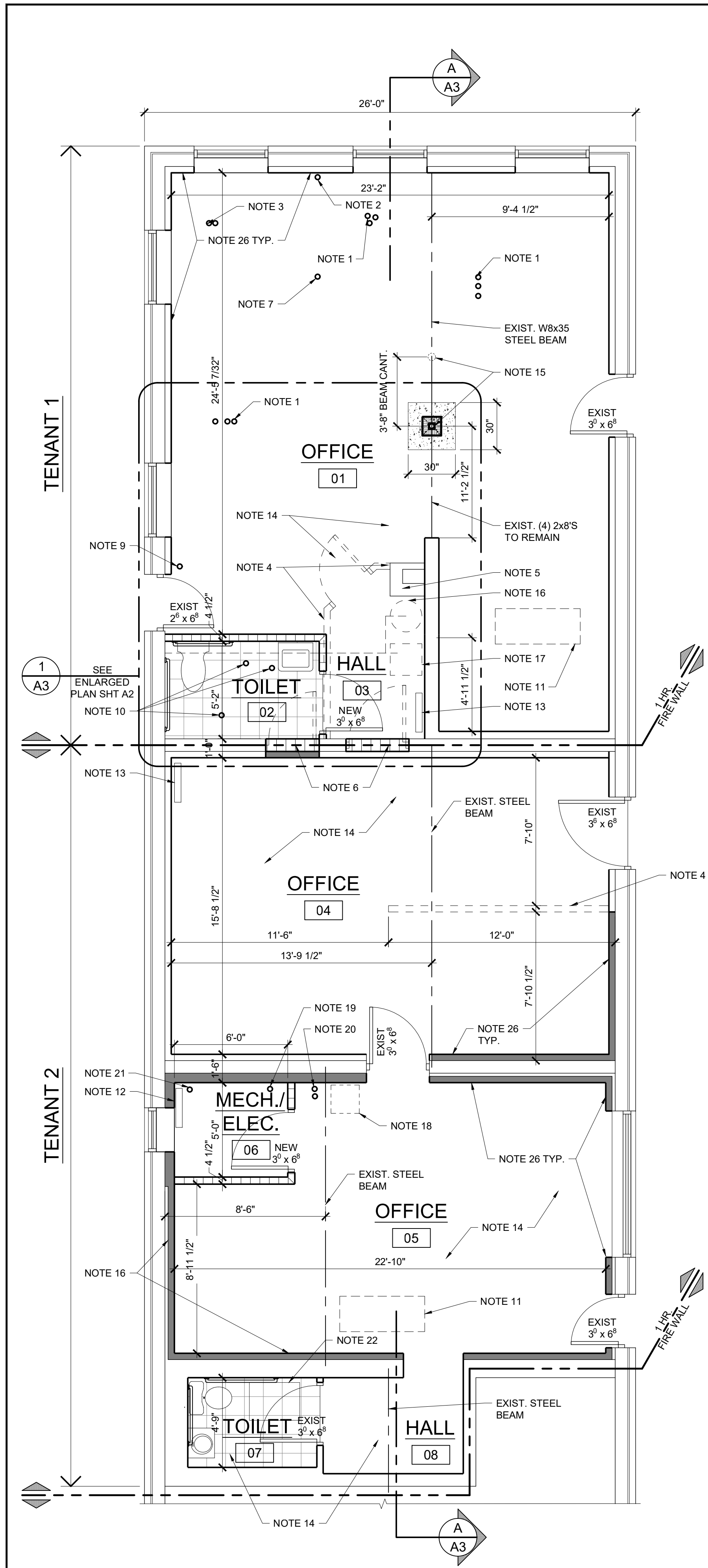
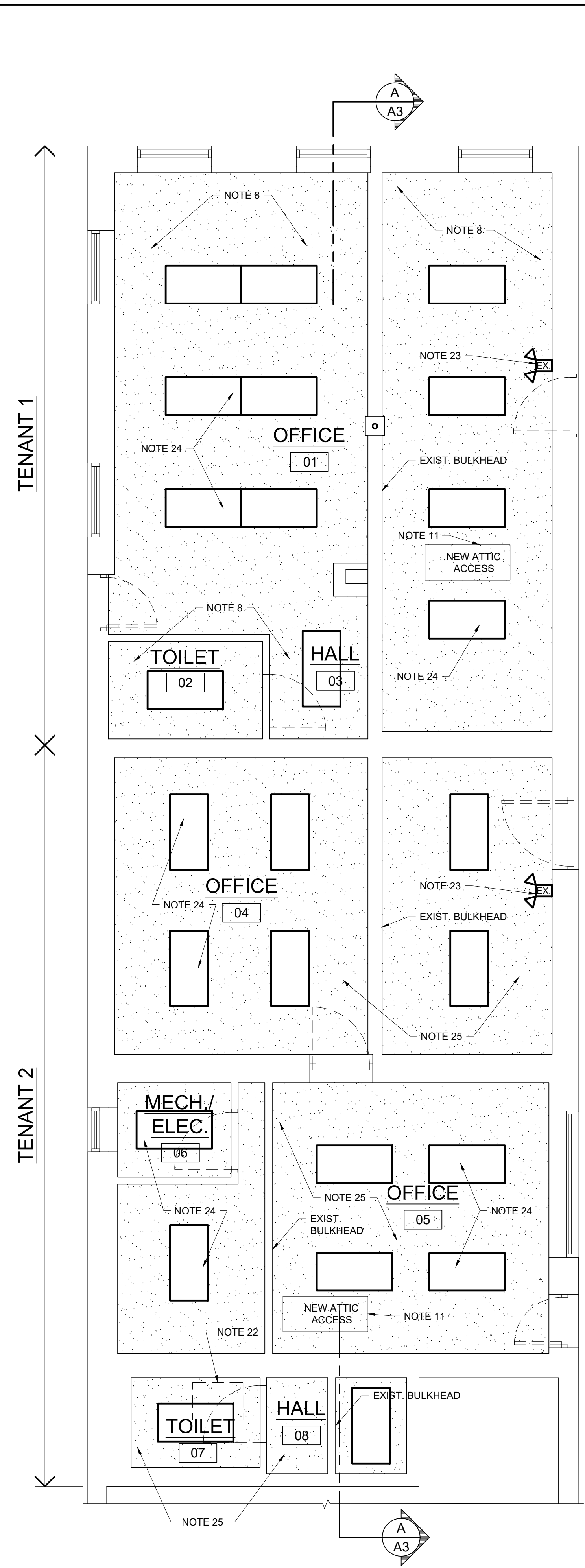




