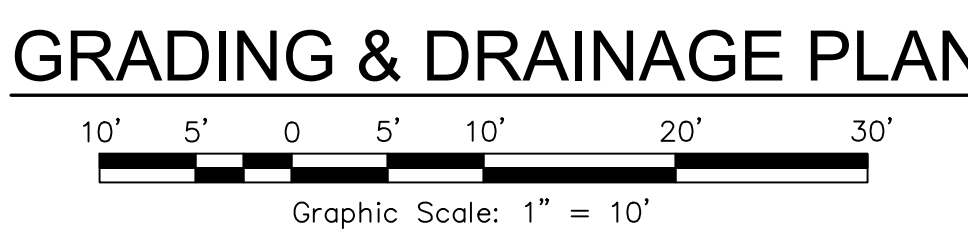


TYPICAL PRIVATE DRIVEWAY
NTS

HATCHING LEGEND:

[Hatching]	0.21" AC OVER 0.67" CL II AB
[Hatching]	4" PCC OVER 4" CL II AB
[Hatching]	PERMEABLE PAVERS (BY OTHERS)
[Hatching]	BIO-RETENTION AREA

- KEY NOTES:**
- POWER POLE TO BE RELOCATED AND OVERHEAD UTILITIES TO BE BROUGHT UNDERGROUND PER JOINT TRENCH CONSULTANT.
 - GRADE TO DRAIN.



GRADING & DRAINAGE PLAN

SEE SHEET C3.1 FOR
GRADING & DRAINAGE
CONTINUATION

TENTATIVE MAP - FSE PROJECT

GRADING & DRAINAGE PLAN

254 1st Street East
Sonoma, California
APN 018-131-018

SCALE: AS NOTED

Date: May 2, 2024
Design by: KM
Drawn by: KM
Checked by: TJS/2R

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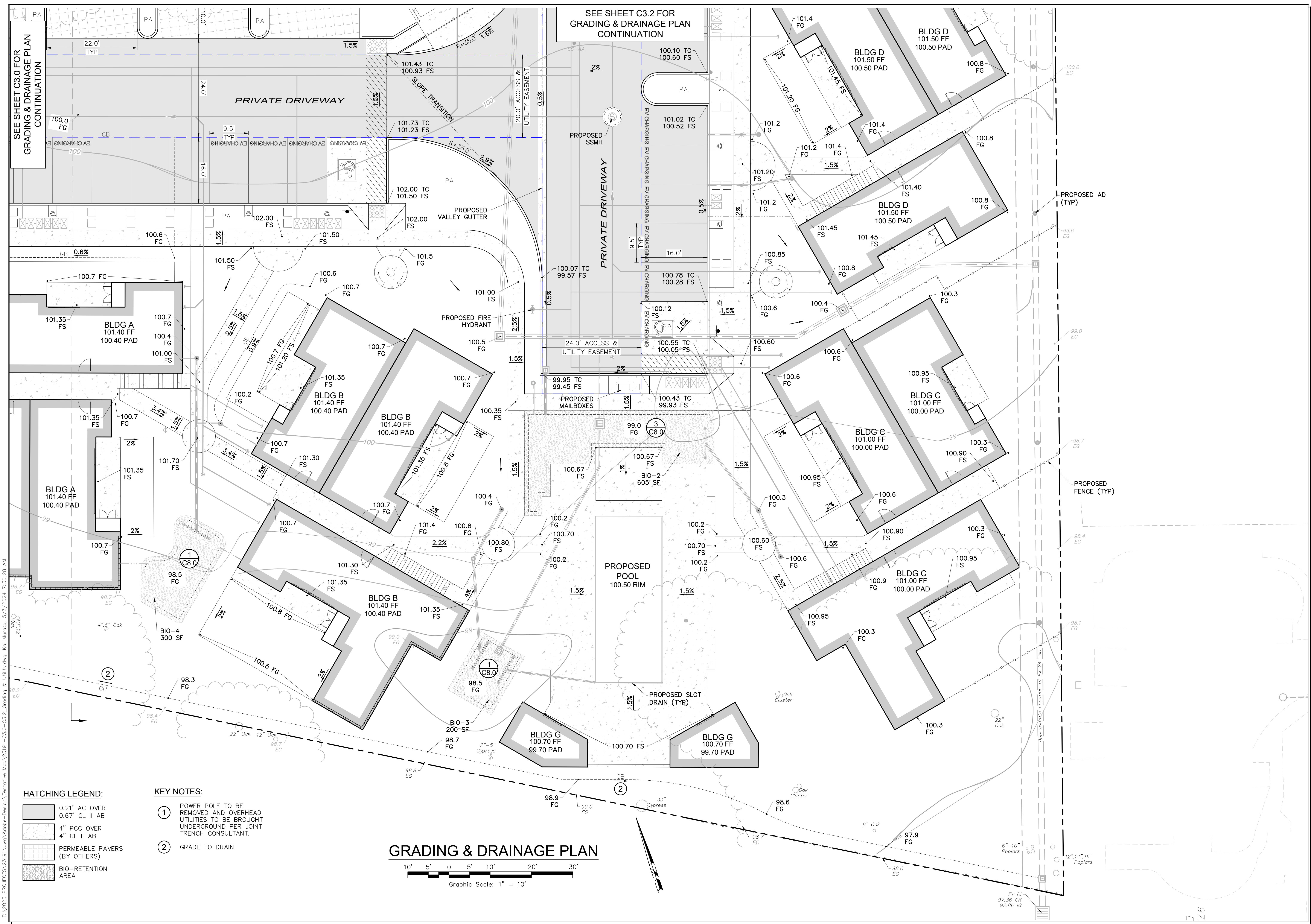
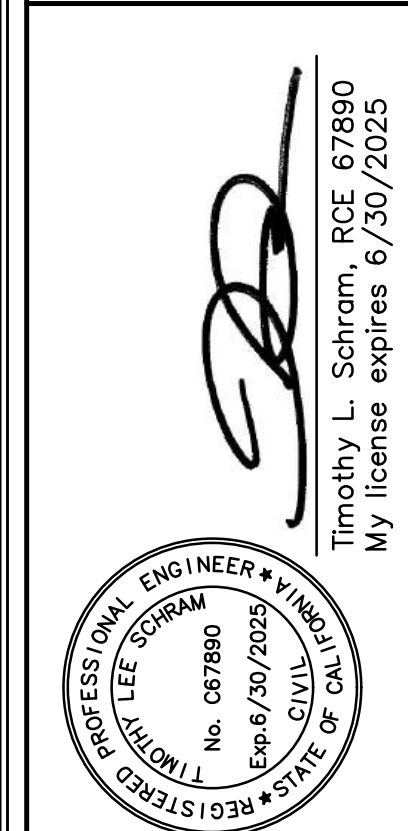
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TIMOTHY L. SCHRAM
No. C67890
Exp. 6/30/2025
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[illegible]

**TENTATIVE MAP - FSE PROJECT
GRADING & DRAINAGE PLAN**

Sheet
C3.1
4 of 13 Sheets
Job 23191

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HATCHING LEGEND:

	0.21' AC OVER 0.67' CL II AB
	4" PCC OVER 4" CL II AB
	PERMEABLE PAVERS (BY OTHERS)
	BIO-RETENTION AREA

KEY NOTES:

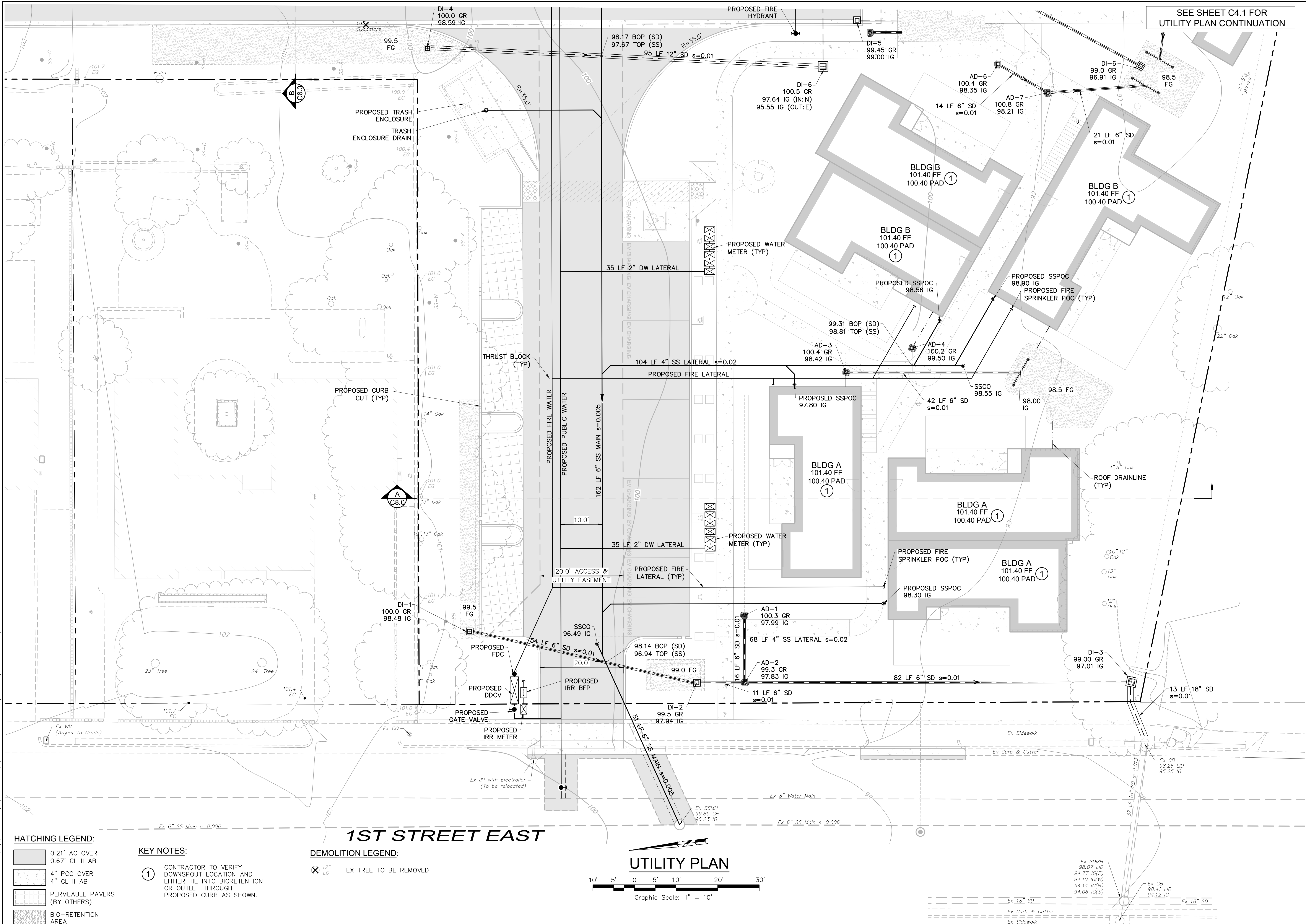
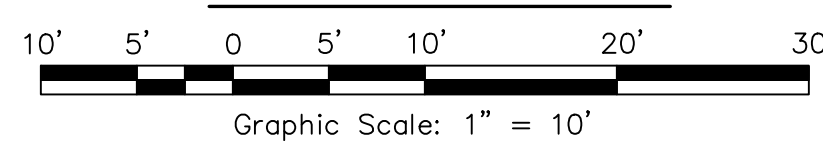
- ① CONTRACTOR TO VERIFY
DOWNSPOUT LOCATION AND
EITHER TIE INTO BIORETENTION
OR OUTLET THROUGH
PROPOSED CURB AS SHOWN.

