



# CORNWALL CONDOMINIUMS

## 2ND FLOOR CONDOMINIUM RENOVATIONS JOB NO. 201812.04

1301 CORNWALL AVENUE, BELLINGHAM, WA 98225

# PERMIT SET

03.06.2019

**APPROVED**  
**Subject to Field**  
**Inspection**  
12/09/2020 4:08:46 PM  
Kelsey Brender

BLD2019-0200  
PLM2019-0099  
1301 CORNWALL AVE

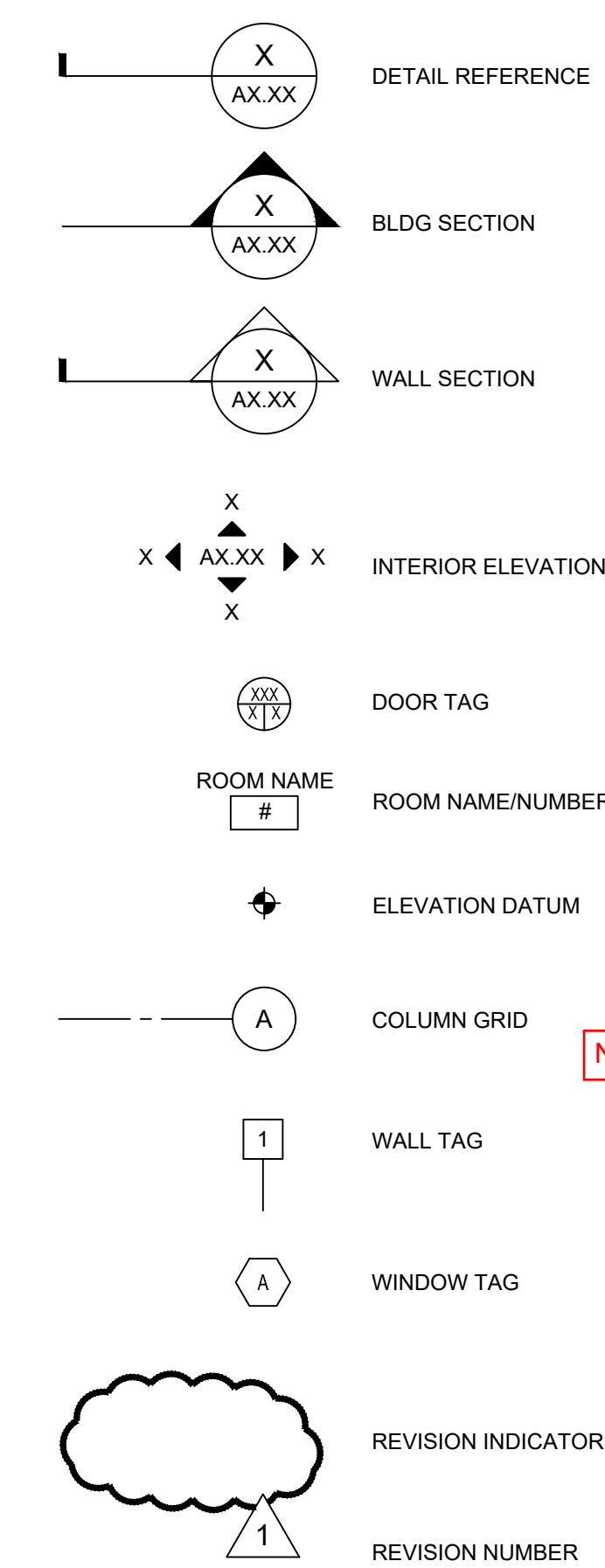
**RECEIVED**  
12/09/2020  
CITY OF BELLINGHAM  
PERMIT CENTER

9587 REGISTERED  
ARCHITECT  
*Andrew Krzysiek*  
ANDREW A. KRZYSIEK  
STATE OF WASHINGTON

**ARCHITECTURAL ABBREVIATIONS**

&	AND
@	AT
ACT	ACOUSTIC CEILING TILE
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
APX	APPROXIMATELY
AV	AUDIO / VISUAL
B.O.J.	BOTTOM OF JOIST
BLDG	BUILDING
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
DIA	DIAMETER
DIM(S)	DIMENSION(S)
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
DWR	DRAWER
(E)	EXISTING
EA	EACH
ELEC	ELECTRICAL
ELEV	ELEVATOR OR ELEVATION
ENL	ENLARGED
EQU	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
(F)	FUTURE
F-C	FIBER CEMENT
FCP	FIBER CEMENT PANEL
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FF SAM	FOIL FACED SELF-ADHERED MEMBRANE
FLR	FLOOR
FRT	FIRE RETARDANT TREATED
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
GA	GAUGE
GALV	GALVANIZED
GLB	GLUE LAMINATED BEAM
GWB	GYP SUM WALL BOARD
HB	HOSE BIB
HR	HOUR
INSUL	INSULATION
HC	HOLLOW CORE
HM	HOLLOW METAL
HT SAM	HIGH TEMP RESISTANT SELF-ADHERED MEMBRANE
HSS	HOLLOW STEEL SECTION
ILO	IN LIEU OF
LF	LINEAL FEET
INT	INTERIOR
MAX	MAXIMUM
(N)	NEW
NA	NOT APPLICABLE
NEVA	NET FREE VENT AREA
NIC	NOT IN CONTRACT
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPP	OPPOSITE
OH	OPPOSITE HAND
ORWL	OVERFLOW RAIN WATER LEADER
PLYWD	PLYWOOD
PNT	PAINT OR PAINTED
PT	PRESSURE TREATED
R	RISER
REF	REFERENCE OR REFRIGERATOR
REQD	REQUIRED
RCP	REFLECTED CEILING PLAN
REQ	REQUIRED
R&S	ROD AND SHELF
RD	ROOF DRAIN
RO	ROUGH OPENING
RM	ROOM
RWL	RAIN WATER LEADER
SC	SOLID CORE
SF	SQUARE FOOT / FEET
SHWR	SHOWER
SHT	SHEET
SI	SQUARE INCH(ES)
SIM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SQU	SQUARE
SS	STAINLESS STEEL
STL	STEEL
ST	STREET
STRUCT	STRUCTURAL
T	TREAD
TPD	TOILET PAPER DISPENSER
TO	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VIF	VERIFY IN FIELD
VT	VINYL TILE
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WRB	WEATHER RESISTIVE BARRIER
WWF	WELDED WIRE FABRIC