PARTIAL ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



PARTIAL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

- ### CONSTRUCTION NOTES
- ABANDON AND CAP EXIST. ELEC., WATER AND SAN. LINES, BELOW EXIST. CONC. FLOOR. - PATCH CONC. FLOOR SLAB AND FINISH W/ SIMILAR MATERIALS.
 - RELOCATE EXIST. WATER LINE UTILITY INSIDE FURRED OUT WALL/INSULATE. - EXTEND VALVE THRU WALL ON INTERIOR SIDE.
 - ABANDON AND CAP EXIST. ELEC. AND WATER LINES BELOW EXIST. CONC. FLOOR. AND PATCH FLOOR FLUSH WITH SIMILAR MATERIALS.
 - REMOVE EXIST. WOOD STUD WALL, PATCH FLOOR AND CEILING AS REQUIRED TO MATCH EXIST. CONSTRUCTION.
 - REMOVE EXIST. MASONRY CHIMNEY FLU. PATCH FLOOR, ROOF AND CEILING AS REQUIRED TO MATCH EXIST. CONSTRUCTION.
 - REMOVE EXIST. DOOR AND FRAME. CLOSE OPENING FLUSH WITH WALL TO MAINTAIN 1 HR. FIRE TENANT SEPARATION.
 - ABANDON AND CAP EXIST. SANITARY VENT BELOW EXIST. CONC. FLOOR - PATCH FLOOR SLAB WITH SIMILAR MATERIALS.
 - TAPE, MUD, FINISH, PRIME AND PAINT GYP. BD. CEILING.
 - SAWCUT AND REMOVE EXISTING MASONRY WALL. PATCH FLOOR, CEILING FLUSH WITH EXIST.
 - RELOCATE/REWORK EXIST. SANITARY, WATER AND ELECTRICAL AS REQUIRED FOR NEW TOILET ROOM. PATCH FLOOR, CEILING, WALLS FLUSH WITH EXISTING SIMILAR MATERIALS.
 - INSTALL NEW ATTIC ACCESS WITH PULL DOWN LADDER (22.5" X 54" OPENING) - COORDINATE LOCATION W/ OWNER.
 - EXIST. ELECTRICAL BOX TO REMAIN.
 - FURR OUT EXISTING WALLS AS NOTED WITH 2x4" WOOD FURRING AND CLAD WITH 5/8" GYPSUM BOARD - PAINT.
 - REMOVE EXIST. FLOOR FINISH DOWN TO EXIST. CONC. SLAB. PATCH AND LEVEL FLOOR FLUSH AS REQUIRED. INSTALL NEW FLOOR FINISH AS REQUIRED.
 - SAWCUT AND REMOVE EXIST. CONC. FLOOR SLAB AND INSTALL. NEW 30" x 30" x 24" CONC. FOOTING. REMOVE AND RELOCATE EXIST. 3" DIA. STEEL COLUMN TO END OF EXIST. STEEL BEAM.
 - REMOVE EXIST. WATER HEATER.
 - REMOVE EXIST. FURNACE. ABANDON/CAP SUPPLY DUCT UNDER SLAB. PATCH FLOOR SLAB FLUSH WITH SIMILAR MATERIALS.
 - ABANDON/CAP SUPPLY DUCT UNDER SLAB. PATCH FLOOR SLAB FLUSH WITH SIMILAR MATERIALS.
 - EXIST. WATER METER TO REMAIN. REWORK EXIST. SERVICE AND METER TO FIT TIGHT AGAINST THE WALL.
 - CAP/ABANDON EXIST. GAS AND ELECTRIC.
 - TERMINATE EXIST. SANITARY FLUSH WITH EXIST. FLOOR SLAB CAP WITH CLEAN OUT.
 - CLOSE UP EXIST. ATTIC ACCESS IN TOILET ROOM WITH SIMILAR CONSTRUCTION FLUSH EXISTING CEILING.
 - PROVIDE NEW EMERGENCY EGRESS FLOOD LIGHT.
 - INSTALL NEW 2x4" CLG. MOUNTED FLUORESCENT TROFFER WITH ACRYLIC LENS - COORDINATE LOCATION WITH OWNER.
 - PATCH AND REPAIR FLUSH WITH EXISTING FAR LEVEL SURFACE (INSTALL NEW GYP. BD. AS REQUIRED). PRIME/PAINT
 - INSTALL NEW ELECTRICAL WALL RECEPTILES AS DIRECTED BY OWNER. INSTALL IN ACCORDANCE W/ 2012 ELECTRICAL CODE.

ROOM FINISH SCHEDULE																
ROOM NAME AND NUMBER	FLOOR	BASE	MATERIAL						FINISH						REMARKS	
			N. WALL	E. WALL	S. WALL	W. WALL	CEILING	CL.G HT.	FLOOR	BASE	N. WALL	E. WALL	S. WALL	W. WALL		CEILING
01 OFFICE	C	V	GB	GB	GB	GB	GB	7'-9"	CA	*	P	P	P	P	P	
02 TOILET	C	V	CT ¹ _{GB}	CT ¹ _{GB}	CT ¹ _{GB}	CT ¹ _{GB}	GB	7'-9"	VT	*	P	P	P	P	P	
03 HALL	C	V	GB	GB	GB	GB	GB	7'-9"	CA	*	P	P	P	P	P	
04 OFFICE	C	V	GB	GB	GB	GB	GB	7'-9"	CA	*	P	P	P	P	P	
05 OFFICE	C	V	GB	GB	GB	GB	GB	7'-9"	VT	*	P	P	P	P	P	
06 MECH./ELEC.	C	V	GB	GB	GB	GB	GB	7'-9"	CA	*	P	P	P	P	P	
07 TOILET	C	V	CT ¹ _{GB}	CT ¹ _{GB}	CT ¹ _{GB}	CT ¹ _{GB}	GB	7'-9"	VT	*	P	P	P	P	P	
08 HALL	C	V	GB	GB	GB	GB	GB	7'-9"	CA	*	P	P	P	P	P	