DEMOLITION LEGEND:

- ✕ EX TREE TO BE REMOVED

1ST STREET EAST

UTILITY PLAN



SEE SHEET C4.1 FOR
UTILITY PLAN CONTINUATION

TENTATIVE MAP - FSE PROJECT

UTILITY PLAN

254 1st Street East
Sonoma, California
APN 018-131-018

SCALE: AS NOTED

Date: May 3, 2024
Design by: KM
Drawn by: KM
Checked by: TJSZR

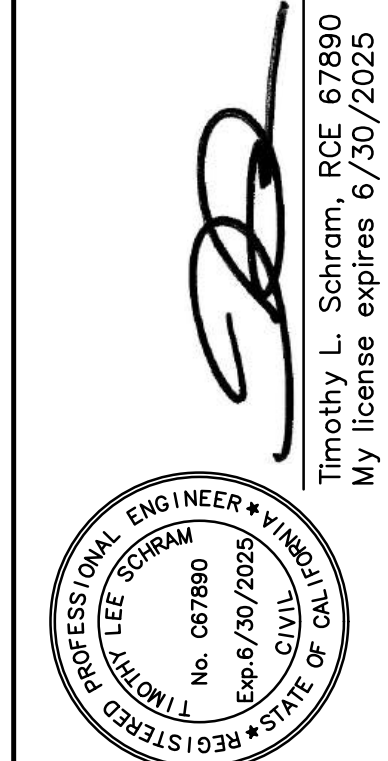
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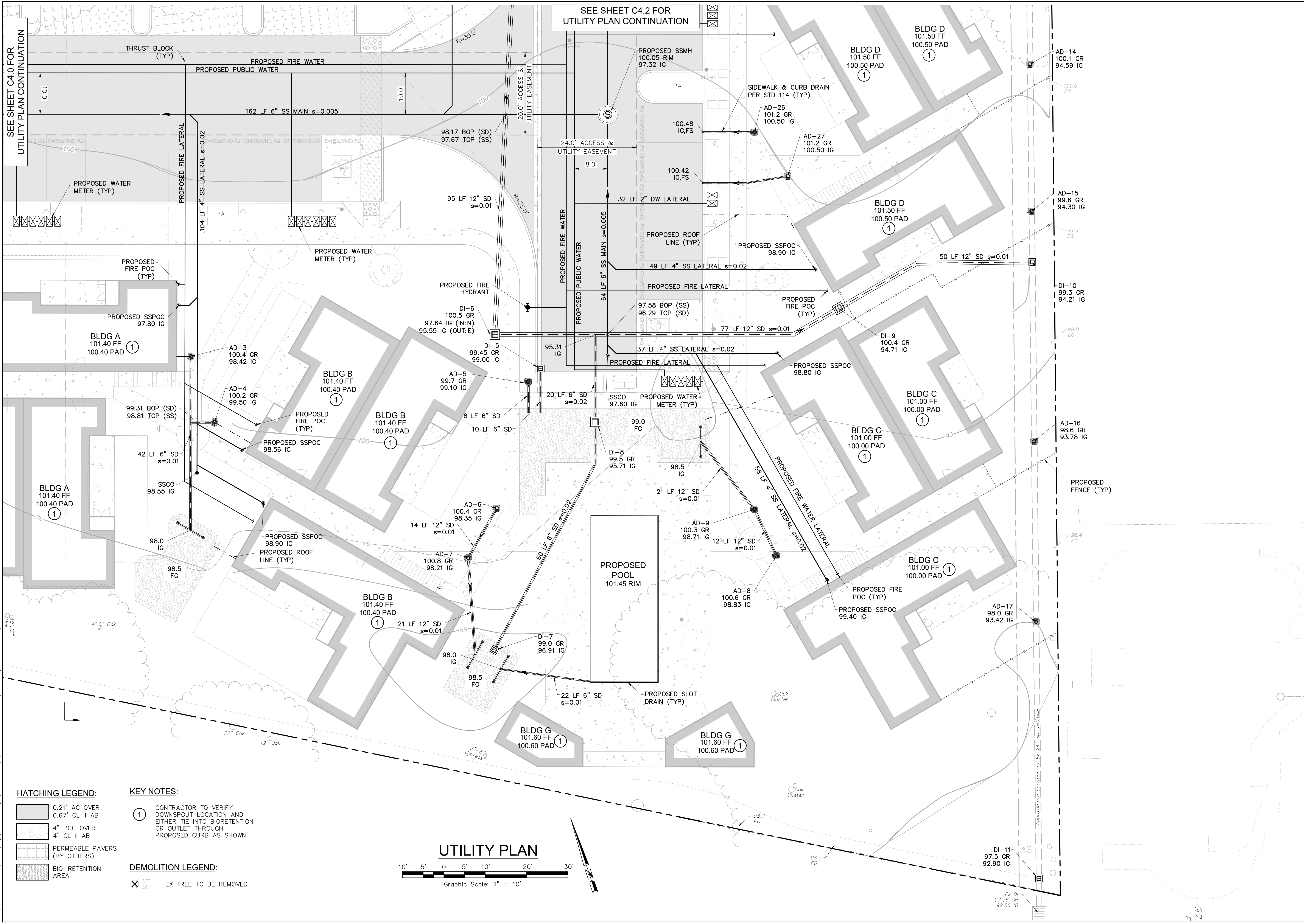
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Revisions

No.	Date	Description	Approved

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TENTATIVE MAP - FSE PROJECT

UTILITY PLAN

254 1st Street East
Sonoma, California
APN 018-131-018

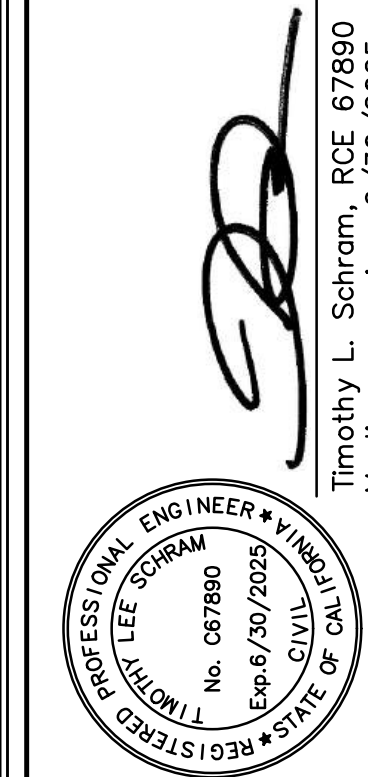
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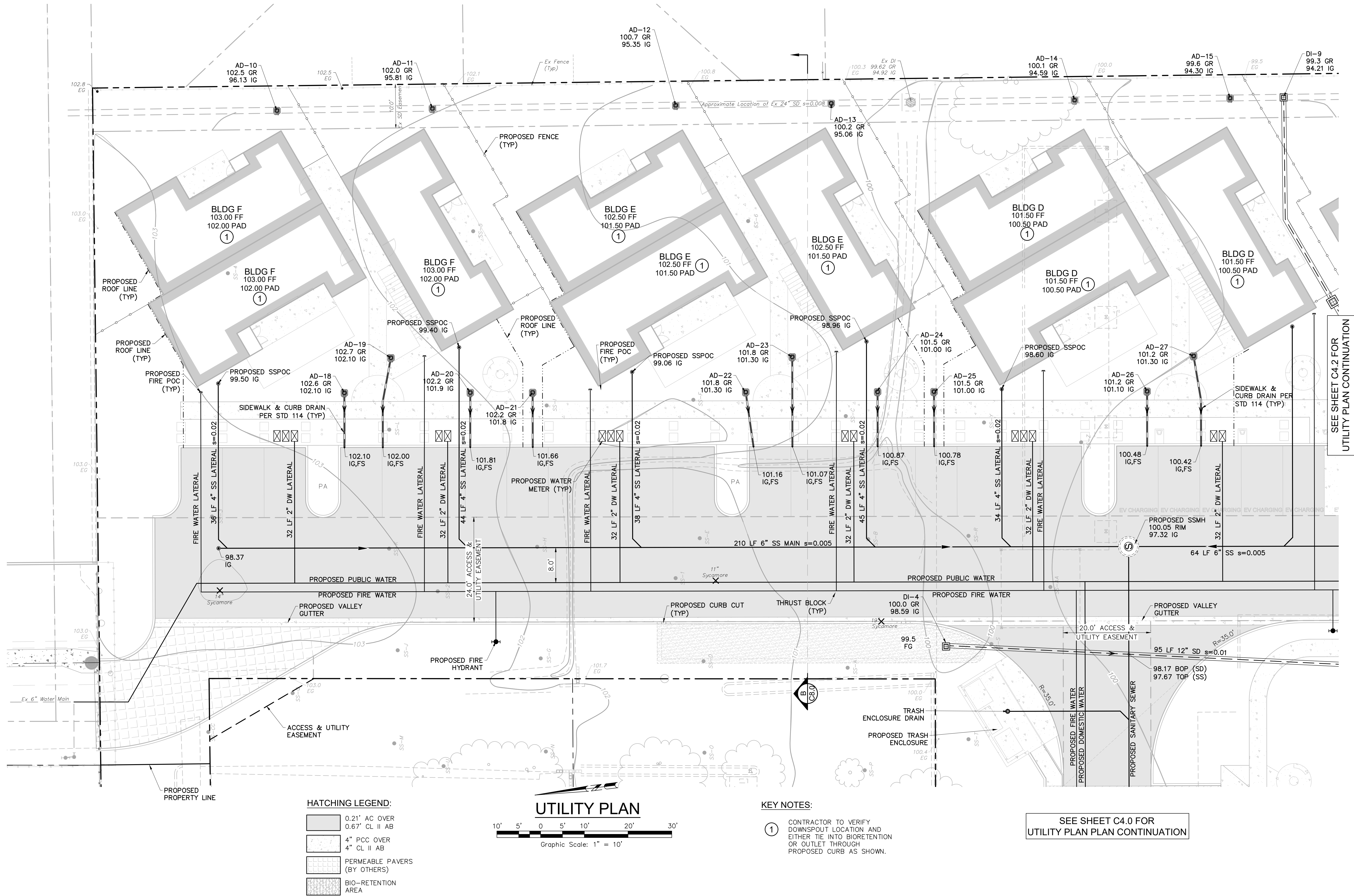