**ARCHITECTURAL SYMBOLS**



NOTE: The proposed locations of the mechanical equipment shall comply with the City Center Design Standards.

NOTE: A separate mechanical permit is required.



**VICINITY MAP**  
N.T.S.

**OWNER**

DEREK STEBNER  
MCGILLICUTTY LLC  
6823 E. MONTREAL PLACE  
SCOTTSDALE AZ 85254

**DESIGN TEAM**

**ARCHITECTS**  
ZERVAS  
209 PROSPECT STREET  
BELLINGHAM, WA 98225  
360-734-4744

**CIVIL**  
AXE ENGINEERING  
5422 PACIFIC HWY C105  
FERNDALE, WA 98248  
360-393-8418

**PROJECT DESCRIPTION**

THE GROUND FLOOR OF THE BUILDING LOCATED AT 1301 CORNWALL AVENUE IS COMPRISED OF GROUP A2 & B OCCUPANCIES (TOTALING APPROX. 6,500 SF). THERE WILL BE NO CHANGE OF OCCUPANCY. FIRST FLOOR WORK IS COMPRISED OF UPGRADING INTERIOR FINISHES IN TWO STAIRWELLS AND ENTRY VESTIBULES, ADDITION OF NEW FIRE SPRINKLER ROOM AND PLUMBING CHASE, AND REPLACING A SET OF DOUBLE DOORS WITH A SINGLE DOOR.

THE SECOND FLOOR WAS HISTORICALLY USED AS B OCCUPANCY TYPE (ALSO APPROX. 6,500 SF). A DEMOLITION PERMIT HAS BEEN ISSUED WITH THE INTENT TO CONVERT TO AN R2 OCCUPANCY. WORK IS TO PRIMARILY TAKE PLACE ON THE SECOND FLOOR, WHICH WILL CREATE THREE NEW CONDOMINIUMS. NEW FLOORS, WINDOWS, MECHANICAL, ELECTRICAL AND SPRINKLERS WILL BE INCLUDED AND INTERIOR FINISHES WILL BE INSTALLED.

**PROJECT DATA**

**SITE:**  
PARCEL #: 3803301751410006  
**LEGAL DESCRIPTION:**  
CORNWALL AVE CONDO UNIT 301-TOG WI UNDIV INT IN COMMON AREAS DESC AF 2017-0601347  
**SITE ADDRESS:**  
1301 CORNWALL AVE #301  
BELLINGHAM, WA 98225

**DEFERRED SUBMITTALS**

- MECHANICAL - DESIGN BUILD
- ELECTRICAL - DESIGN BUILD
- FIRE - FIRE MAIN, FIRE SPRINKLERS, FIRE ALARM

**DRAWING INDEX**

<b>GENERAL</b>	
G0.01	: PROJECT INFO, DRAWING INDEX, VICINITY MAP
G0.02	: EXITING PLANS
G0.03	: SCHEDULES, PARTITION TYPES, & REQUIREMENTS
<b>CIVIL</b>	
C1	: FIRE WATER SERVICE -- SERVICE INSTALLATION PLAN
C2	: FIRE WATER SERVICE -- CONSTRUCTION DETAILS
<b>ARCHITECTURAL</b>	
A2.01	: PROPOSED FIRST FLOOR PLAN
A2.02	: PROPOSED SECOND FLOOR PLAN
A3.01	: BUILDING SECTIONS & ELEVATIONS

**CODE ANALYSIS - 2015 IEBC**

**CHAPTER 4 - IEBC PRESCRIPTIVE COMPLIANCE METHOD:**  
A FACILITY THAT IS ALTERED SHALL COMPLY WITH THE APPLICABLE PROVISIONS IN CHAPTER 11 OF THE IBC UNLESS TECHNICALLY INFEASIBLE. WHERE COMPLIANCE WITH THIS SECTION IS TECHNICALLY INFEASIBLE, THE ALTERATION SHALL PROVIDE ACCESS TO THE MAXIMUM EXTENT TECHNICALLY FEASIBLE.

EXCEPTION: ACCESSIBLE MEANS OF EGRESS REQUIRED BY CHAPTER 10 OF THE IBC ARE NOT REQUIRED TO BE PROVIDED IN EXISTING FACILITIES.

**CHAPTER 5 - IEBC CLASSIFICATION OF WORK:**  
PER SECTION 505: ALTERATION - LEVEL 3. SUBJECT TO IEBC CHAPTERS 7, 8 & 9.

**CHAPTER 7 - IEBC ALTERATIONS - LEVEL 1**  
SECTION 702.1 INTERIOR FINISHES. ALL NEWLY INSTALLED INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE INTERNATIONAL BUILDING CODE.

SECTION 708.1 ENERGY CONSERVATION MINIMUM REQUIREMENTS. LEVEL 1 ALTERATIONS TO EXISTING BUILDINGS ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE.