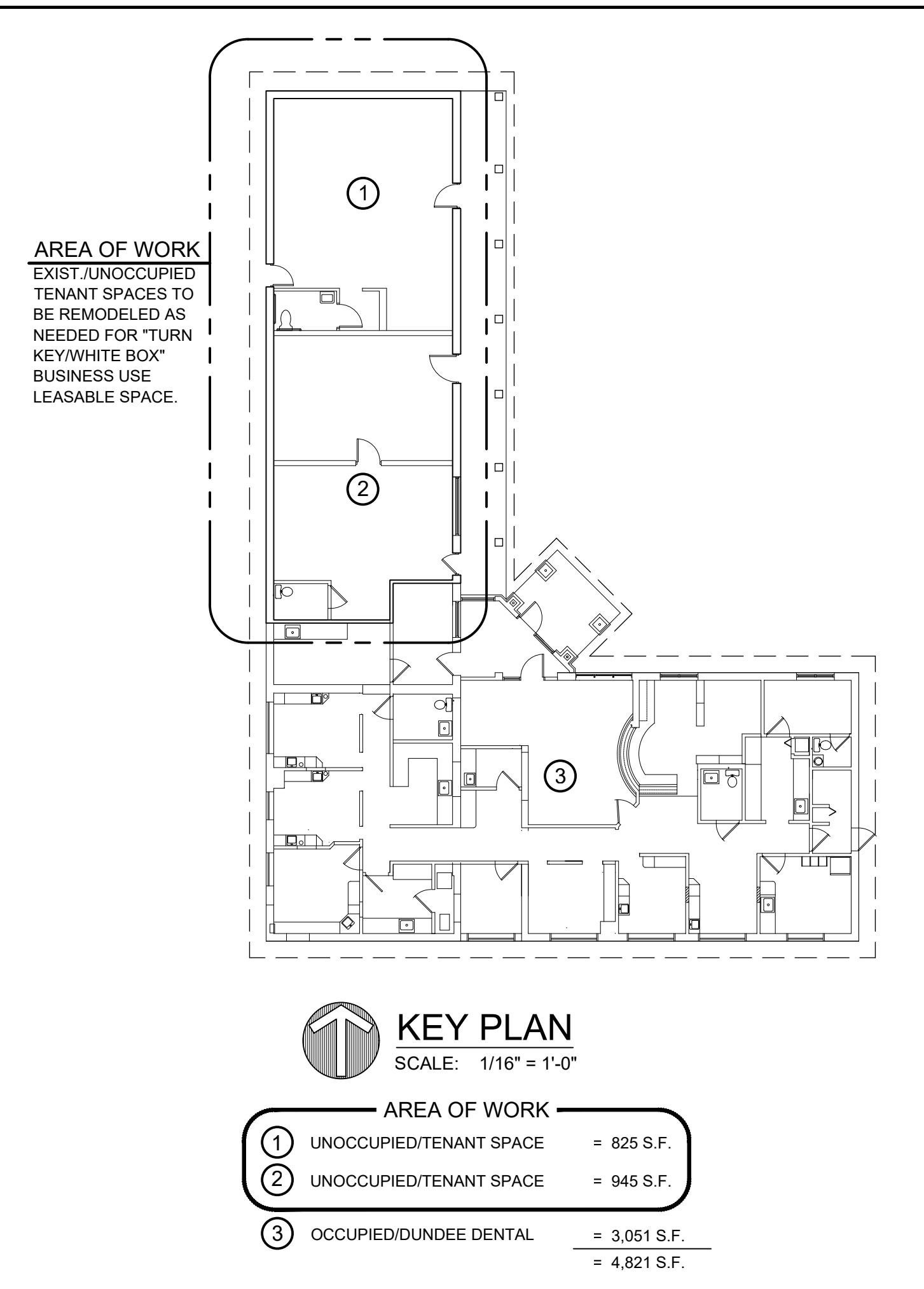
ABBREVIATIONS:

C	CONCRETE	GB	GYPSUM BOARD	V	4" VINYL BASE
CA	CARPET	MR	MOISTURE RESISTANT GYPSUM BOARD	VT	VINYL COMPOSITION TILE
CB	CONCRETE BLOCK	MRT	MOISTURE RESISTANT 2'x2' STD. SUSP. ACoustical TILE	P	PAINT
CT	CERAMIC TILE				
HM	HOLLOW METAL				

FINISH NOTES:

1. ALL SURFACES BELOW 4'-0" IN TOILET ROOM TO BE MOISTURE RESISTANT FINISH.

- ### WALL LEGEND
- PARTITION WALLS : 2x4" WOOD STUDS @ 16" O.C. APPLY 5/8" GYPSUM BOARD BOTH SIDES - FULL HEIGHT OF WALL AND PAINT - TYPICAL.
- EXISTING WALLS : TO REMAIN, REFINISH/PAINT AS DIRECTED BY OWNER. FIXTURES TO BE REMOVED, RELOCATE, OR ABANDON ALL ELECTRICAL AND / OR MECHANICAL OUTLETS, SWITCHES, FIXTURES ETC. ASSOCIATED WITH REMOVED WALLS AS REQUIRED.
- FURRED OUT EXISTING WALL : PATCH AND FINISH FURRED OUT WALL - PAINT
- FURRED OUT EXISTING WALLS : FURR OUT EXISTING WALLS AS NOTED WITH 2x4" WOOD FURRING AND CLAD WITH 5/8" GYPSUM BOARD - PAINT.
- REMOVED WALLS : REMOVE EXISTING WALL AS NOTED - PATCH FLOOR, WALL AND CEILING AS REQUIRED TO MATCH NEW CONSTRUCTION.
- ### CONSTRUCTION NOTES:
- PROVIDE AND INSTALL ALL REQUIRED BRACING, FIRE BLOCKING, BACK-UP BLOCKING, AND MISC. FRAMING NEEDED WHERE WALLS ARE REMOVED OR CONSTRUCTED ADJACENT TO EXISTING. INSTALL FIREBLOCKING AT ALL CEILING LINES AND MAX. 10 FEET ABOVE FLOOR IN ALL WALLS.
 - ALL FINISHES (FLOORS, BASE, WALLS AND CEILINGS) SHALL BE AS SELECTED BY OWNER.
 - PAINT ALL EXPOSED EXIST. AND NEW WALLS/CEILINGS IN COLORS AS SELECTED BY OWNER, UNLESS NOTED OTHERWISE. (TAPE, MUD, SAND ALL GYP. BD. JOINTS AS REQUIRED PRIOR TO PRIMER COAT.
 - MAINTAIN CURRENT FIRE OCCUPANCY AND TENANT BARRIERS AS REQUIRED TO DO THIS WORK.
 - CONTRACTOR TO VERIFY INFIELD ALL DOOR OPENINGS MEET ADA GUIDELINES - SEE TYP. DETAILS SHEET A2.
 - TENANT SEPARATION WALLS : 2x4 WOOD STUDS @ 16" O.C. 5/8" SHEETROCK FIRECODE CORE GYP. BOARD, JOINTS FINISH FULL HT. TO UNDERSIDE OF ROOF DECK (UL DES. U344)



KEY PLAN
SCALE: 1/16" = 1'-0"

AREA OF WORK

1	UNOCCUPIED/TENANT SPACE	= 825 S.F.
2	UNOCCUPIED/TENANT SPACE	= 945 S.F.
3	OCCUPIED/DUNDEE DENTAL	= 3,051 S.F.
		= 4,821 S.F.



DRAWING INDEX

SHEET	DESCRIPTION
A1	GENERAL NOTES, DRAWING INDEX, KEY PLAN, ROOM FINISH SCHEDULE, WALL LEGEND, ENLARGED FLOOR PLAN, REFLECTED CEILING PLAN, CONSTRUCTION NOTES
A2	ENLARGED TOILET ROOM PLAN, CONSTRUCTION NOTES, MATERIALS STRENGTHS AND NOTES, DOOR MANEUVERING SCHEDULE, SECTION A-A, CODE REVIEW