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No.	Date	Description	Approved

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TENTATIVE MAP - FSE PROJECT

UTILITY PLAN

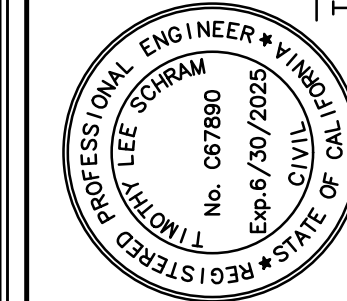
254 1st Street East
Sonoma, California
APN 018-131-018

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No.	Date	Description		

The floor plan shows a three-unit residential building with the following details:

- Unit B1 (1211 S.F.):**
 - MAIN BEDROOM: 120' x 11'0"
 - BEDROOM: 10'0" x 9'0"
 - BEDROOM: 10'0" x 9'0"
 - BATHROOM: 10'0" x 5'0"
 - HALL: 10'0" x 5'0"
 - CLOSET
 - STORAGE: 10'0" x 5'0"
 - KITCHEN: 10'0" x 9'0"
 - ENTRY
 - PATIO
- Unit B2 (850 S.F.):**
 - BEDROOM: 10'0" x 9'0"
 - LIVING/DINING: 10'0" x 9'0"
 - KITCHEN: 10'0" x 9'0"
 - BATHROOM: 10'0" x 5'0"
 - HALL: 10'0" x 5'0"
 - CLOSET
 - PATIO
- Unit B3 (1857 S.F.):**
 - LIVING/DINING: 18'0" x 11'0"
 - KITCHEN: 10'0" x 9'0"
 - BATHROOM: 10'0" x 5'0"
 - HALL: 10'0" x 5'0"
 - CLOSET
 - PATIO
- Common Areas:**
 - BREEZEWAY
 - STAIRS
 - ENTRY
 - CLOSET
 - PATIO

BUILDING B

5' 0 5' 10' 20' 30'

Graphic Scale: 1" = 10'

The floor plan shows two units, A1 and A2, each measuring 850 S.F. Unit A1 is located on the left side of the plan, and Unit A2 is on the right. Both units feature a similar layout with a living room, kitchen, bedroom, and bathroom. Unit A1 includes a patio and a closet. Unit A2 includes a closet and a bathroom. The plan also shows a central hallway and a staircase.

Unit A1: 850 S.F.

- Bedroom: 11'0" x 11'0" C.L.G. @ 9'-0"
- Bathroom: 10'0" x 10'0" C.L.G. @ 9'-0"
- Kitchen: 10'0" x 10'0" C.L.G. @ 9'-0"
- Living Room: 10'0" x 10'0" C.L.G. @ 9'-0"
- Patio: 10'0" x 10'0" C.L.G. @ 9'-0"
- Closet: 10'0" x 10'0" C.L.G. @ 9'-0"
- Hall: 10'0" x 10'0" C.L.G. @ 9'-0"
- Entry: 10'0" x 10'0" C.L.G. @ 9'-0"
- Staircase: 10'0" x 10'0" C.L.G. @ 9'-0"

Unit A2: 850 S.F.

- Bedroom: 11'0" x 11'0" C.L.G. @ 9'-0"
- Bathroom: 10'0" x 10'0" C.L.G. @ 9'-0"
- Kitchen: 10'0" x 10'0" C.L.G. @ 9'-0"
- Living Room: 10'0" x 10'0" C.L.G. @ 9'-0"
- Patio: 10'0" x 10'0" C.L.G. @ 9'-0"
- Closet: 10'0" x 10'0" C.L.G. @ 9'-0"
- Hall: 10'0" x 10'0" C.L.G. @ 9'-0"
- Entry: 10'0" x 10'0" C.L.G. @ 9'-0"
- Staircase: 10'0" x 10'0" C.L.G. @ 9'-0"

The floor plan illustrates the second floor of a building, divided into two main units, A4 and A5, each measuring 850 square feet. Unit A4 is located on the left side of the plan and features a living room (201 S.F.), dining room (202 S.F.), kitchen (203 S.F.), two bedrooms (204 S.F. and 205 S.F.), two bathrooms (206 S.F. and 207 S.F.), a balcony, and a central hall (208 S.F.). Unit A5 is located on the right side of the plan and features a living room (201 S.F.), dining room (202 S.F.), kitchen (203 S.F.), two bedrooms (204 S.F. and 205 S.F.), two bathrooms (206 S.F. and 207 S.F.), a balcony, and a central hall (208 S.F.). The plan also shows a common breezeway and stairs.

BUILDING A

Graphic Scale: 1" = 10'

The floor plan illustrates a three-story building with three distinct units, each with its own set of rooms and storage space. Unit B3, located on the left, features a main bedroom, a study, a bedroom, a kitchen, and a living area. Unit B4, on the right, includes a kitchen, a living area, and a bedroom. Unit B5, at the top, consists of a living area, a kitchen, and a bedroom. The plan also shows common areas such as a breezeway, stairs, and a central hallway.

Unit B3 (1,211 S.F.)

- MAIN BEDROOM CLO. @ 9'0"
- STUDY CLO. @ 9'0"
- BEDROOM CLO. @ 9'0"
- KITCHEN CLO. @ 9'0"
- LIVING/DINING CLO. @ 9'0"
- BALCONY

Unit B4 (1,211 S.F.)

- KITCHEN CLO. @ 9'0"
- LIVING/DINING CLO. @ 9'0"
- BEDROOM CLO. @ 9'0"
- BALCONY

Unit B5 (850 S.F.)

- LIVING/DINING CLO. @ 9'0"
- KITCHEN CLO. @ 9'0"
- BEDROOM CLO. @ 9'0"
- BALCONY

Common Areas

- BREEZEWAY
- STAIRS
- HALL
- CLOSET

TENTATIVE MAP - FSE PROJECT
CONDOMINIUM PLAN

SCALE: AS NOTED

Date: May 2, 2024

Design by: KM

Drawn by: KM

Checked by: TL SZR

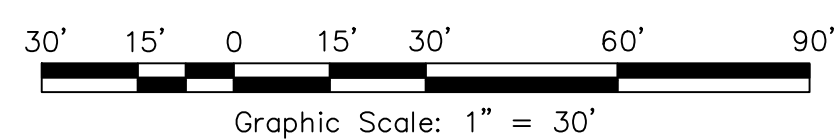
Sheet
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9 of 13 Sheets
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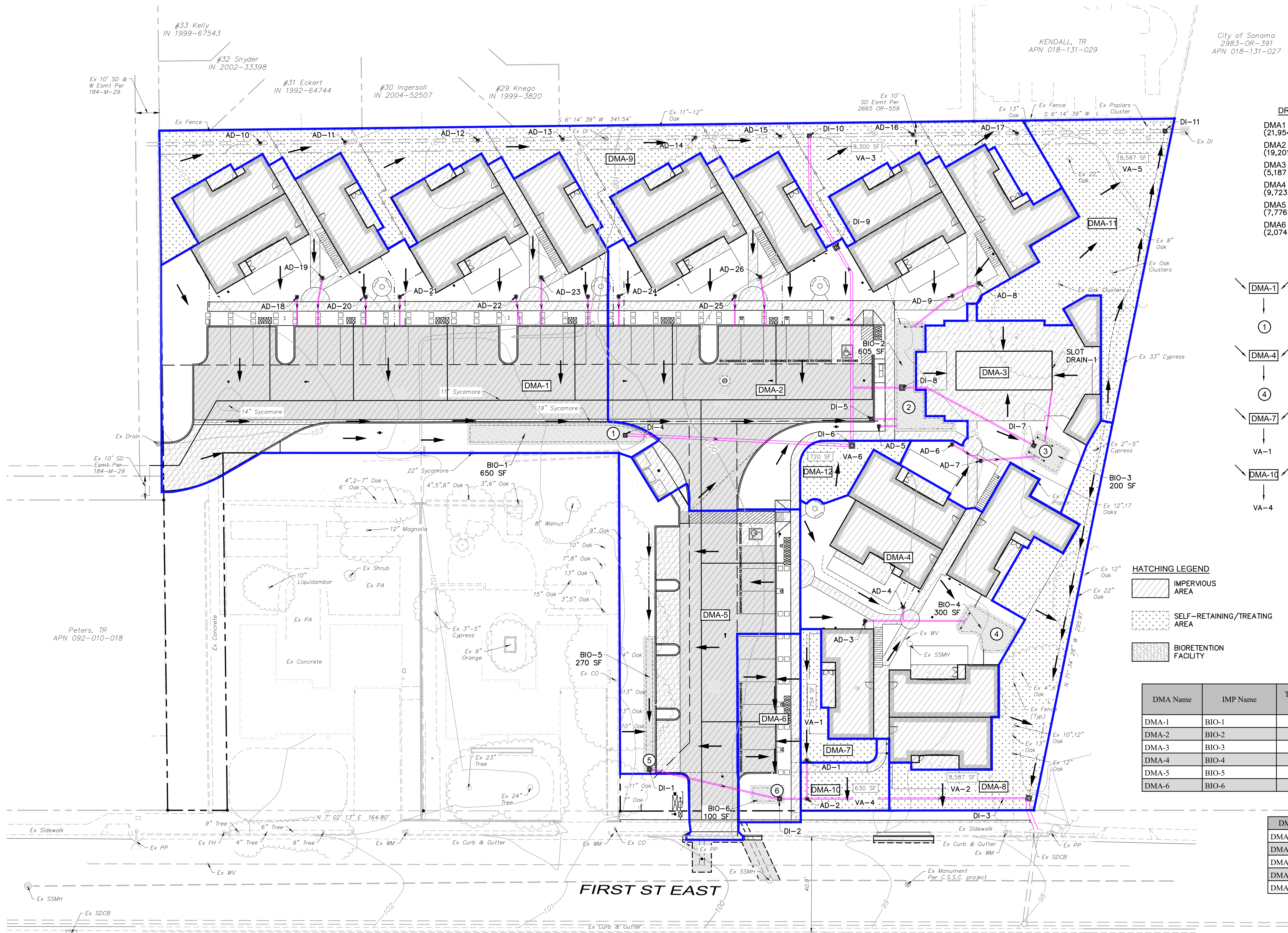
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Revisions		Approved
Description		