**CHAPTER 8 - IEBC ALTERATIONS - LEVEL 2**  
SECTION 801.3 COMPLIANCE. ALL NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

SECTION 804.2 AUTOMATIC SPRINKLER SYSTEMS. AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 804.2.1 THROUGH 804.2.5. INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

SECTION 804.4.1.6 FIRE ALARM AND DETECTION GROUP R-2. A FIRE ALARM SYSTEM SHALL BE INSTALLED IN WORK AREAS OF GROUP R-2 APARTMENTS BUILDINGS AS REQUIRED BY THE INTERNATIONAL FIRE CODE FOR EXISTING GROUP R-2 OCCUPANCIES.

SECTION 804.4.3 SMOKE ALARMS. INDIVIDUAL SLEEPING UNITS AND INDIVIDUAL DWELLING UNITS IN ANY WORK AREA IN GROUP R OCCUPANCIES SHALL BE PROVIDED WITH SMOKE ALARMS IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE.

SECTION 805.3.1.1 SINGLE EXIT BUILDINGS. GROUP R-2 NOT MORE THAN TWO STORIES IN HEIGHT, WHEN THERE ARE NOT MORE THAN FOUR DWELLING UNITS PER FLOOR AND THE EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED 50 FEET. THE MINIMUM FIRE-RESISTANCE RATING OF THE EXIT ENCLOSURE AND OF THE OPENING PROTECTION SHALL BE 1 HOUR.

SECTION 811.1 ENERGY CONSERVATION MINIMUM REQUIREMENTS. LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

**CHAPTER 9 - IEBC ALTERATIONS - LEVEL 3**  
SECTION 908.1 ENERGY CONSERVATION MINIMUM REQUIREMENTS. LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

**CODE ANALYSIS - 2015 IBC (CONTINUED)**

**CHAPTER 10 - CHANGE OF OCCUPANCY**  
SECTION 1011.1 LIGHT AND VENTILATION  
LIGHT AND VENTILATION SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE FOR THE NEW OCCUPANCY.

SECTION 1012.1.2 CHANGE OF OCCUPANCY WITH SEPARATION  
WHERE A PORTION OF AN EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION OR WHERE THERE IS A CHANGE OF OCCUPANCY WITHIN A SPACE WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE, AND THAT PORTION IS SEPARATED FROM THE REMAINDER OF THE BUILDING WITH FIRE BARRIERS HAVING A FIRE-RESISTANCE RATING AS REQUIRED IN THE INTERNATIONAL BUILDING CODE FOR THE SEPARATE OCCUPANCY, THAT PORTION SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF CHAPTER 9 FOR THE NEW OCCUPANCY CLASSIFICATION AND WITH THE REQUIREMENTS OF THIS CHAPTER.

SECTION 1012.2.2 FIRE SPRINKLER SYSTEM  
WHERE A CHANGE IN OCCUPANCY CLASSIFICATION OCCURS OR WHERE THERE IS A CHANGE OF OCCUPANCY WITHIN A SPACE WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE THAT REQUIRES AN AUTOMATIC FIRE SPRINKLER SYSTEM TO BE PROVIDED BASED ON THE NEW OCCUPANCY IN ACCORDANCE WITH CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE, SUCH SYSTEM SHALL BE PROVIDED THROUGHOUT THE AREA WHERE THE CHANGE OF OCCUPANCY OCCURS.

1012.4.1 MEANS OF EGRESS FOR CHANGE TO HIGHER HAZARD CATEGORY  
WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO A HIGHER HAZARD CATEGORY (LOWER NUMBER) AS SHOWN IN TABLE 1012.4, THE MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE INTERNATIONAL BUILDING CODE.

EXCEPTION 7: AN EXISTING OPERABLE WINDOW WITH CLEAR OPENING AREA NO LESS THAN 4 SQUARE FEET (0.38 M2) AND MINIMUM OPENING HEIGHT AND WIDTH OF 22 INCHES (569 MM) AND 20 INCHES (508 MM), RESPECTIVELY, SHALL BE ACCEPTED AS AN EMERGENCY ESCAPE AND RESCUE OPENING.

1012.7.3 OTHER VERTICAL SHAFTS  
INTERIOR VERTICAL SHAFTS OTHER THAN STAIRWAYS, INCLUDING BUT NOT LIMITED TO ELEVATOR HOISTWAYS AND SERVICE AND UTILITY SHAFTS, SHALL BE ENCLOSED AS REQUIRED BY THE INTERNATIONAL BUILDING CODE WHEN THERE IS A CHANGE OF USE TO A HIGHER HAZARD CATEGORY AS SPECIFIED IN TABLE 1012.4.

EXCEPTION 1: EXISTING 1-HOUR INTERIOR SHAFT ENCLOSURES SHALL BE ACCEPTED WHERE A HIGHER RATING IS REQUIRED.

1012.7.4 OPENINGS  
ALL OPENINGS INTO EXISTING VERTICAL SHAFT ENCLOSURES SHALL BE PROTECTED BY FIRE ASSEMBLIES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 1 HOUR AND SHALL BE MAINTAINED SELF-CLOSING OR SHALL BE AUTOMATIC-CLOSING BY ACTUATION OF A SMOKE DETECTOR. ALL OTHER OPENINGS SHALL BE FIRE PROTECTED IN AN APPROVED MANNER. EXISTING FUSIBLE LINK-TYPE AUTOMATIC DOOR-CLOSING DEVICES SHALL BE PERMITTED IN ALL SHAFTS EXCEPT STAIRWAYS IF THE FUSIBLE LINK RATING DOES NOT EXCEED 135°F (57°C).