- ### GENERAL NOTES
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE SECTIONS OF THE FEDERAL, STATE AND LOCAL BUILDING CODES, ZONING ORDINANCES, HEALTH AND FIRE REGULATIONS AS ADOPTED BY THE LOCAL GOVERNING BUILDING AUTHORITY.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY BUILDING PERMITS FROM ALL GOVERNING AGENCIES INCLUDING THE CITY / TOWNSHIP AND SUBMIT FOR THEIR USE ANY CERTIFICATES OF INSURANCE, BONDS, ESCROW ACCOUNTS, LICENSES, PAY ALL FEES OBTAIN ALL APPROVALS, ETC. ALL AS MAY BE REQUIRED TO COMPLETE THIS PROJECT.
 - CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK.
 - DETAIL SYMBOL DETAIL NUMBER SHEET REFERRED TO OR FROM
 - THESE DOCUMENTS ARE DEVELOPED TO PROVIDE THE CONTRACTOR WITH A WORKING KNOWLEDGE OF THE SYSTEMS TO BE INSTALLED AND SCOPE OF WORK. WHERE THESE DETAILS ARE IN CONFLICT WITH THE STANDARD DETAILS OR SPECIFICATIONS OF THE MANUFACTURED COMPONENT, OR AFFECT THE GUARANTEE, THEY SHALL BE MODIFIED AS REQUIRED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT.
 - PROVIDE AND MAINTAIN SUITABLE TEMPORARY FENCES, BARRICADES, LIGHTS, WARNINGS, ETC. FOR PROTECTION OF PUBLIC AND OTHERS HAVING ACCESS TO THE SITE. CONTRACTOR SHALL KEEP CLEAN AND ADEQUATELY PROTECT ALL STREETS, DRIVES, WALKS, BLDGS, ETC., FROM DAMAGE DUE TO ANY ITEM INVOLVED WITH THIS WORK. ANY DAMAGED WORK SHALL BE REPLACED / REPAIRED AT CONTRACTORS EXPENSE.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BY CONTACTING "MISS DIG", RESPONSIBLE UTILITY COMPANY, REVIEW ALL SURVEYS, AS BUILT DRAWINGS, AND SEEK ANY OTHER INFORMATION FROM THE OWNER, PRIOR TO BEGINNING EXCAVATIONS.

INTERIOR ALTERATIONS
AT
DUNDEE DENTAL
424 MONROE STREET, DUNDEE, MI 48131
FOR
DR. DAVID REPASKY, DDS

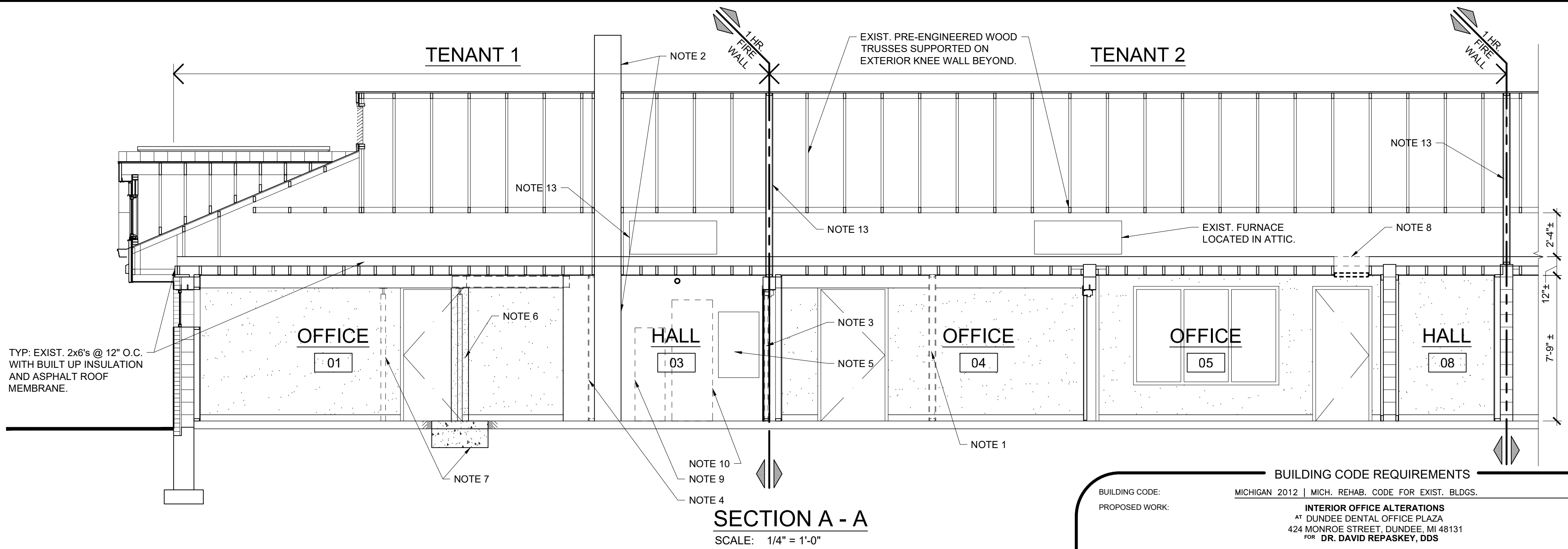
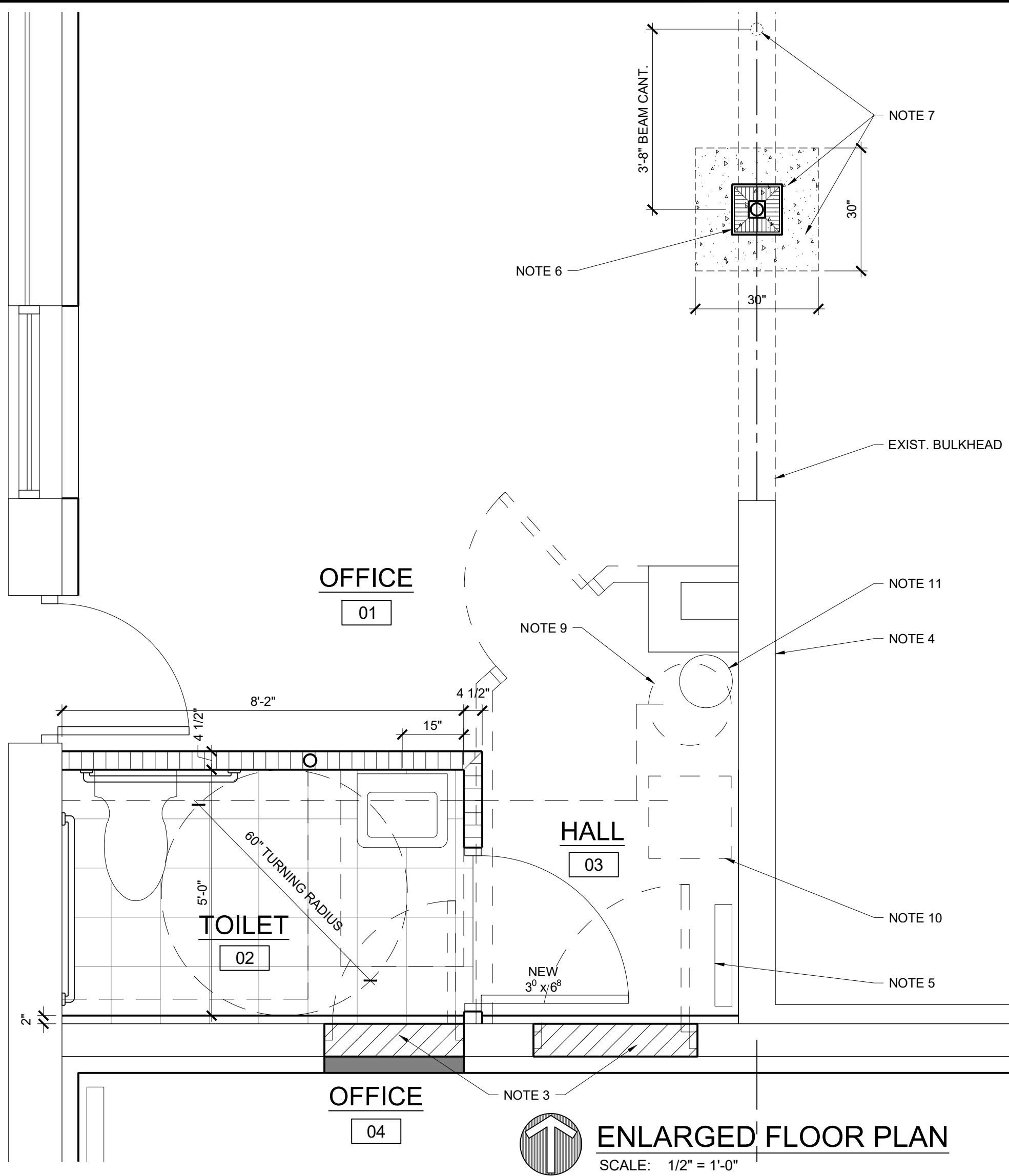
DR. NAF CK. KJK