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[illegible]

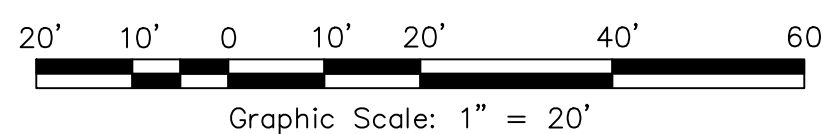
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HATCHING LEGEND:

[Pattern]	0.21" AC OVER 0.67" CL II AB
[Pattern]	4" PCC OVER 4" CL II AB
[Pattern]	PERMEABLE PAVERS (BY OTHERS)
[Pattern]	BIO-RETENTION AREA

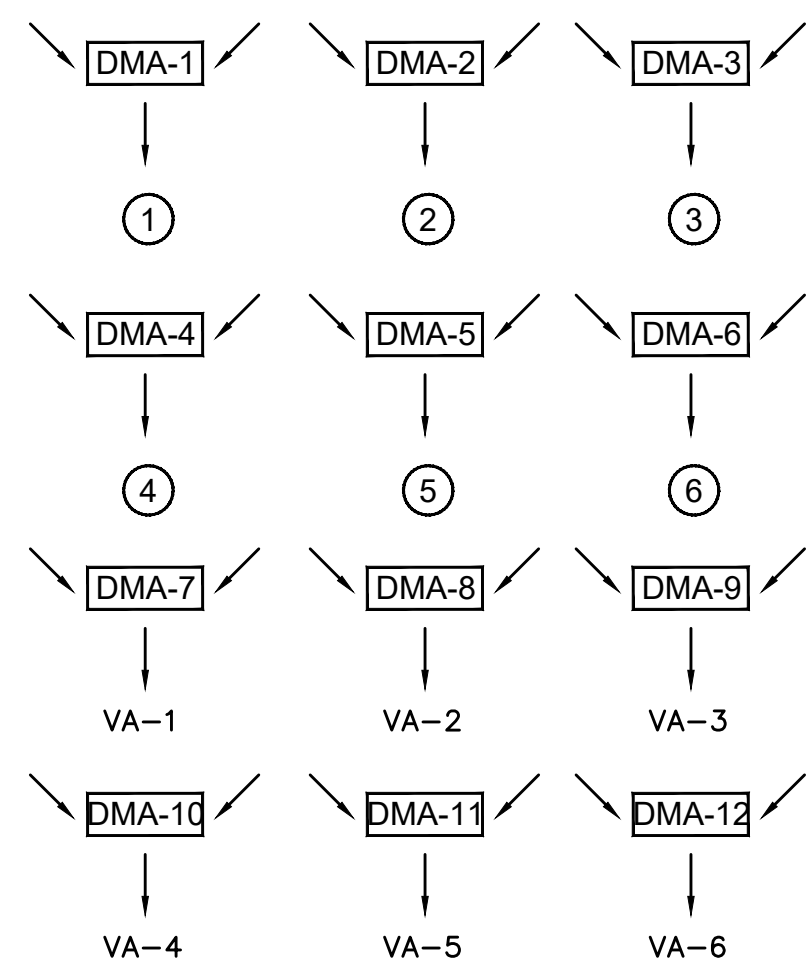
STORMWATER CONTROL PLAN



DRAINAGE AREA TABLE

DMA1=0.50 AC (21,954 SF)	DMA7=0.02 AC (754 SF)
DMA2=0.44 AC (19,201 SF)	DMA8=0.20 AC (8,587 SF)
DMA3=0.12 AC (5,187 SF)	DMA9=0.19 AC (8,329 SF)
DMA4=0.22 AC (9,723 SF)	DMA10=0.02 AC (804 SF)
DMA5=0.18 AC (7,776 SF)	DMA11=0.10 AC (4,521 SF)
DMA6=0.05 AC (2,074 SF)	DMA12=0.02 AC (720 SF)

DRAINAGE ROUTING



HATCHING LEGEND

[Pattern]	IMPERVIOUS AREA
[Pattern]	SELF-RETAINING/TREATING AREA
[Pattern]	BIORETENTION FACILITY

DMA Name	IMP Name	Total Area (SF)	Required Bioretention Size (SF)	Design Bioretention Area (SF)	Area Oversized (SF)
DMA-1	BIO-1	21,954	637	650	13
DMA-2	BIO-2	20,010	601	605	4
DMA-3	BIO-3	5,187	150	200	50
DMA-4	BIO-4	9,723	294	300	6
DMA-5	BIO-5	7,776	184	270	86
DMA-6	BIO-6	2,074	54	100	46

DMA Name	Area (Square Feet)	IMP Type
DMA-7	754	Self-Retain
DMA-8	8,587	Self-Retain
DMA-9	8,329	Self-Retain
DMA-11	4,521	Self-Retain
DMA-12	720	Self-Retain

DMA Name	Impervious Area (SF)	Surface Type	Runoff Factor	Required Pervious Area	Impervious: Pervious Ratio	Provided Pervious Area (SF)
DMA-10	173	Concrete	1.0	173	2:1 MAX	630

TENTATIVE MAP - FSE PROJECT STORMWATER CONTROL PLAN

SCALE: AS NOTED

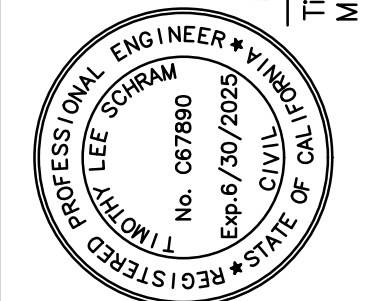
Date: May 2, 2024
Design by: KM
Drawn by: KM
Checked by: TJSZR