**CODE ANALYSIS - 2015 IBC**

**CHAPTER 3 - IBC USE AND OCCUPANCY CLASSIFICATION:**  
BASEMENT - S1 (EXISTING)  
FIRST FLOOR - A2 & B (EXISTING)  
SECOND FLOOR - R2 (CHANGE OF OCCUPANCY)

**CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY:**  
N.A.

**CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:**  
ALLOWABLE HEIGHT PER TABLE 504.3: 60 FEET (BASED ON TYPE VB CONSTRUCTION)  
EXISTING: 32 FEET (APPROXIMATION. NO CHANGE PROPOSED)  
ALLOWABLE PER TABLE 506.2: 3 STORIES, 21,000 SF PER STORY  
EXISTING: 3 STORIES, 6,500 SF EA. FLOOR (19,500 SF TOTAL)

PER TABLE 508.4, AN 'R' OCCUPANCY REQUIRES A 2-HR SEPARATION FROM A 'B' OCCUPANCY OR AN 'A' OCCUPANCY

**CHAPTER 6 - TYPES OF CONSTRUCTION:**  
CONSTRUCTION TYPE: V-B  
THE EXTERIOR WALLS ARE NON-COMBUSTIBLE MASONRY/CONCRETE WALLS. THE FLOOR AND ROOF CONSTRUCTION ARE CONCRETE SLABS SUPPORTED BY CONCRETE COLUMNS/BEAMS. ALTHOUGH THE STRUCTURE WOULD MEET TYPE I OR II CONSTRUCTION, INTERIOR NON-LOAD BEARING WALLS HAVE BEEN CONSTRUCTED WITH WOOD FRAMING.

**CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES:**  
WALLS SEPARATING DWELLING UNITS IN GROUP R-2 OCCUPANCIES SHALL COMPLY WITH SECTION 708 FIRE PARTITIONS.  
REQUIRED = 0.5 HR  
PROPOSED = 1 HR  
HORIZONTAL ASSEMBLIES SEPARATING OCCUPANCIES SHALL COMPLY WITH SECTION 711 HORIZONTAL ASSEMBLIES. 2-HR FLOOR RATING SEPARATING DIFFERENT OCCUPANCIES IS REQUIRED PER 508.4.

SPRINKLER SYSTEM - BUILDINGS TWO OR MORE STORIES ABOVE GRADE PLANE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.2.

**CHAPTER 8 - INTERIOR FINISHES:**  
GROUND FLOOR: B AND A-2  
INTERIOR EXIT STAIRWAYS, RAMPS AND PASSAGEWAYS: CLASS B  
CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS: CLASS C  
ROOMS AND ENCLOSED SPACES: CLASS C

SECOND FLOOR: R-2  
INTERIOR EXIT STAIRWAYS, RAMPS AND PASSAGEWAYS: CLASS C  
CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS: CLASS C  
ROOMS AND ENCLOSED SPACES: CLASS C

**CHAPTER 9 - FIRE PROTECTION SYSTEMS:**  
AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.2 SHALL BE PROVIDED THROUGHOUT THE RESIDENTIAL GROUP R-2 FIRE AREA ON THE SECOND FLOOR.  
MANUAL FIRE ALARM SYSTEM IS NOT REQUIRED FOR B OCCUPANCIES PER SECTION 907.2.2 AND R-2 OCCUPANCIES PER SECTION 907.2.9.1 EXCEPTION 2.

**CHAPTER 10 - MEANS OF EGRESS:**  
DESIGN OCCUPANT LOAD PER TABLE 1004.1.2:  
TOTAL OCCUPANTS: 31 (SEE A1.01 FOR OCCUPANT LOAD CALCULATIONS)

EGRESS WIDTH PER SECTION 1005:  
STAIRS: 20 X 0.3 = 6" MIN.  
OTHER: 20 X 0.15 (SPRINKLERED) = 3" MIN.

SECTION 1005.2 MINIMUM WIDTH BASED ON COMPONENT:  
THE MINIMUM WIDTH, IN INCHES (MM), OF ANY MEANS OF EGRESS COMPONENT SHALL BE NOT LESS THAN THAT SPECIFIED ELSEWHERE IN THIS CODE.

SECTION 1010.1.1 SIZE OF DOORS: MINIMUM CLEAR WIDTH OF 32 INCHES.  
SECTION 1011.2 STAIRWAYS (EXCEPTION 2): NOT LESS THAN 36 INCHES WIDE WHEN SERVING AN OCCUPANT LOAD OF LESS THAN 50.

EGRESS FROM SPACES PER SECTION 1006.2.1 EXCEPTION 1.

NUMBER OF EXITS: SECTION 1006.3.2:  
CONDITION 1: THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS AND EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED THE VALUES IN TABLE 1006.3.2 (1)  
REQUIRED = 1 PER UNIT  
PROPOSED = 1 PER UNIT

COMMON PATH OF EGRESS TRAVEL DISTANCE PER TABLE 1006.3.2 (1):  
ALLOWABLE = 125'  
PROPOSED = 91'-11"

EXIT ACCESS TRAVEL DISTANCE PER TABLE 1017.2:  
ALLOWABLE = 250'  
PROPOSED = 161'-8"

CORRIDOR FIRE RESISTANCE RATING PER TABLE 1020.1:  
FIRE-RESISTANCE RATING = 0.5 HRS

MINIMUM CORRIDOR WIDTH PER TABLE 1020.2:  
REQUIRED WIDTH = 36 INCHES  
PROPOSED WIDTH = 67 1/2" INCHES

**CHAPTER 29 - PLUMBING FIXTURES:**  
WATER CLOSETS: 1 PER UNIT  
LAVATORIES: 1 PER UNIT  
BATH TUB OR SHOWER: 1 PER UNIT  
DRINKING FOUNTAIN: NOT REQUIRED  
OTHER: 1 KITCHEN SINK PER UNIT, 1 AUTOMATIC CLOTHES WASHER PER 20 UNITS



