

Listing Agent: Kevin Watt (806)778-5072
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Rockwall Square
End Cap
Drive Thru Available



7718 Milwaukee Avenue, Lubbock, TX 79424

Lease Rate: \$24 as is, \$25 PSF with drive thru
Taxes, Insurance, & CAM: \$9.22 PSF (includes trash)
Available Area:..... 2,233 SF
Zoning:..... C-3
Year Built: 2016

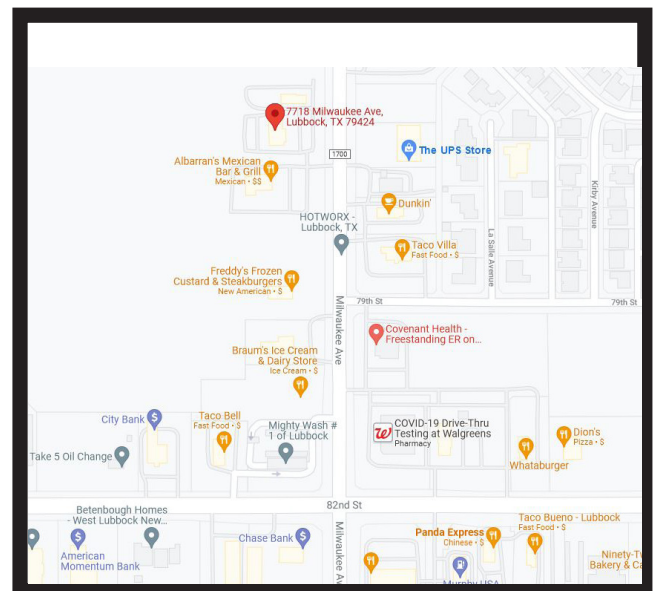
PROPERTY HIGHLIGHTS

- * Just South of Spur 327 and Loop 289.
- * Excellent A+ location on Milwaukee Avenue
- * very high traffic counts @ +/-60k per day.

806.797.3231

4415 71st, Suite 12 • Lubbock, TX 79424 • 806 793-2130 (Fax)

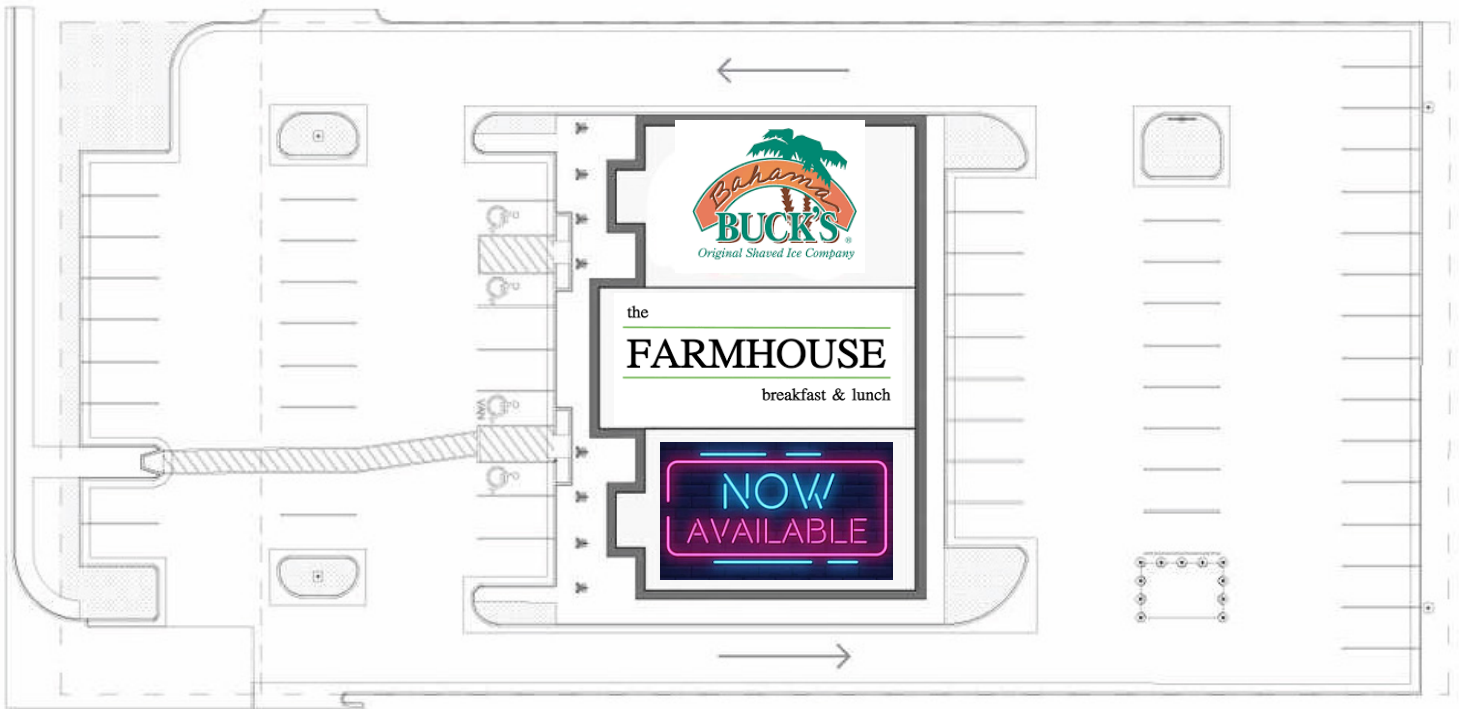
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7718 Milwaukee Avenue



Demographics

7718 Milwaukee Ave, Lubbock, TX
Demographics, Labor/Workforce, and Consumer Expenditures



Demographic Statistics

Proximity:	1 mile	3 miles	5 miles
Total Population:	10,099	60,580	148,661
Median Age:	33.88	35.01	33.75
Households:	3,835	25,357	58,541

Population

Radius:	1 mile	3 miles	5 miles
2023 Projection	12,445	71,758	173,660
2018 Estimate	11,975	68,647	166,154
2015 Estimate	11,482	64,498	156,081
2010 Census	10,099	60,580	148,661
Growth 2018-2023	3.92%	4.53%	4.52%
Growth 2015-2018	4.29%	6.43%	6.45%
Growth 2010-2015	13.69%	6.47%	4.99%



Information About Brokerage Services

Texas law requires all real estate licensees to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Westar Commercial Realty	9008174		(806)797-3231
Licensed Broker /Broker Firm Name or	License No.	Email	Phone
Primary Assumed Business Name			
Bill Young	364208	byoung9478@lubbockwestar.com	(806)797-3231
Designated Broker of Firm	License No.	Email	Phone
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
Kevin Watt	461347	Kevin@lubbockwestar.com	(806)778-5072
Sales Agent/Associate's Name	License No.	Email	Phone

Buyer/Tenant/Seller/Landlord Initials

Date

Regulated by the Texas Real Estate Commission
TXR-2501

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Kevin Watt

Information available at www.trec.texas.gov
IABS 1-0 Date

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