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1/10/2017 OWNER REVIEW
DATE STATUS
JOB **1679**
SHEET **A1** OF 2

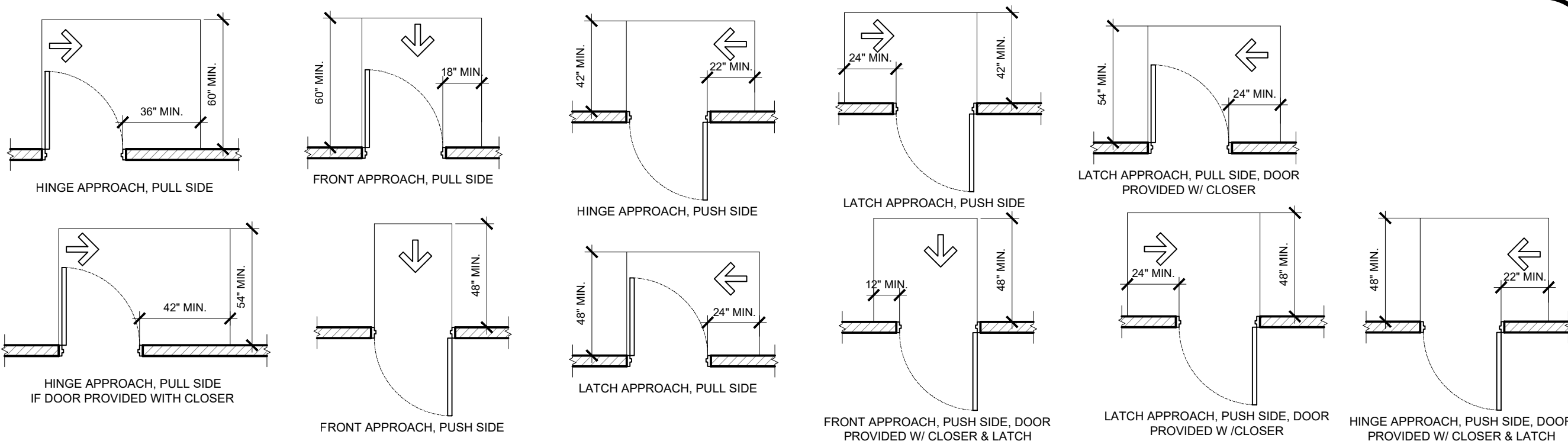


- CONSTRUCTION NOTES**
- REMOVE EXIST. WOOD STUD WALL. PATCH FLOOR AND CEILING AS REQUIRED TO MATCH EXIST. CONSTRUCTION.
 - EXIST CHIMNEY MASONRY FLU TO REMAIN. PATCH FLOOR, ROOF AND CEILING AS REQUIRED TO MATCH EXIST. CONSTRUCTION.
 - REMOVE EXIST. DOOR AND FRAME. CLOSE OPENING FLUSH WITH EXIST. WALL TO MAINTAIN 1 HR. FIRE TENANT SEPARATION.
 - REMOVE EXISTING INTERIOR WOOD FRAME WALL. PATCH FLOOR AND CEILING FLUSH WITH SIMILAR MATERIALS.
 - EXIST. ELECTRICAL BOX TO REMAIN.
 - FURR OUT NEW 3" DIA. COLUMN WITH 2x4" WOOD FURRING AND CLAD WITH 5/8" GYPSUM BOARD - PAINT.
 - SAWCUT AND REMOVE EXIST. CONC. SLAB AND INSTALL NEW 30" x 30" x 24"TK FOOTING - REMOVE AND RELOCATE EXIST. 3" DIA. STEEL COLUMN AS NOTED.
 - INSTALL NEW ATTIC ACCESS WITH PULL DOWN LADDER (22.5" X 54" OPENING) - COORDINATE LOCATION W/ OWNER.
 - REMOVE EXIST. DOMESTIC WATER HEATER IN THIS AREA. DISCONNECT AND REROUTE ASSOCIATED WATER AND ELEC. WIRING TO NEW AS REQUIRED.
 - REMOVE EXIST. FURNACE. ABANDON/CAP EXIST. SUPPLY DUCT UNDER SLAB. PATCH FLOOR SLAB FLUSH WITH EXIST. SIMILAR MATERIALS.
 - INSTALL NEW TANKLESS GAS DOMESTIC WATER HEATER MOUNTED ON WALL - COORDINATE LOCATION WITH OWNER. 3" VENT AND 3" COMBUSTION AIR UP TO CONCENTRIC TERMINATION THROUGH ROOF.
 - NEW TENANT SEPARATION WALLS IN ATTIC. EXTEND WALL BELOW UP THROUGH ATTIC AREA FOR 1HR. SEPARATION. 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" SHEETROCK FIRECODE CORE GYP. BD. FINISH JOINTS FULL HEIGHT.
 - INSTALL NEW FURNACE IN ATTIC. REWORK ASSOCIATED GAS, ELECTRICAL, FLUE THRU ROOF, ETC AS REQUIRED TO MEET CODE. (INSTALL AND ROUTE MECH. SUPPLY DUCT THRU ATTIC AND DROP DOWN TO BELOW - INSULATE AS REQUIRED.)

MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

TYPE OF USE		MINIMUM MANEUVERING CLEARANCE	
APPROACH DIRECTION	DOOR OR GATE SIDE	PERPENDICULAR TO DOORWAY	PARALLEL TO DOORWAY (BEYOND LATCH SIDE UNLESS NOTED)
FROM FRONT	PULL	60 INCHES	18 INCHES
FROM FRONT	PUSH	48 INCHES	0 INCHES (1)
FROM HINGE SIDE	PULL	60 INCHES	36 INCHES
FROM HINGE SIDE	PULL	54 INCHES	42 INCHES
FROM HINGE SIDE	PUSH	42 INCHES (2)	22 INCHES (3)
FROM LATCH SIDE	PULL	48 INCHES (4)	24 INCHES
FROM LATCH SIDE	PUSH	42 INCHES (4)	24 INCHES

- (1) ADD 12 INCHES IF CLOSER AND LATCH ARE PROVIDED.
(2) ADD 6 INCHES IF CLOSER AND LATCH ARE PROVIDED.
(3) BEYOND HINGE SIDE.
(4) ADD 6 INCHES IF CLOSER IS PROVIDED.