ARCHITECTURE | INTERIOR DESIGN  
zervasgroup.com  
209 Prospect Street  
Bellingham, WA 98225  
360.734.4744



**PERMIT**  
**03.06.2019**

REV	ISSUED FOR	DATE
1	PERMIT RESPONSE R1	9/1/20
2	PERMIT RESPONSE R2	12/07/20

PLAN NORTH TRUE NORTH

SCALE: 1/8"=1'-0"

**CORNWALL CONDOMINIUMS**

LANGSTAN MANAGEMENT

**PROJECT INFO**  
**DRAWING INDEX**  
**VICINITY MAP**

PROJECT No: 201812.04  
DRAWN BY: KG  
CHECKED BY: AK  
DATE ISSUED: 03.06.2019

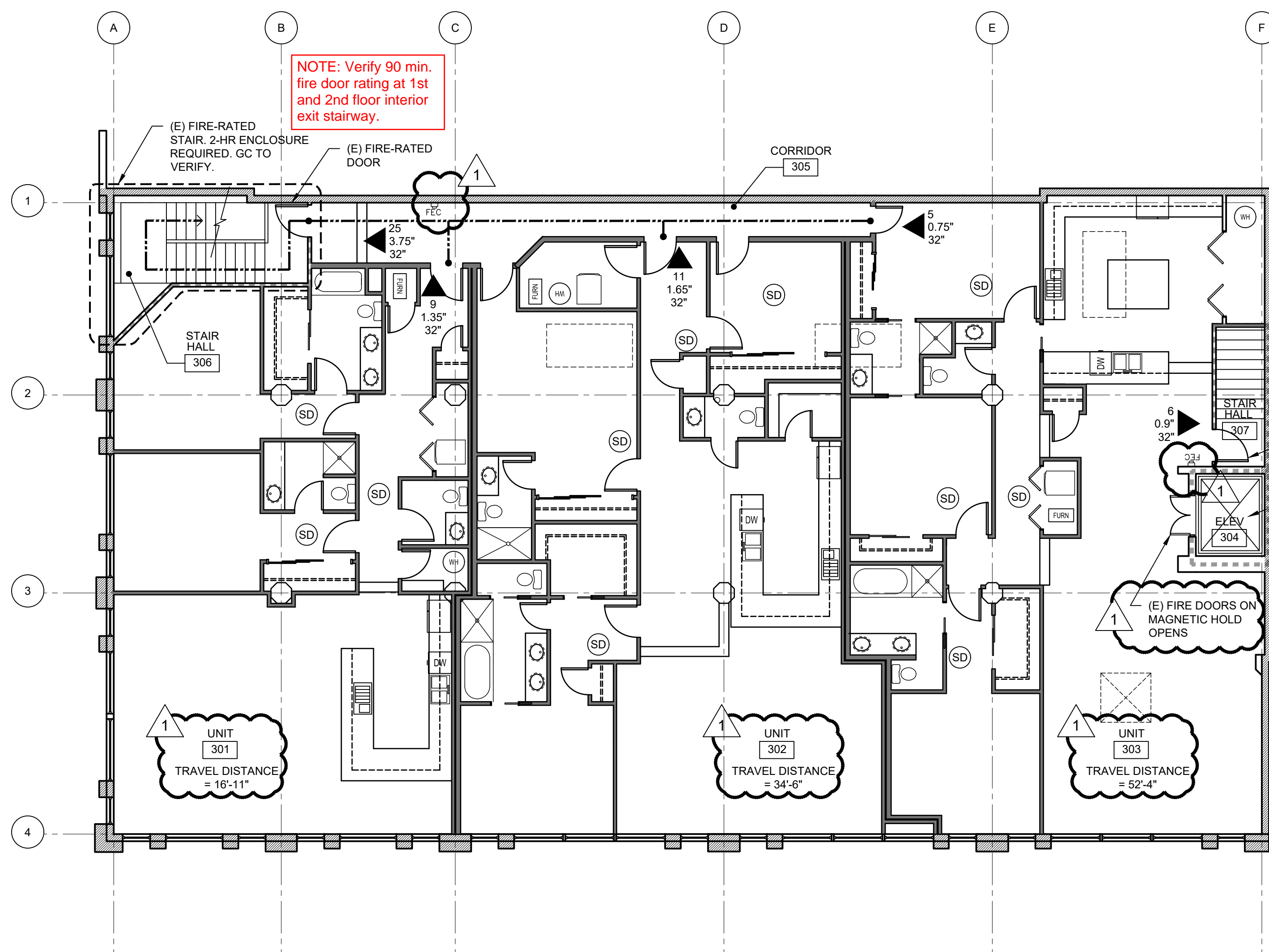
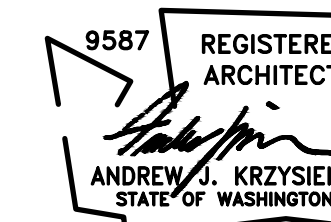
SECOND FLOOR ROOM LIST / OCCUPANT LOAD CALCULATIONS