Sheet
C7.0

12 of 13 Sheets
Job 23191

adobe associates, inc.
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1220 N. Dutton Ave., Santa Rosa, CA 95401
P. (707) 541-2300 F. (707) 541-2301
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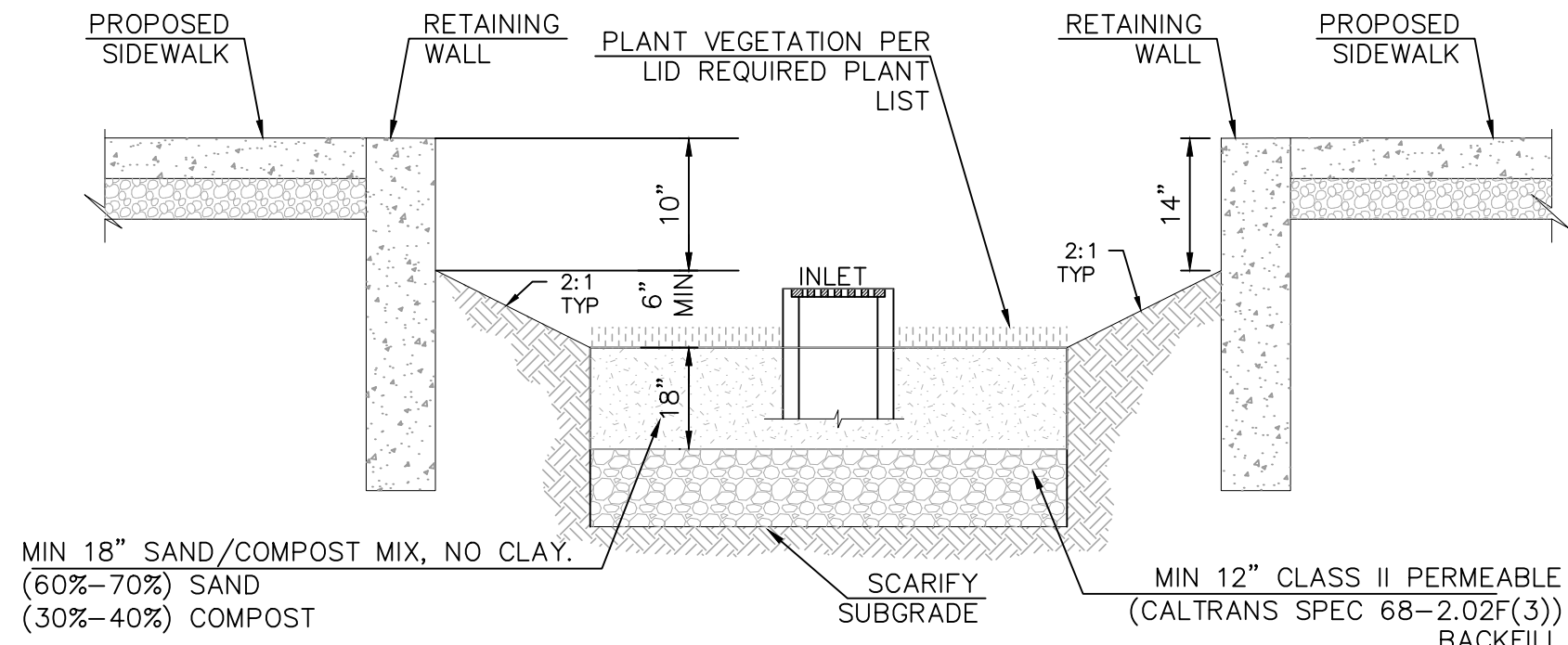
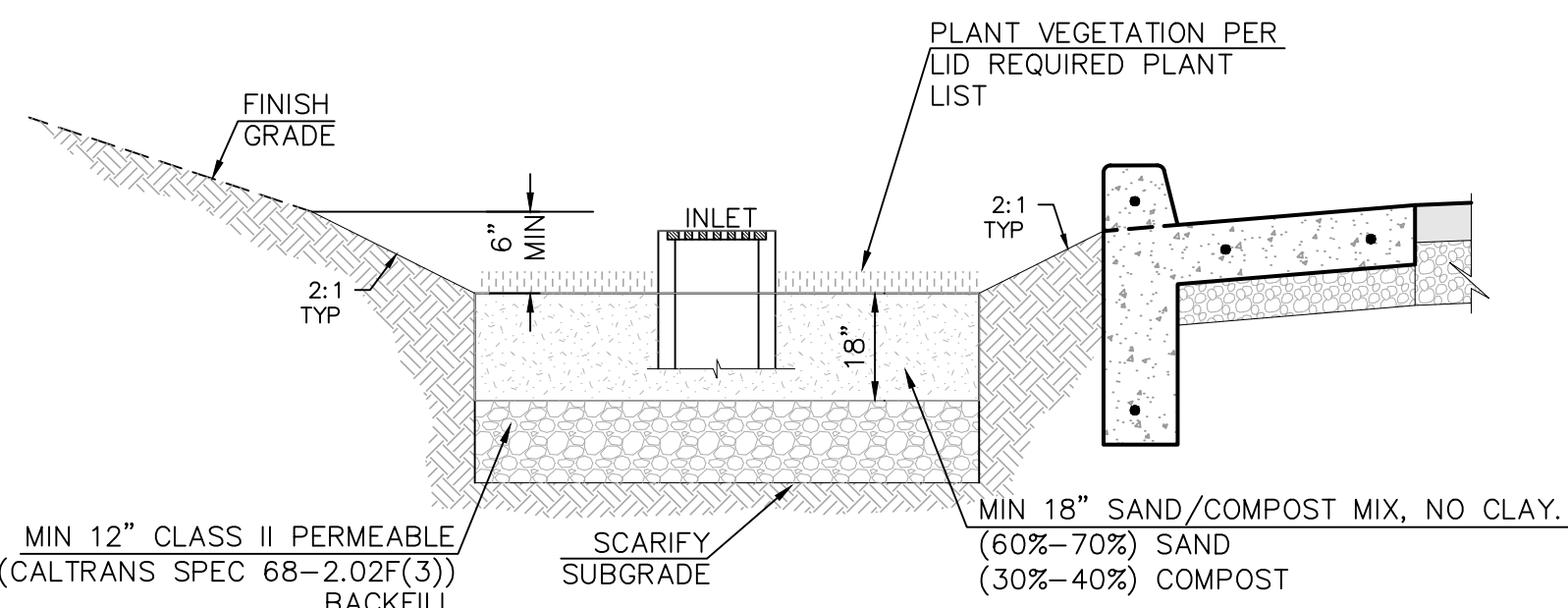
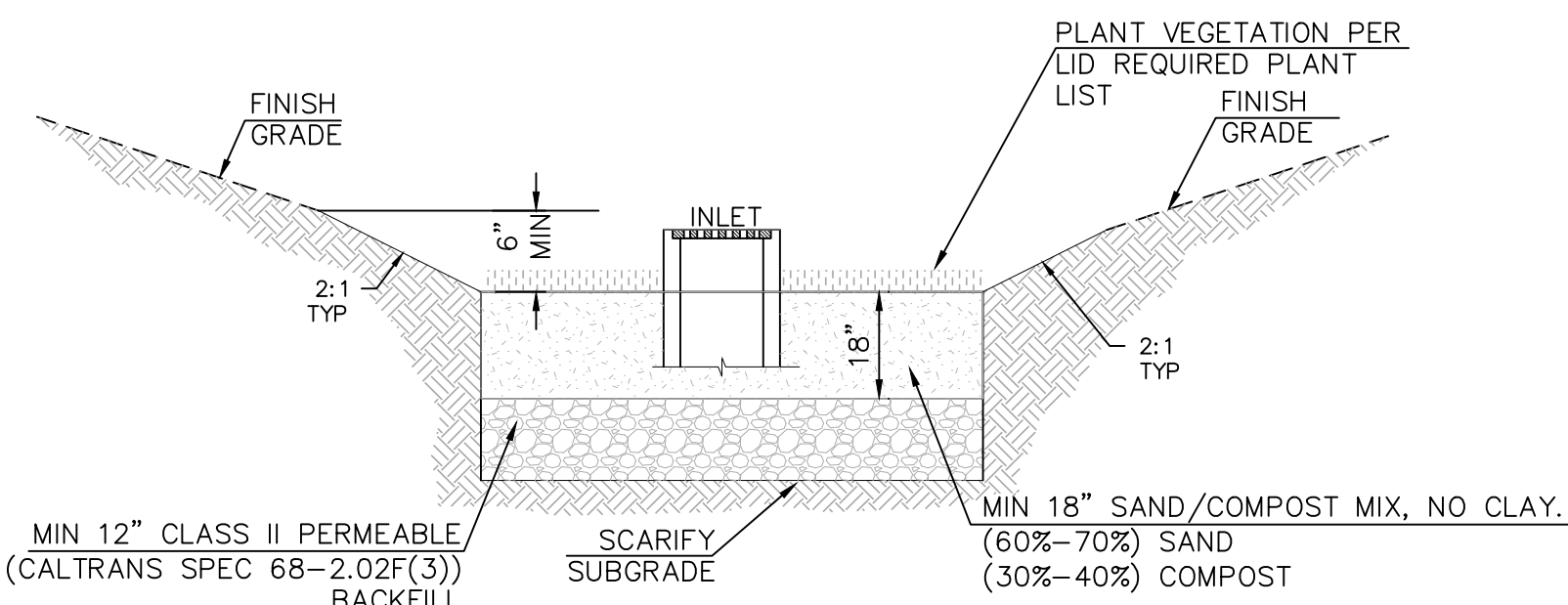
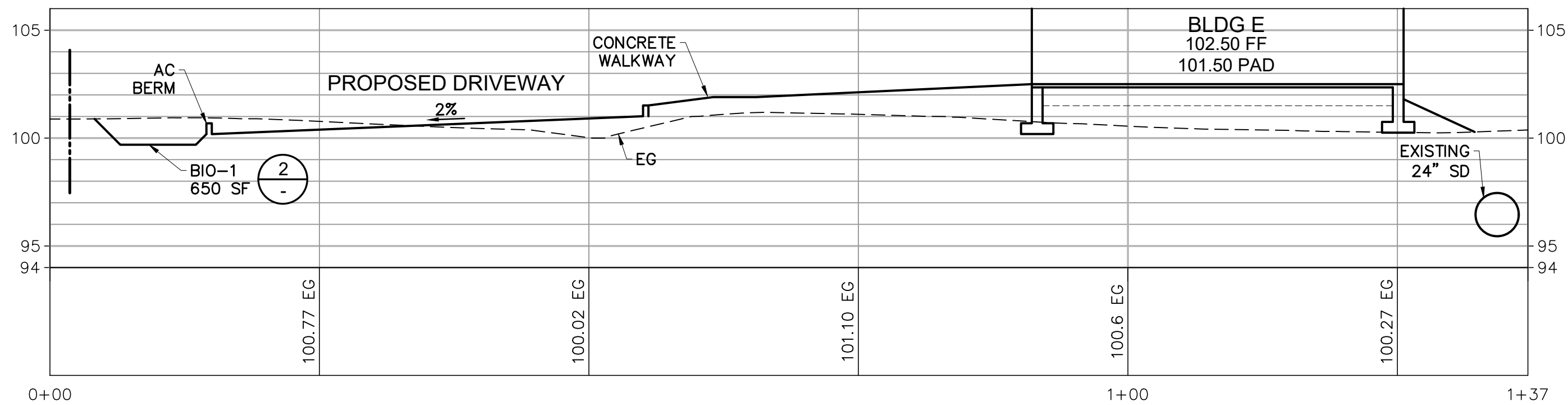
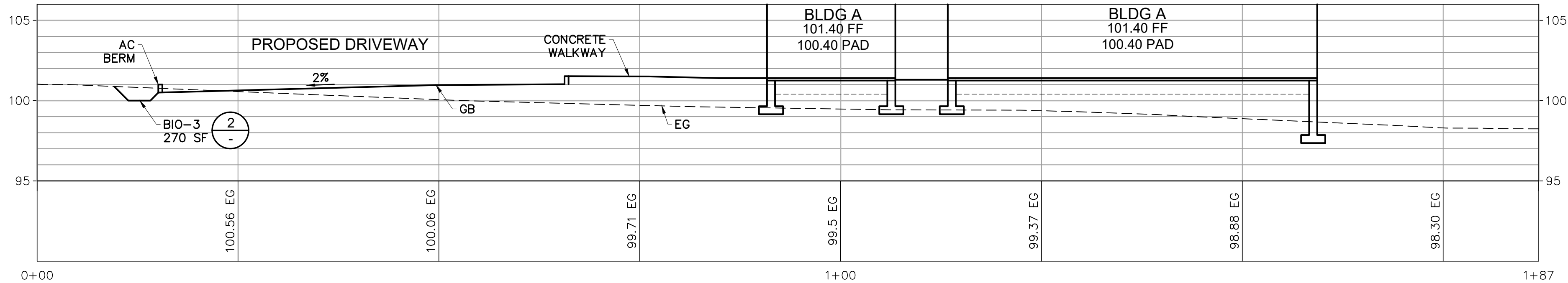
Timothy L. Schram, RCE 67890
My license expires 6/30/2025



Revisions

No.	Date	Description	Approved

T:\2023 PROJECTS\23191\New Adobe-Design Tentative Map\23191-C7.0_Site Sections.dwg, Kai Murata, 5/3/2024, 7:37:48 AM



TENTATIVE MAP - FSE PROJECT

SCALE: AS NOTED

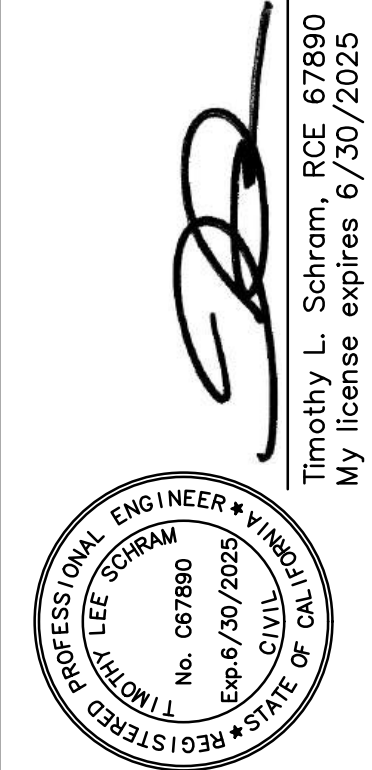
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Revisions

No.	Date	Description	Approved



- Existing Conditions along Property Line**
- A Existing Stucco Wall to remain.
 - B Newly built 6' ht. wood "dog ear" fence to remain.
 - C Older existing 6' ht. wood "dog ear" fence, with a chain link fence in front. Wood fence to remain. Chain link fence to be removed.
 - D Older existing 6' ht wood "dog ear" fence with a lattice and a chain link fence in front. Wood fence to remain. Chain link fence to be removed.
 - E Existing chain link fence with strands of barbwire on top. To removed and replaced with a new fence.
 - F Existing wire fence. To be removed and replaced with a new fence.