MATERIAL STRENGTHS AND NOTES

MISCELLANEOUS

- DISCREPANCIES BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS SHALL BE BROUGHT TO ATTENTION OF ARCHITECT. ARCHITECTURAL PLANS SHALL GOVERN UNLESS STRENGTH OF STRUCTURE IS ADVERSELY AFFECTED.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, INTERFERENCES AND CONDITIONS PRIOR TO STARTING FABRICATION OR CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER.
- DO NOT BACK FILL AGAINST BASEMENT WALLS UNTIL FLOOR SLAB/DECKS HAVE BEEN CONSTRUCTED.
- SOIL BEARING CAPACITIES USED FOR STRUCTURAL DESIGN:
STRIP FOOTINGS: 2000 PSF
COLUMN FOOTINGS: 2000 PSF
VERIFY BEARING CAPACITY OF SOIL AT BOTTOM OF EXCAVATIONS BEFORE CONSTRUCTING FOOTING.
- STRUCTURAL DESIGN LOAD DATA
FLOOR LOAD: CONCRETE - 100 PSF. L.L. + 40 PSF. D.L.
WOOD - 100 PSF. L.L. + 25 PSF. D.L.
CEILING: 10 PSF. D.L.
WIND: 100 PSF. L.L. + 40 PSF. D.L.
RESIDENTIAL:
ROOF LOAD:
ROOFSNOW LOAD: PG = 25 PSF. L.L.
GROUND SNOW LOAD: PF = 30 PSF. L.L.
FLAT ROOF SNOW LOAD: 15 PSF.
SNOW EXPOSURE FACTOR: CE = 0.7
SNOW LOAD IMPORTANCE FACTOR: I = 1.0
WIND LOAD:
BASIC WIND SPEED: 90 MPH
WIND LOAD IMPORTANCE FACTOR: I = 1.0
WIND EXPOSURE: B
SEISMIC IMPORTANCE: I = 1.0
- ROOFING SHALL BE MINIMUM 15# FELT WITH MINIMUM 23#/SQ. CLASS 'A' SHINGLES AND GALVANIZED NAILS. ALL EAVES TO HAVE ICE-GUARD BARRIER FROM EAVE TO MINIMUM 2 FEET INSIDE WARM INTERIOR SIDE OF WALL MEASURED HORIZONTALLY.

WOOD

- ALL WOOD MATERIALS INCLUDING FRAMING SHALL BE SIZED, BRACED, ANCHORED, ASSEMBLED, ETC. IN ACCORDANCE WITH THE REQUIREMENTS OF THE MICHIGAN BUILDING CODE. RAFTERJOISTS SHALL BE 100# PSI BENDING, KILN DRIED, #2 GRADE OR BETTER. STUDS SHALL BE STUD GRADE. ALL PLATES ON CONCRETE OR WITHIN 8" OF EXTERIOR GRADE SHALL BE TREATED. ALL WOOD EXPOSED TO EXTERIOR ELEMENTS SHALL BE TREATED UNLESS NOTED OTHERWISE.
- TRUSSES SHALL BE PRE-ENGINEERED WITH LOAD DIAGRAMS SUBMITTED TO THE GOVERNING BUILDING AUTHORITY FOR PERMITS. SEALED BY A LICENSED PROFESSIONAL, REGISTERED IN THE STATE OF MICHIGAN. DESIGN LOADS SHALL BE AS STATED ELSEWHERE WITH 10 PSF ON BOTTOM CHORD UNLESS NOTED OTHERWISE. DEFLECTION SHALL BE MAXIMUM OF 1/360 OF CLEAR SPAN.
- ROOF SHEATHING SHALL BE 5/8" THICK SQUARE EDGE CDX PLYWOOD OR 5/8" OSB BOARD (ORIENTED STRAND BOARD). EXTERIOR WALL SHEATHING TO BE EITHER 1/2" CDX PLYWOOD OR 7/16" OSB BOARD (ORIENTED STRAND BOARD) WITH SQUARE EDGE. ATTIC WALKWAYS TO BE 3/4" CDX GRADE 6 PLY. PROVIDE AND INSTALL GALVANIZED PLYWOOD CLIPS ON ALL ROOF SHEATHING EVEN IF NOT REQUIRED BY CODE WHEN FRAMING MEMBERS ARE 24" O.C.
- ANCHORS FOR FRAMING SHALL BE PER MICHIGAN BUILDING CODE REQUIREMENTS FOR PARTICULAR APPLICATION, AS WELL AS RECOMMENDED BY THE LUMBER MANUFACTURER AND AMERICAN PLYWOOD ASSOCIATION. SCREWS FOR INTERIOR WOOD SUB-FLOORING SHALL BE TEMPERED PHILLIPS HEAD, SELF-TAPPING DECK SCREWS - BLUE FINISH. ALL METAL SUPPORTS FASTENERS AND ANCHORS, INCLUDING TRUSSES AND FASTENERS THAT COME IN CONTACT WITH THE TREATED WOOD SHALL BE CORROSION RESISTANT SUCH AS STAINLESS STEEL, EPOXY COATED STEEL AND AS APPROVED BY THE TREATED WOOD MANUFACTURER. MANUFACTURERS FOR HANGERS, BRACKETS, CLIPS, ETC. SHALL BE SIMPSON, KANT-SAG OR APPROVED EQUAL. THE FOLLOWING MODEL NUMBERS REFER TO SIMPSON TRUSSBRACERS TO WALL + TWISTED STRAP ANCHOR 8" ON RAFTER AND 12" ON WALL. NUTS 18 - 16 GA COLUMN TO FOOTING + EMBED IN CONCRETE @ 850 X SIZE OF COLUMN - SD52, 7 GA. WITH A 1" RAISED METAL PLINTH BASE. JOISTS TO BEAM PLATE + TWISTED STRAP ANCHOR #H 2.5A - 16 GA. JOIST TOP FLANGE HANGER - #6 X SIZE OF JOIST - 14 GA.
- EXTERIOR ANCHORS - BOLTS AND SCREWS FOR ANCHORING TREATED FRAMING TO POSTS SHALL BE STAINLESS OR EPOXY COATED STEEL, 1/2" DIAMETER MINIMUM THRU BOLTS AND NUTS WITH WASHERS BOTH SIDES - MINIMUM OF TWO BOLTS PER BOARD WITH PER POST, DECKING, RAILINGS, PICKETS AND ALL OTHER MEMBERS SHALL BE ANCHORED WITH APPROVED STAINLESS OR EPOXY COATED STEEL DECK SCREWS PER BOARD WITH PER JOISTS. SCREWS SHALL PENETRATE INTO SUBSTRATE MINIMUM OF 1" TO 1-1/4" DEPTH. PRE-DRILL MEMBERS AS REQUIRED, TO ELIMINATE SPLITTING OF WOOD.
- PRE-ENGINEERED STRUCTURAL COMPONENTS SHALL BE AS ENGINEERED AND MANUFACTURED BY THE SAME COMPANY THROUGHOUT PROJECT AND MEET OR EXCEED ALL APPLICABLE CODE REQUIREMENTS AND DESIGN LOADS/CONDITIONS AS HEREIN SPECIFIED. FLOOR JOISTS TO BE AS MANUFACTURED BY GEORGIA PACIFIC CORPORATION, TRUS-JOIST MACMILLAN, JAGER BUILDING SYSTEMS, OR APPROVED EQUAL AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS. TYPICAL OF L.V.L. MEMBERS, E = 2.0