RM #	ROOM NAME	AREA	LOAD
301	UNIT 1	1694 SF	9

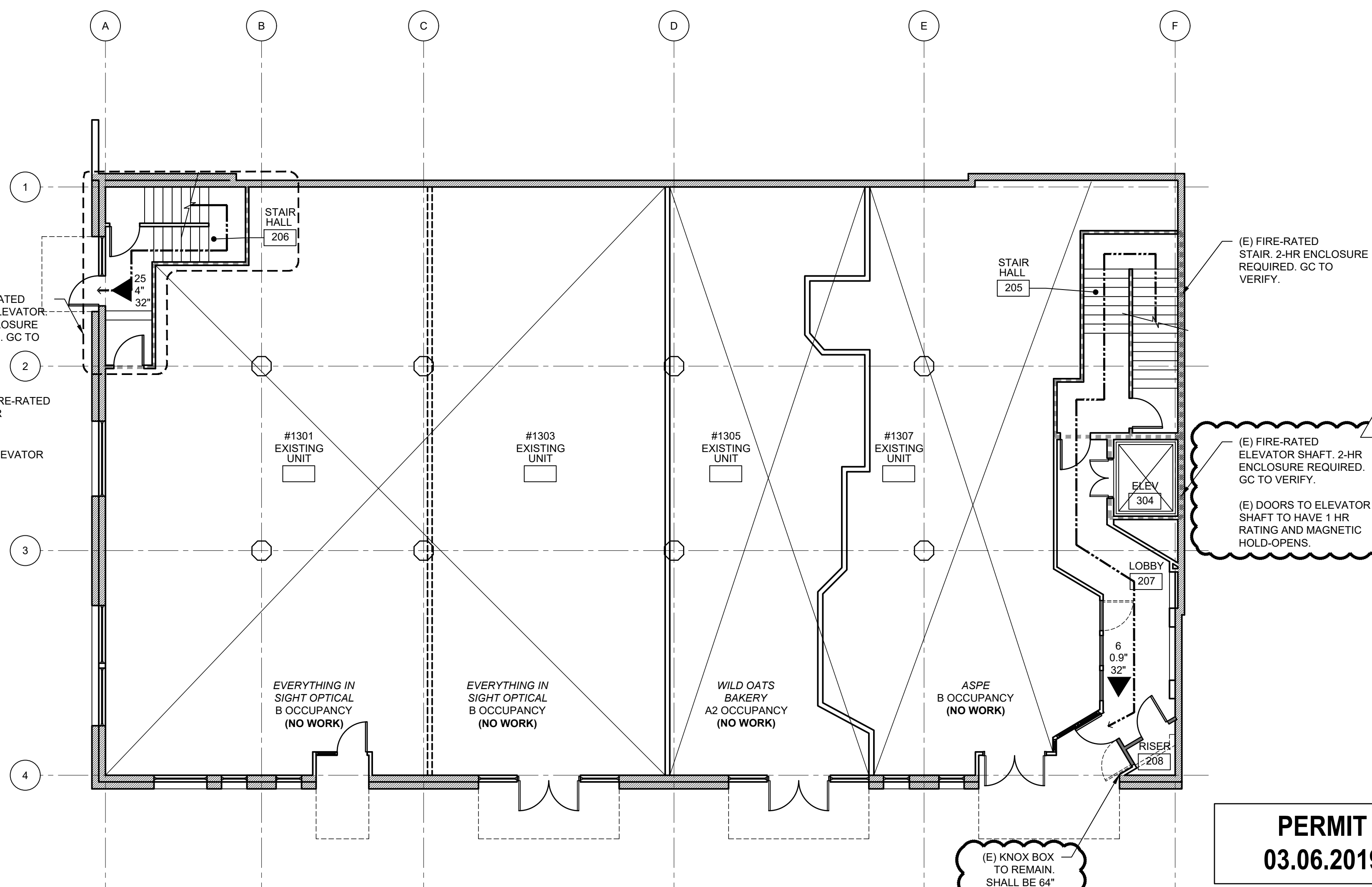
RM #	ROOM NAME	AREA	LOAD
302	UNIT 2	2018	11

RM #	ROOM NAME	AREA	LOAD
303	UNIT 3	2115	11

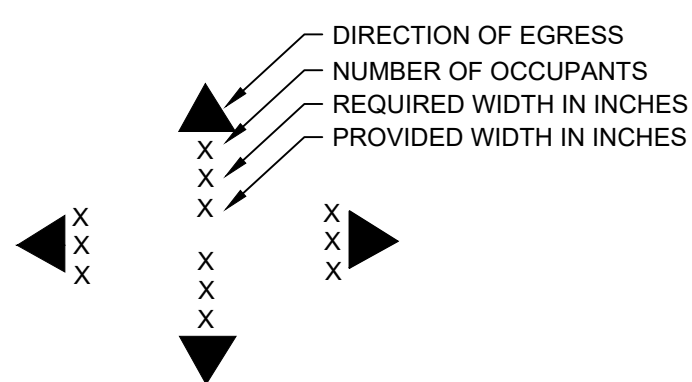
RM #	ROOM NAME	AREA	LOAD
304	ELEVATOR	50	0
305	CORRIDOR	215	0
306	STAIR HALL	89	0
307	STAIR HALL	59	0
TOTAL OCCUPANT LOAD			0



2 SECOND FLOOR EXITING PLAN  
1/8" = 1'-0"



1 FIRST FLOOR EXITING PLAN  
1/8" = 1'-0"



SD = SMOKE DETECTOR AND CARBON MONOXIDE ALARM

FIRE EXTINGUISHER CABINET, TOP OF CABINET 60" MAX. AFF

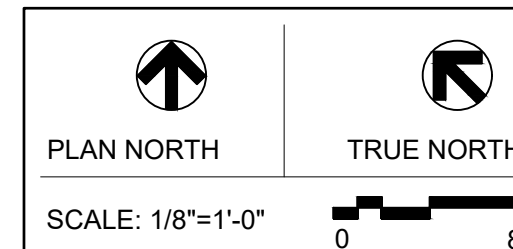
GENERAL NOTES:

- EXISTING TENANTS REQUIRED TO HAVE (1) 2A10BC PORTABLE FIRE EXTINGUISHER.
- BASEMENT (S-10 REQUIRED TO HAVE (3) 2A10BC PORTABLE FIRE EXTINGUISHERS, EQUALLY SPACED THROUGHOUT THE FLOOR.
- THE SPRINKLER RISER ROOM SHALL HAVE SIGNAGE THAT SAYS "FIRE SPRINKLER & ALARM CONTROL ROOM". THE SIGN SHALL BE RED WITH 1" HIGH WHITE LETTERING.