Overall Landscape Site Plan
 Scale: 1/16" = 1' - 0"

RON WELLANDER
LANDSCAPE ARCHITECT
License 2275

DESIGN
CONSTRUCTION
MANAGEMENT

ronwellander@gmail.com

Ron Wellander Landscape Architect
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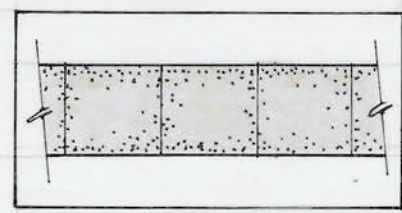
254 1st Street East
Sonoma, California
 APN 018-131-018-000

Conceptual Landscape Design

19 December 2023

L1.0

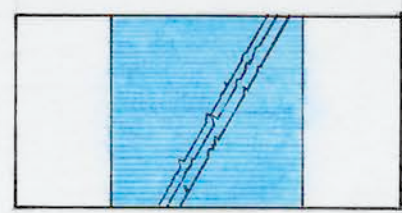
LEGEND



Concrete Paving



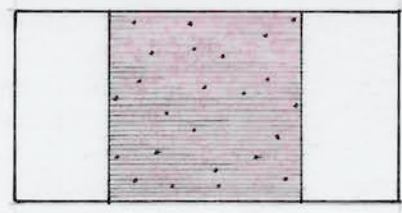
Lawn



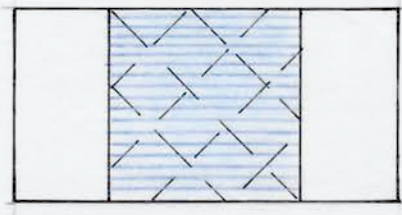
Water



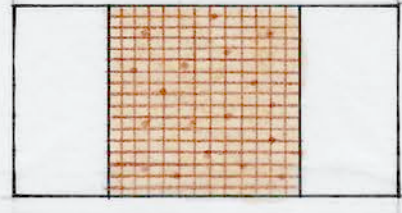
Decomposed Granite



Enriched Paving



Bio-swale



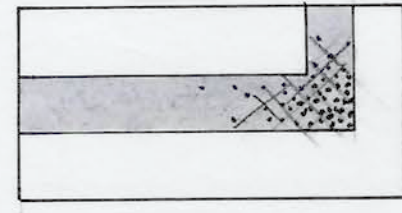
Planting Area - Bark Mulch



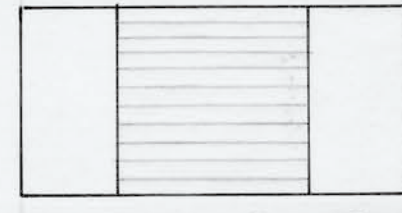
Existing Oak Hedgerow



Planting Area - Bark Mulch
- Private "Backyard"

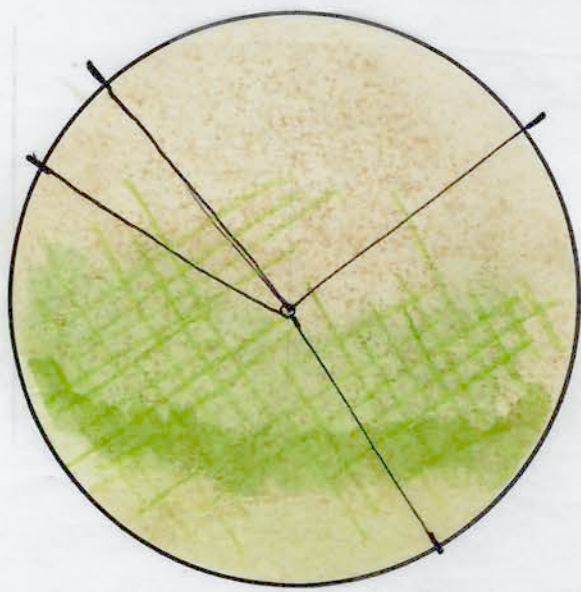


Gravel Band

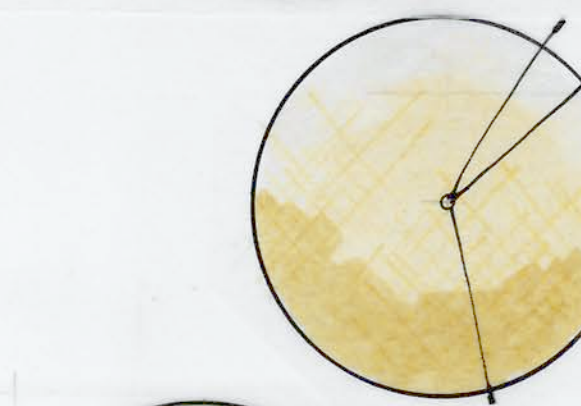


Oak Grove - Open Space
- Bark Mulch

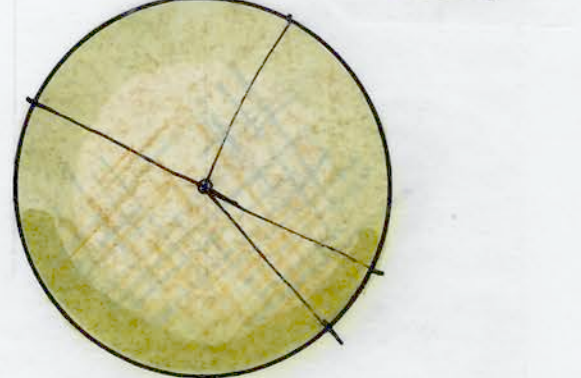
PLANTING SYMBOLS & DESCRIPTION



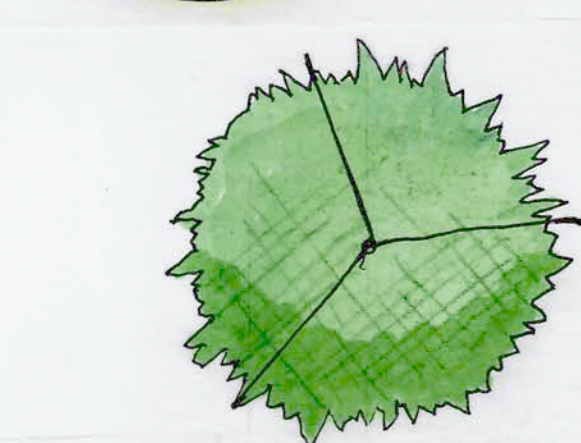
ENTRY TREE – Quercus virginiana 'Cathedral' – a large, heavy-limbed broad crown, evergreen tree making a strong entrance statement, like flanking 'sentinels'. Recommended tree will contrast well with the deciduous street tree.



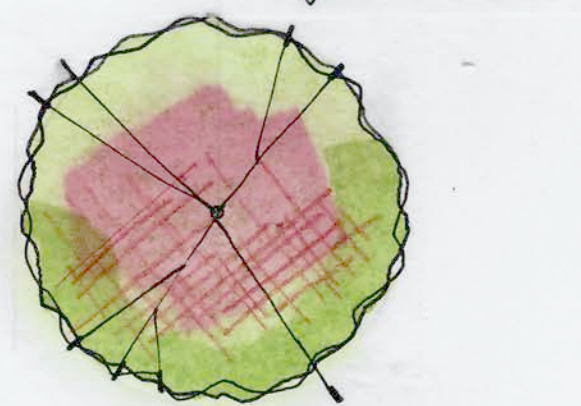
STREET TREE – Platanus x acerifolia 'Columbia' or similar – a large, broadleaf, deciduous tree. (Note: This portion of First Street East does not have an established singular species of street tree. This project could stimulate the implementation of an expanded street tree program on this city street.)



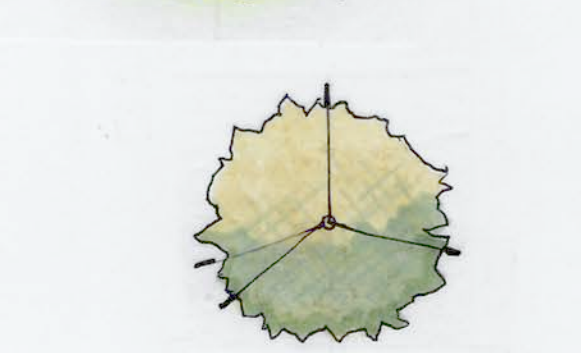
PARKING LOT TREE – Acer x freemanii 'October Glory' or similar – tree provides great fall color. Fairly fast growing, this large tree will achieve the desired broad scale shade pattern on the horizontal asphalt plane. Spacing and quantity of trees will result in a strong visually unifying statement throughout the core of the project.



INFILL TREE TO AREA ALONG SOUTH PROPERTY LINE – Calocedrus deurrens – Incense Cedar, a coniferous tree native to the West Coast, will provide a suitable, contrasting infill to the grouping of Quercus agrifolia in a beltway of open space.



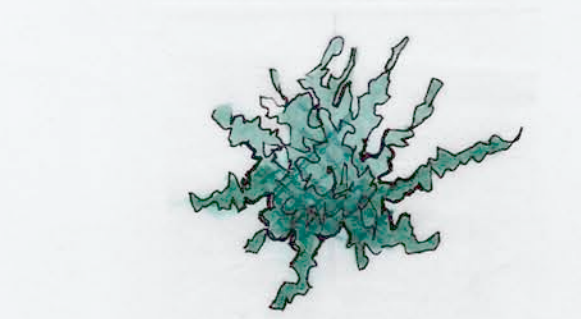
PENINSULA PARKING LOT TREE – Arbutus 'Marina' – broadleaf, evergreen tree with 'umbellata-type' bell shaped flower panicle and smooth mahogany colored trunk, cool to the touch. This evergreen tree will provide a contrast to the adjacent deciduous parking lot tree.



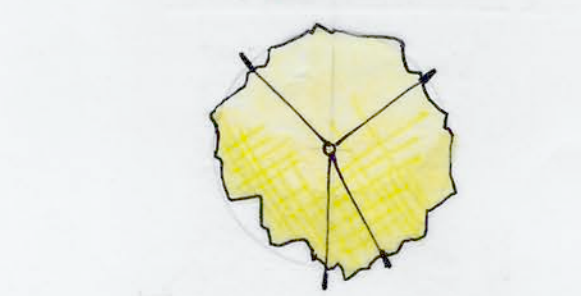
UPRIGHT SCREENING TREE – Carpinus betulus – a dense, pyramidal tree. Although deciduous, without foliage for a limited period of time, the tight, closely spaced branching pattern provides a sense of screening/privacy even when out of leaf.



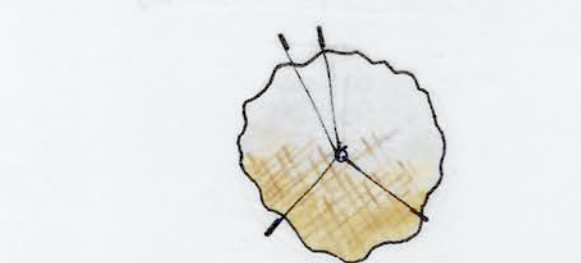
MODERATE SIZE FLOWERING TREE – Lagerstroemia 'Natchez' – a deciduous tree with an exfoliating bark on trunk. This tree, paired at the front corners of the pool area, provides a profusion of white foliage and striking fall color.