STRUCTURAL STEEL

- CONFORM TO LATEST EDITION OF FOLLOWING STANDARDS:
SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN, AISC
SPECIFICATION FOR ALLOWABLE STRESS DESIGN OF SINGLE-ANGLE MEMBERS, AISC
DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, ACI 315
GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION, ACI 302.1R
PLACING REINFORCING BARS, CRSI
- CONCRETE COMPRESSIVE STRENGTH, UNLESS INDICATED:
GENERAL USE: 4000 PSI
SLAB-ON-GRADE: 4000 PSI
CONCRETE EXPOSED TO WEATHER SHALL HAVE 4% - 6% AIR ENTRAINMENT.
- REINFORCEMENT:
BARS: ASTM A601, GRADE 60
WELDED WIRE FABRIC (WWF): ASTM A185
- LAP REINFORCING BARS AS SHOWN, BUT NOT LESS THAN 36 BAR DIAMETERS. PROVIDE CORNER BARS EQUIVALENT IN SIZE AND NUMBER TO HORIZONTAL BARS AT CORNERS OF WALLS AND WALL FOOTINGS AND LAP WITH HORIZONTAL REINFORCEMENT. LAP WELDED WIRE FABRIC MINIMUM OF ONE WIRE SPACING PLUS 2".
- PROVIDE DOWELS IN COLUMN AND WALL FOOTINGS EQUIVALENT IN SIZE AND NUMBER TO VERTICAL BARS IN WALLS. EXTEND DOWELS 24 BAR DIAMETERS INTO FOOTING AND 24 BAR DIAMETERS INTO WALL OR COLUMN.
- PROVIDE REINFORCEMENT IN TOP OF INTERIOR WALL FOOTINGS CENTERED UNDER DOOR AND OTHER OPENINGS EQUIVALENT IN SIZE AND NUMBER TO BOTTOM REINFORCEMENT AND 4 FEET LONGER THAN OPENING.
- MINIMUM REINFORCEMENT UNLESS NOTED OTHERWISE:
WALLS 8" OR LESS IN THICKNESS: #5 @ 12" EACH WAY CENTERED IN WALL.
#5 @ 12" EACH WAY IN EACH FACE.
#6" - W1.4XW1.4 W.W.F. UNLESS OTHERWISE NOTED
- SLABS ON GRADE OR SLABS ON JOIST:
- CLEAR CONCRETE COVER ON REINFORCEMENT UNLESS NOTED:
CONCRETE DEPOSITED AGAINST GROUND:
FORMED SURFACES EXPOSED TO WEATHER OR EARTH:
3"
1-1/2" FOR #5 & SMALLER
2" FOR #6 BARS & LARGER
- ALL OTHER SURFACES:
SLABS, WALLS AND JOISTS:
3/4"
1-1/2"
- BEAMS, GIRDERS & COLUMNS:
CHAMFER EXPOSED SURFACES 3/4" X 45 DEGREES
- FOOTINGS SHALL BE ON UNDISTURBED VIRGIN SOIL. FILL EXCESS CUTS WITH CONCRETE. MINIMUM FOOTING DEPTH TO BE 42" BELOW GRADE UNLESS NOTED OTHERWISE.
- EXTERIOR SIDE OF CONCRETE BELOW GRADE SHALL BE COATED WITH ASPHALTIC DAMPPROOFING.

CONCRETE

- CONFORM TO LATEST EDITION OF FOLLOWING STANDARDS:
STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 301
COLD WEATHER CONCRETING, ACI 306R
HOT WEATHER CONCRETING, ACI 306R
DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, ACI 315
GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION, ACI 302.1R
PLACING REINFORCING BARS, CRSI
- CONCRETE COMPRESSIVE STRENGTH, UNLESS INDICATED:
GENERAL USE: 4000 PSI
SLAB-ON-GRADE: 4000 PSI
CONCRETE EXPOSED TO WEATHER SHALL HAVE 4% - 6% AIR ENTRAINMENT.
- REINFORCEMENT:
BARS: ASTM A601, GRADE 60
WELDED WIRE FABRIC (WWF): ASTM A185
- LAP REINFORCING BARS AS SHOWN, BUT NOT LESS THAN 36 BAR DIAMETERS. PROVIDE CORNER BARS EQUIVALENT IN SIZE AND NUMBER TO HORIZONTAL BARS AT CORNERS OF WALLS AND WALL FOOTINGS AND LAP WITH HORIZONTAL REINFORCEMENT. LAP WELDED WIRE FABRIC MINIMUM OF ONE WIRE SPACING PLUS 2".
- PROVIDE DOWELS IN COLUMN AND WALL FOOTINGS EQUIVALENT IN SIZE AND NUMBER TO VERTICAL BARS IN WALLS. EXTEND DOWELS 24 BAR DIAMETERS INTO FOOTING AND 24 BAR DIAMETERS INTO WALL OR COLUMN.
- PROVIDE REINFORCEMENT IN TOP OF INTERIOR WALL FOOTINGS CENTERED UNDER DOOR AND OTHER OPENINGS EQUIVALENT IN SIZE AND NUMBER TO BOTTOM REINFORCEMENT AND 4 FEET LONGER THAN OPENING.
- MINIMUM REINFORCEMENT UNLESS NOTED OTHERWISE:
WALLS 8" OR LESS IN THICKNESS: #5 @ 12" EACH WAY CENTERED IN WALL.
#5 @ 12" EACH WAY IN EACH FACE.
#6" - W1.4XW1.4 W.W.F. UNLESS OTHERWISE NOTED
- SLABS ON GRADE OR SLABS ON JOIST:
- CLEAR CONCRETE COVER ON REINFORCEMENT UNLESS NOTED:
CONCRETE DEPOSITED AGAINST GROUND:
FORMED SURFACES EXPOSED TO WEATHER OR EARTH:
3"
1-1/2" FOR #5 & SMALLER
2" FOR #6 BARS & LARGER
- ALL OTHER SURFACES:
SLABS, WALLS AND JOISTS:
3/4"
1-1/2"
- BEAMS, GIRDERS & COLUMNS:
CHAMFER EXPOSED SURFACES 3/4" X 45 DEGREES
- FOOTINGS SHALL BE ON UNDISTURBED VIRGIN SOIL. FILL EXCESS CUTS WITH CONCRETE. MINIMUM FOOTING DEPTH TO BE 42" BELOW GRADE UNLESS NOTED OTHERWISE.
- EXTERIOR SIDE OF CONCRETE BELOW GRADE SHALL BE COATED WITH ASPHALTIC DAMPPROOFING.