FIRE NOTE For security reasons, the existing lock box will only be allowed if it is truly a "Knox" brand. Please see [knoxbox.com](http://knoxbox.com) for clarification. If replaced, a flush mount knox box will be required.

PERMIT 03.06.2019

REV	ISSUED FOR	DATE
1	PERMIT RESPONSE R1	9/1/20
2	PERMIT RESPONSE R2	12/07/20



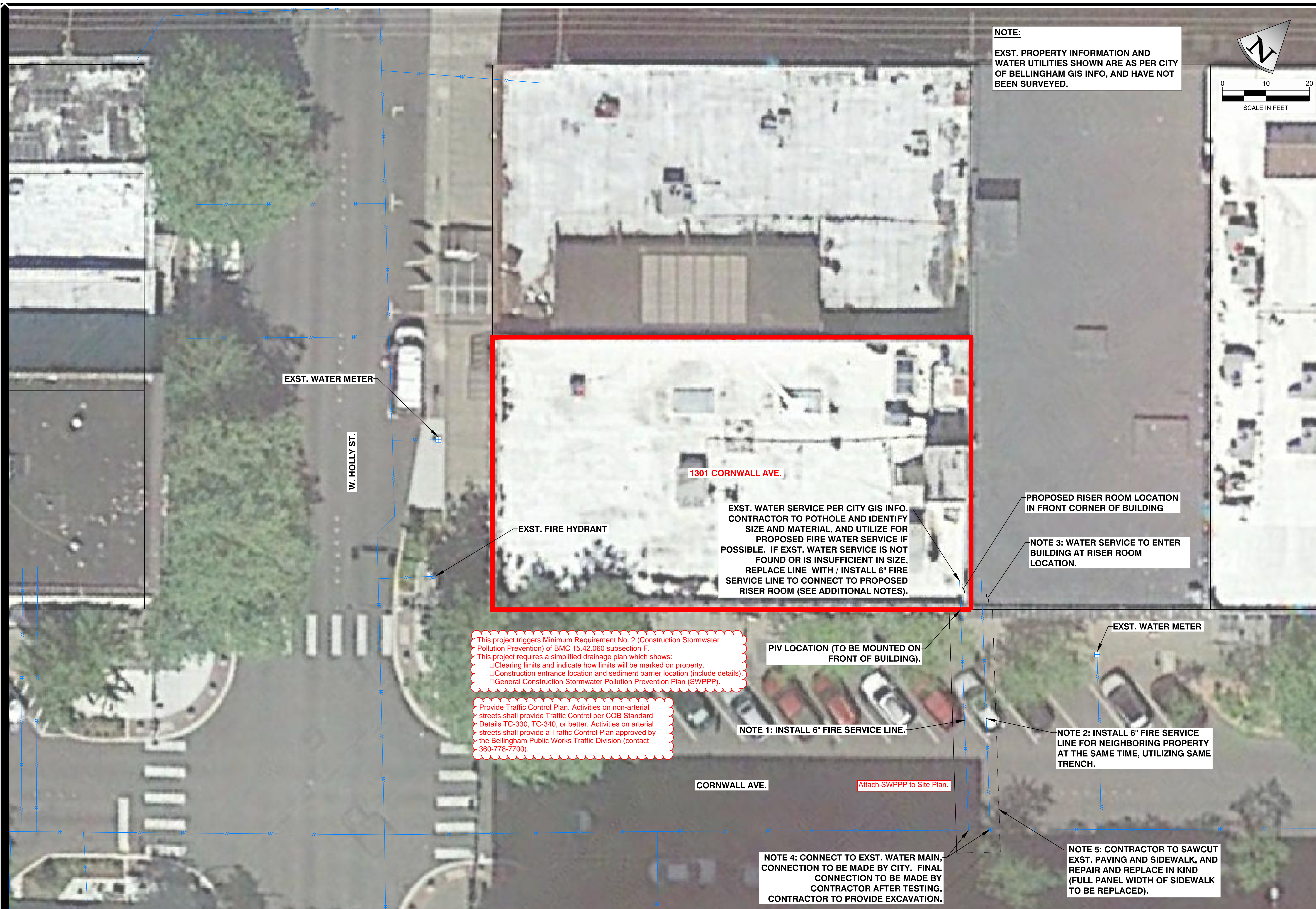
CORNWALL CONDOMINIUMS

LANGSTAN MANAGEMENT

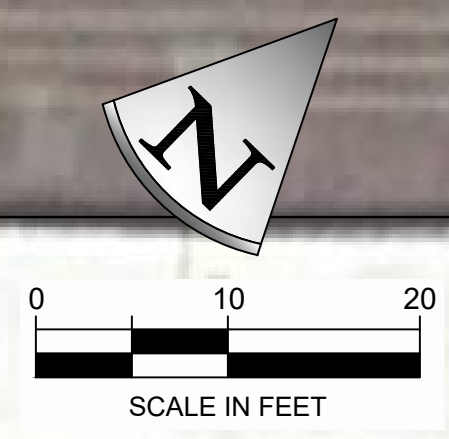
EXITING PLANS

PROJECT No: 201812.04  
DRAWN BY: KG  
CHECKED BY: AK  
DATE ISSUED: 03.06.2019





**NOTE:**  
 EXST. PROPERTY INFORMATION AND WATER UTILITIES SHOWN ARE AS PER CITY OF BELLINGHAM GIS INFO, AND HAVE NOT BEEN SURVEYED.