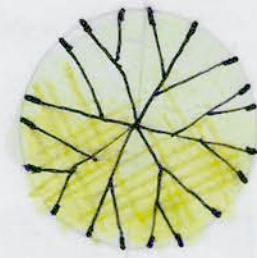
STATUESQUE STATEMENT – Cedrus atlantica 'Glauca' – a conifer tree of an unusual blue-green color hue with a striking branching pattern. This tree will provide added diversity to the plant palette in terms of texture and color.



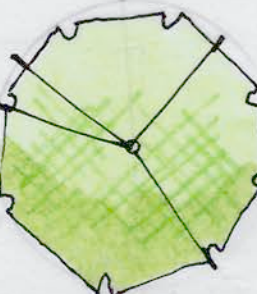
UNIQUE AND COLORFUL – Ginkgo biloba 'Fairmont' – a tree of ancient heritage and unique fan-shaped leaves. The upright form and stiff branching pattern with the brilliant yellow fall color makes this tree suitable for breaking up the massing of a blank building elevation.



STRIKING AND DYNAMIC – Cotinus coggygria 'Grace' – a small low branching tree or large shrub offering up attractive seasonal change in foliage color. The common name, "Smoke Bush" is attributed to a significant puffy bloom in the summer.



SMALL TREE – Acer palmatum or similar - a small deciduous tree suitable for an enclosed courtyard area. The rather light canopy with interesting branching structure will not diminish significantly the amount of natural light shining into residence.



SMALL SIZE FLOWERING TREE – Cercis Canadensis 'Forest Pansy' – a small beautiful, graceful, purple-leafed form that works well in limited areas where appropriate massing is desired.



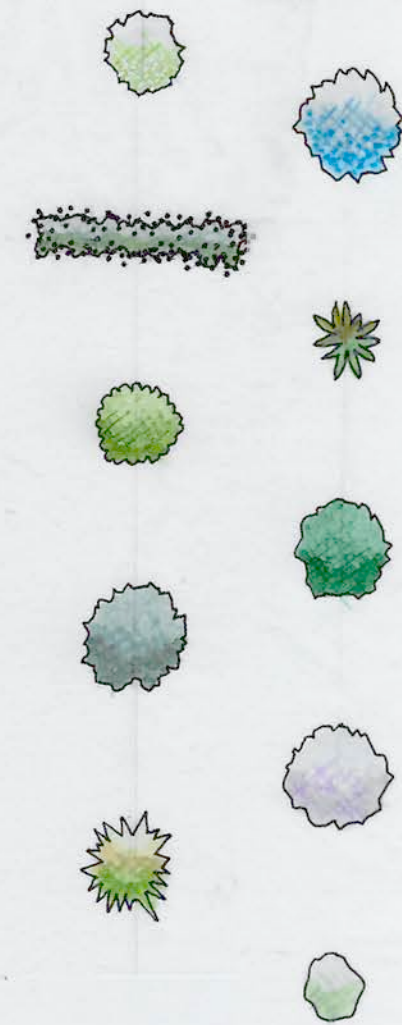
SMALL SIZE FLOWERING TREE – Cornus 'Eddie's White Wonder' – a small white flowering tree with hanging fruit. These special trees will mark the entrances into the pool area.



SMALL TREE – Parrotia persica or similar – a choice colorful tree with good looks in all seasons. This slow growing tree, tolerant of judicious pruning can fill but not over power a small area.



ESPALIER – Malus 'Snowdrift', Apple species, Trachelospermum jasminoides, or similar – plants that are trained by proper pruning to grow flat and horizontal against a vertical surface, allowing planting in narrow areas.



SHRUBS

The intent is to provide a variety of shrubs of various sizes, colors, textures, and/or flowers with the overriding specifications of minimal maintenance and minimal to moderate watering requirements. The design goal is have a composition of plants that create visual interest, of not excessive numbers or varieties, spaced appropriately to avoid excess pruning, "balling", promoting natural forms.

WELO

The overall selection of plant material that makes up the landscape statement will comply with the requirements of the "Water Efficient Landscape Ordinance."



DESIGN
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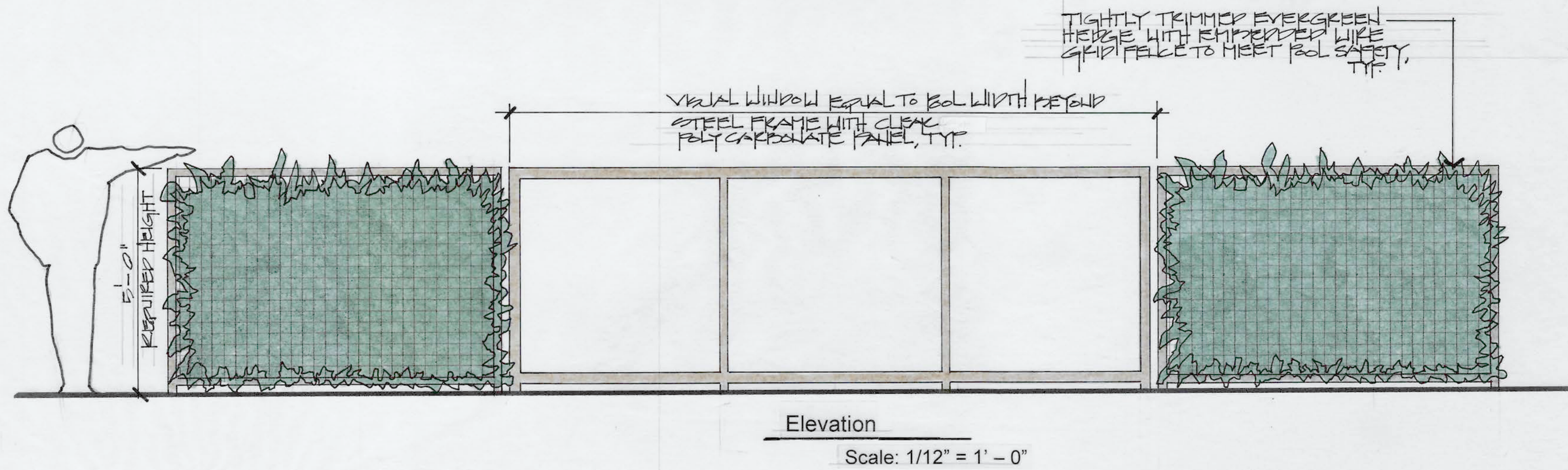
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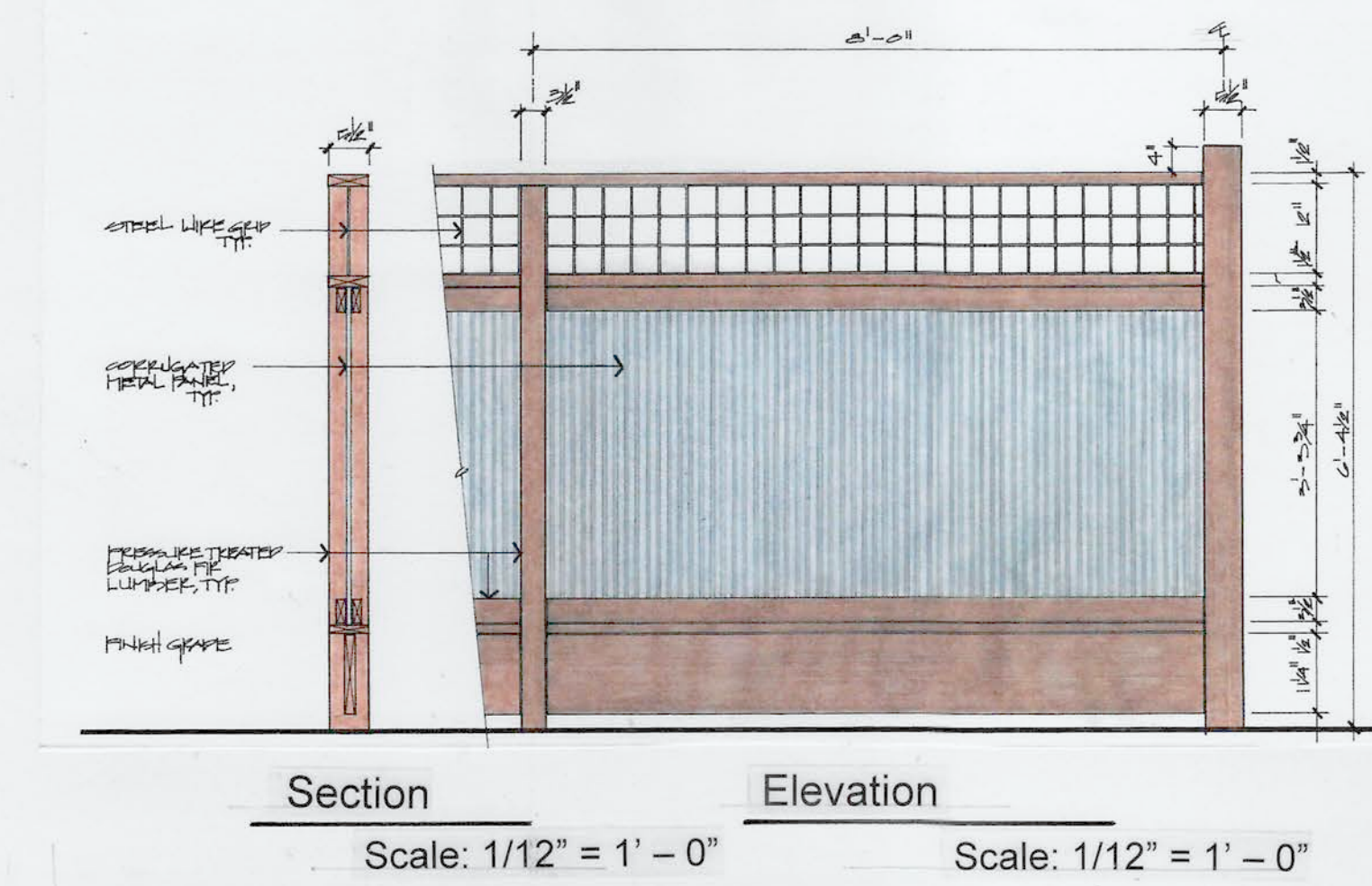
Misc. Landscape
Information