BUILDING CODE REQUIREMENTS

BUILDING CODE:	MICHIGAN 2012 MICH. REHAB. CODE FOR EXIST. BLDGS.
PROPOSED WORK:	INTERIOR OFFICE ALTERATIONS AT DUNDEE DENTAL OFFICE PLAZA 424 MONROE STREET, DUNDEE, MI 48131 DR. DAVID REPASKY, DDS
BUILDING AREAS:	TENANT 1 - UNOCCUPIED = 825 S.F. TENANT 2 - UNOCCUPIED = 945 S.F. DUNDEE DENTAL = 3,051 S.F. TOTAL = 4,821 S.F.
TYPE OF OCCUPANCY(S) PROPOSED:	(SEC.304.1) BUSINESS GROUP B (USES INTENDED FOR OFFICE OR PROFESSIONAL)
TYPE OF CONSTRUCTION:	(SEC.602.5, TABLE 601) EXISTING = TYPE 5-B REMODEL = TYPE 5-B
ALLOWABLE AREA:	(TABLE 503) N.A.
INCREASE ALLOWABLE:	(SEC. 506.1) N.A.
ALLOWABLE HEIGHTS:	(TABLE 503) N.A.
HEIGHT MODIFICATION:	(SEC. 504.2) N.A.
FIRE RESISTIVE CONSTRUCTION:	(TABLE 601) 0 HR.
STRUCTURAL FRAMING:	(TABLE 601, 602) 0 HR.
BEARING WALLS:	(TABLE 601, 602) 0 HR.
EXTERIOR:	(TABLE 601) 0 HR.
INTERIOR:	(TABLE 601) 0 HR.
NONBEARING WALLS:	(TABLE 602) 0 HR.
EXTERIOR:	(TABLE 601) 0 HR.
INTERIOR:	(TABLE 601) 0 HR.
FLOOR CONSTRUCTION:	(TABLE 601) 0 HR. / 1 HR. CORRIDORS
ROOF CONSTRUCTION:	(TABLE 601) 0 HR.
EXIT ACCESS:	(SEC.708, TABLE 1018.1) 1 HR. WITHOUT SPRINKLER SYSTEM AND > 30 PEOPLE (TABLE 1018.1 WITH SPRINKLER = 0 HR.)
CORRIDOR WALLS:	(TABLE 716.5) 20 MIN. IN (1) HR. WALLS
CORRIDOR DOORS:	(TABLE 716.5) 45 MIN.
CORRIDOR OPENINGS:	(TABLE 705.8) NO LIMIT > 30 FT. FIRE SEPARATION
EXT. DOORS & WINDOWS:	(SEC.713.2) N.A.
SHAFTS:	(SEC.1022.2) 30 MIN.
STAIRWELLS:	(SEC. 708.3) FIRE PARTITIONS SHALL HAVE A FIRE RESISTIVE RATING OF 1 HOUR
TENANT SEPARATIONS:	(SEC. 718.4) N.A.
DRAFTSTOPPING:	(SEC. 718) REQUIRED IF COMBUSTIBLE
FIRE BLOCKING:	(SEC. 903.2.2) NOT REQUIRED
FIRE SPRINKLERS:	(SEC. 907.2.2) NOT REQUIRED IN GROUP B OCCUPANCY WITH OR BELOW THE LOWEST LEVEL OF EXIT DISCHARGE
FIRE ALARMS:	(SEC. 1004.1.1) MAXIMUM OCCUPANT LOAD: (SEC. 1004.1.1) MAX. FLOOR AREA ALLOWANCES PER OCCUPANT PER TENANT SPACE = 100 GROSS
EGRESS:	FIRST FLOOR: TENANT 1 (B USE) = 825 S.F. / 100 = 9 OCCUPANTS TENANT 2 (B USE) = 945 S.F. / 100 = 10 OCCUPANTS NUMBER EXITS REQUIRED: (TABLE 1021.2(2)) (1) EXIT IS PERMITTED IN THE STORY AT LEVEL OF EXIT DISCHARGE WHEN THE OCCUPANT LOAD OF THE STORY DOES NOT EXCEED 50 AND THE EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED 75 FEET (SEC. 1015, TABLE 1015.1) (2) EXITS REQUIRED IF > 49 OCCUPANTS
WIDTH OF EGRESS:	(SEC. 805.2.2) MEANS OF EGRESS CONFORMING TO THE REQUIREMENTS OF THE BUILDING CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED SHALL BE CONSIDERED COMPLAINT MEANS OF EGRESS IF, IN THE OPINION OF THE CODE OFFICIAL, THEY DO NOT CONSTITUTE A DISTINCT HAZARD TO LIFE.
TRAVEL DISTANCE:	(TABLE 1016.2) 200' MAX. WITHOUT SPRINKLERS
ELEVATOR:	(TABLE 1007.2.1) NOT REQUIRED IN BUILDINGS UNDER FOUR STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE
DEAD-END CORRIDORS:	(2012 MICH. REHAB. CODE SEC. 805.6) DEAD-END CORRIDORS IN ANY WORK AREA SHALL NOT EXCEED 35 FEET
STAIRWAYS:	(2012 MICH. REHAB. CODE SEC. 407.3) EXIST. STAIRWAYS SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF A NEW STAIRWAY WHERE THE EXIST. SPACE AND CONSTRUCTION WILL NOT ALLOW A REDUCTION IN PITCH OR SLOPE. EVERY PORTION OF A FLOOR, SUCH AS A BALCONY OR A LOADING DOCK, THAT IS MORE THAN 30" ABOVE FLOOR OR GRADE AND IS NOT PROVIDED WITH GUARDS SHALL BE PROVIDED WITH GUARDS. EVERY REQUIRED EXIT STAIRWAY THAT IS PART OF THE MEANS OF EGRESS SHALL BE PROVIDED WITH HANDRAILS FOR THE FULL LENGTH OF THE RUN OF THE STEPS ON AT LEAST ONE SIDE.

		PLUMBING FIXTURE NOTES BASED ON MAX. OCCUPANCY COUNT			
		OCCUPANCY COUNT	WATER CLOSETS	LAVS	DRINKING FOUNTAINS
		1 MEN + 2 WOMEN	1 PER 25 FOR FIRST 50 = 2 1 PER 50 FOR REMAINDER = 1	1 PER 40 FOR FIRST 80 = 2 1 PER 80 FOR REMAINDER = 1	1 PER 100 = 1
		MEN	WOMEN	MEN	WOMEN
TENANT 1	9 TOTAL / 2 = 4.5 MEN 4.5 WOMEN	4.5 / 25 = 18	4.5 / 25 = 18	4.5 / 40 = 0.11	4.5 / 40 = 0.11
TENANT 2	10 TOTAL / 2 = 5 MEN 5 WOMEN	5 / 25 = 2	5 / 25 = 2	5 / 40 = 0.125	5 / 40 = 0.125
				9 / 100 = 0.09	9 / 100 = 0.09
				10 / 100 = 0.1	10 / 100 = 0.1
				1	1
				1	1

INTERIOR ALTERATIONS
AT DUNDEE DENTAL
424 MONROE STREET, DUNDEE, MI 48131
FOR DR. DAVID REPASKY, DDS

KOHLER ARCHITECTURE, INC.
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DR. NAF CK. KJK
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