21 December 2023

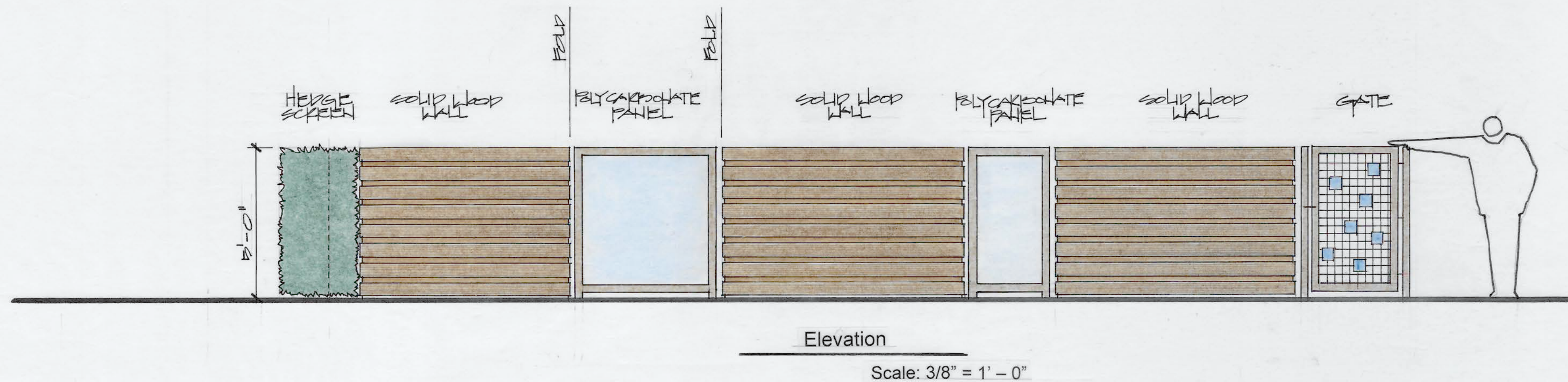
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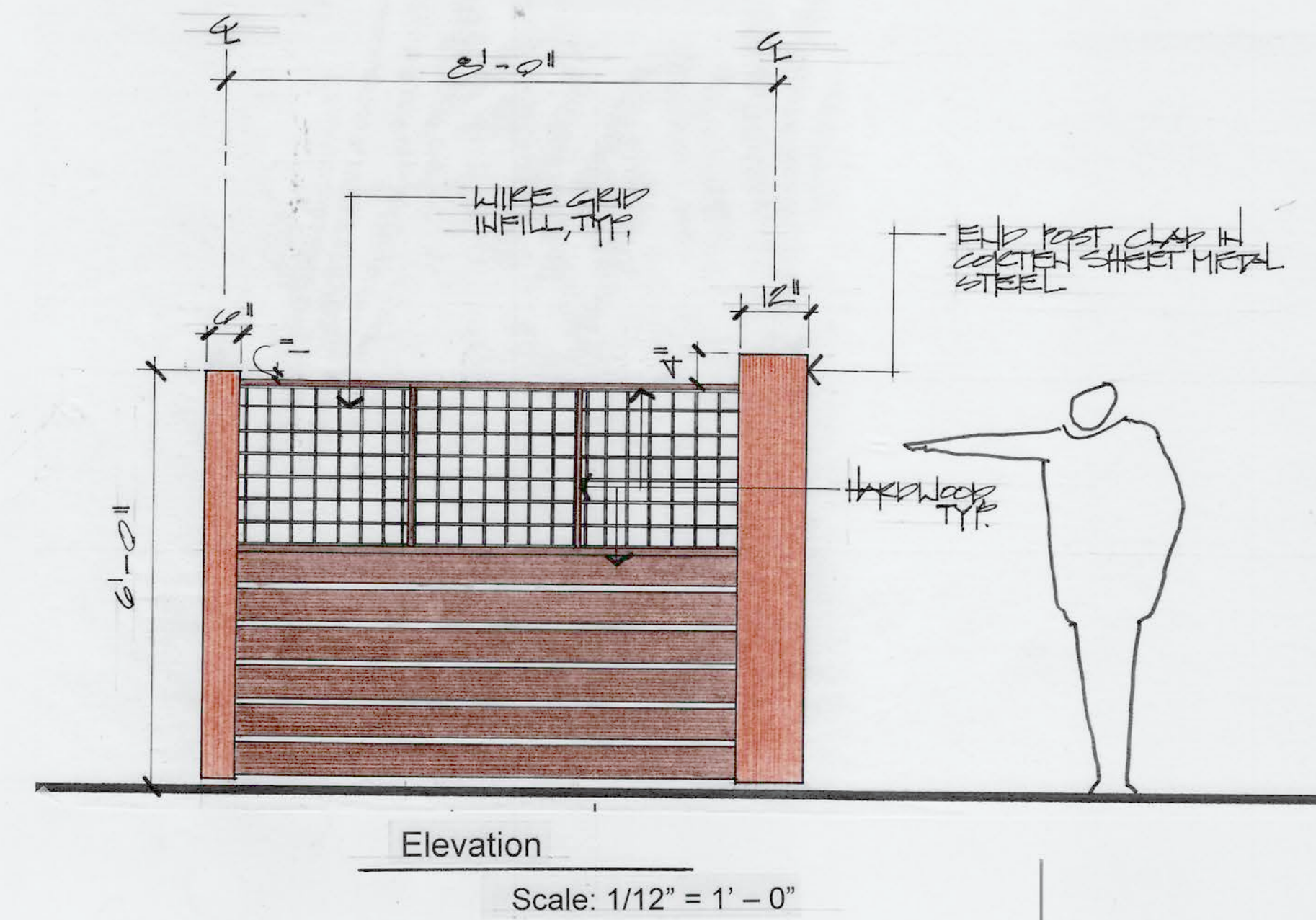
4 Pool Wall – Transparent End



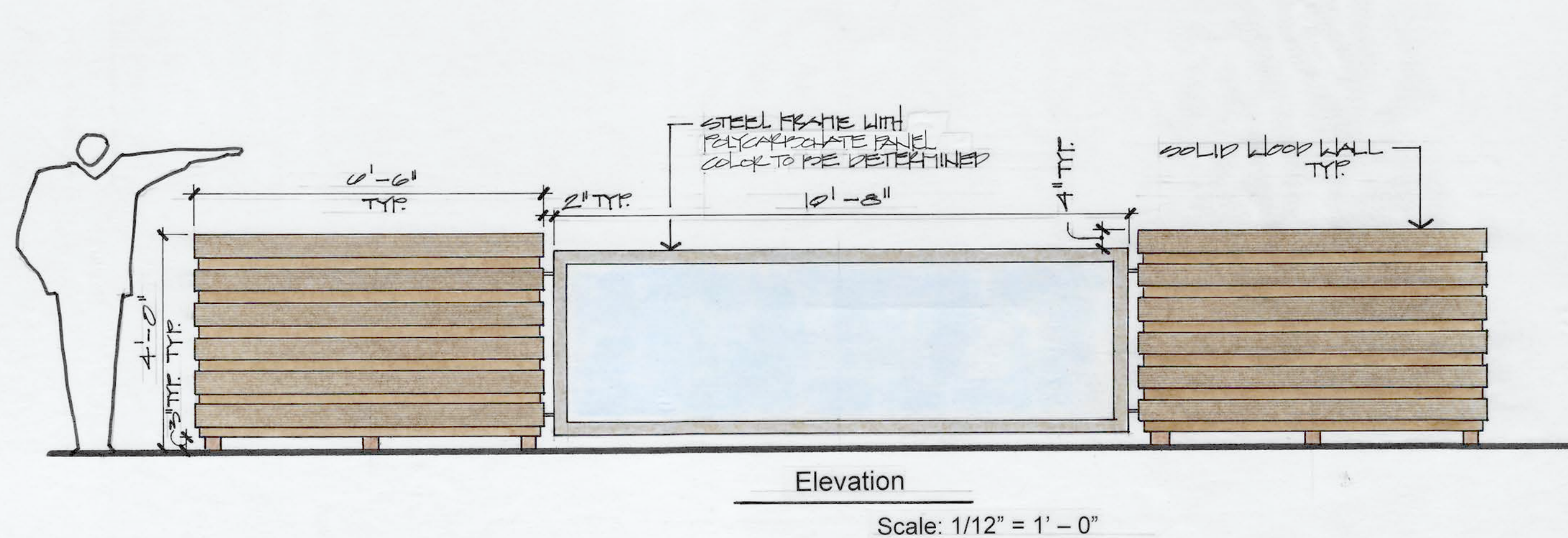
1 Property Line Fence adjacent 216 & 226



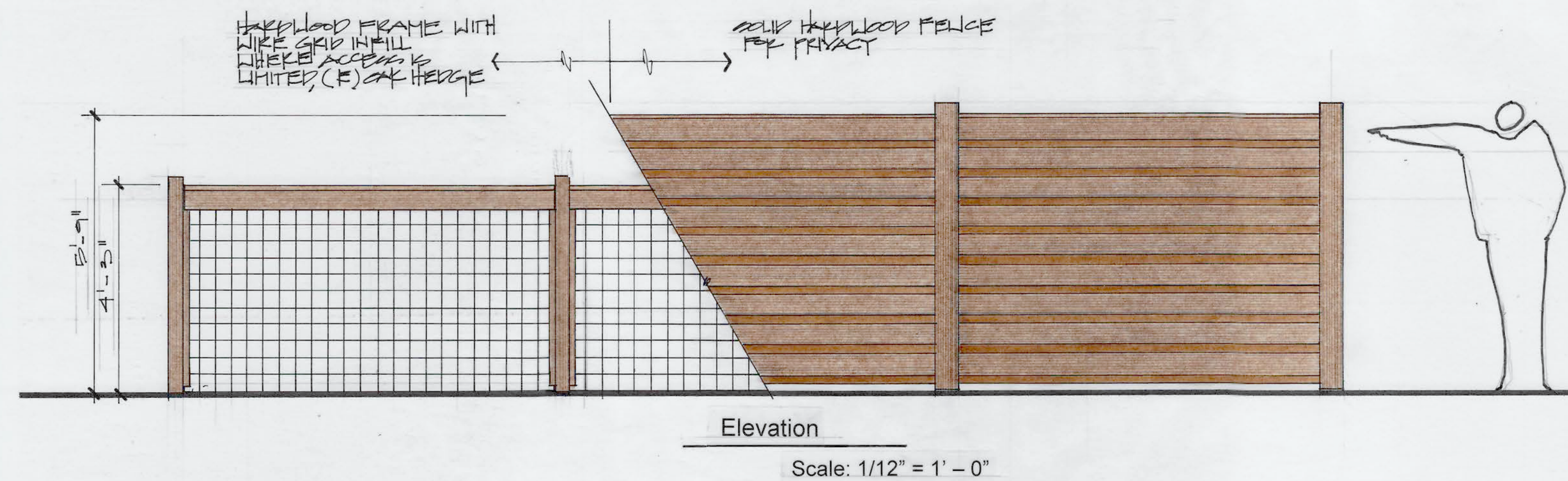
5 Pool Wall – Side Elevation and Gate



2 Vintage House Property Line Fence



6 Private Terrace Wall



3 Backyard Division Fence