EXST. WATER METER

W. HOLLY ST.

1301 CORNWALL AVE.

EXST. FIRE HYDRANT

EXST. WATER SERVICE PER CITY GIS INFO. CONTRACTOR TO POTHOLE AND IDENTIFY SIZE AND MATERIAL, AND UTILIZE FOR PROPOSED FIRE WATER SERVICE IF POSSIBLE. IF EXST. WATER SERVICE IS NOT FOUND OR IS INSUFFICIENT IN SIZE, REPLACE LINE WITH / INSTALL 6" FIRE SERVICE LINE TO CONNECT TO PROPOSED RISER ROOM (SEE ADDITIONAL NOTES).

PROPOSED RISER ROOM LOCATION IN FRONT CORNER OF BUILDING

NOTE 3: WATER SERVICE TO ENTER BUILDING AT RISER ROOM LOCATION.

This project triggers Minimum Requirement No. 2 (Construction Stormwater Pollution Prevention) of BMC 15.42.060 subsection F.  
 This project requires a simplified drainage plan which shows:  
 Clearing limits and indicate how limits will be marked on property.  
 Construction entrance location and sediment barrier location (include details).  
 General Construction Stormwater Pollution Prevention Plan (SWPPP).

Provide Traffic Control Plan. Activities on non-arterial streets shall provide Traffic Control per COB Standard Details TC-330, TC-340, or better. Activities on arterial streets shall provide a Traffic Control Plan approved by the Bellingham Public Works Traffic Division (contact 360-778-7700).

PIV LOCATION (TO BE MOUNTED ON FRONT OF BUILDING).

EXST. WATER METER

NOTE 1: INSTALL 6" FIRE SERVICE LINE.

NOTE 2: INSTALL 6" FIRE SERVICE LINE FOR NEIGHBORING PROPERTY AT THE SAME TIME, UTILIZING SAME TRENCH.

CORNWALL AVE.

Attach SWPPP to Site Plan.

NOTE 4: CONNECT TO EXST. WATER MAIN. CONNECTION TO BE MADE BY CITY. FINAL CONNECTION TO BE MADE BY CONTRACTOR AFTER TESTING. CONTRACTOR TO PROVIDE EXCAVATION.

NOTE 5: CONTRACTOR TO SAWCUT EXST. PAVING AND SIDEWALK, AND REPAIR AND REPLACE IN KIND (FULL PANEL WIDTH OF SIDEWALK TO BE REPLACED).

REVISIONS	DATE	BY

AXE ENGINEERING & LAND USE SERVICES, LLC  
 "CUTTING THROUGH PROJECT BARRIERS"  
 5426 BARRETT RD ST. #4101  
 FERNDALE, WA 98248  
 360-393-8418  
 www.axeengineering.com



CITY OF BELLINGHAM, WA  
**CORNWALL CONDOMINIUMS**  
**FIRE WATER SERVICE**  
**SERVICE INSTALLATION PLAN**

DATE: 3/4/2019  
 DESIGN: ELR  
 DRAWN: ELR  
 SCALE: AS SHOWN

PROJECT # 19014  
 SHEET # **C1** OF 2  
 REV # 0

**BEDDING SPECIFICATIONS FOR DUCTILE IRON PIPE**

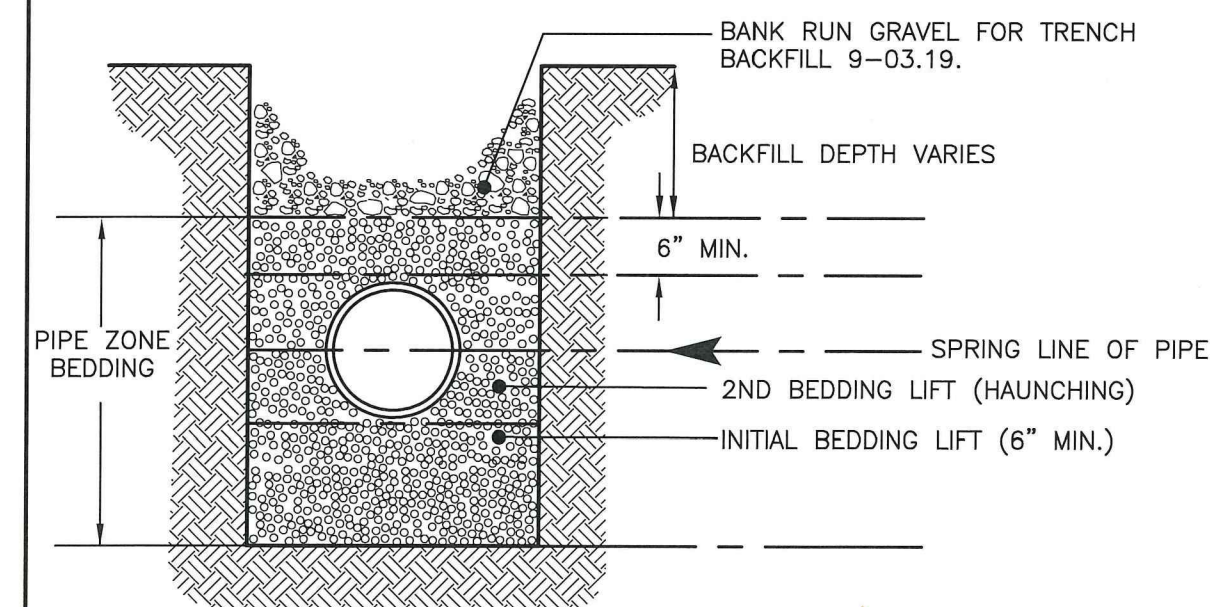
THE FOLLOWING SUPPLEMENTAL SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION:

BEDDING FOR WATERMAINS FOR DUCTILE IRON PIPE-

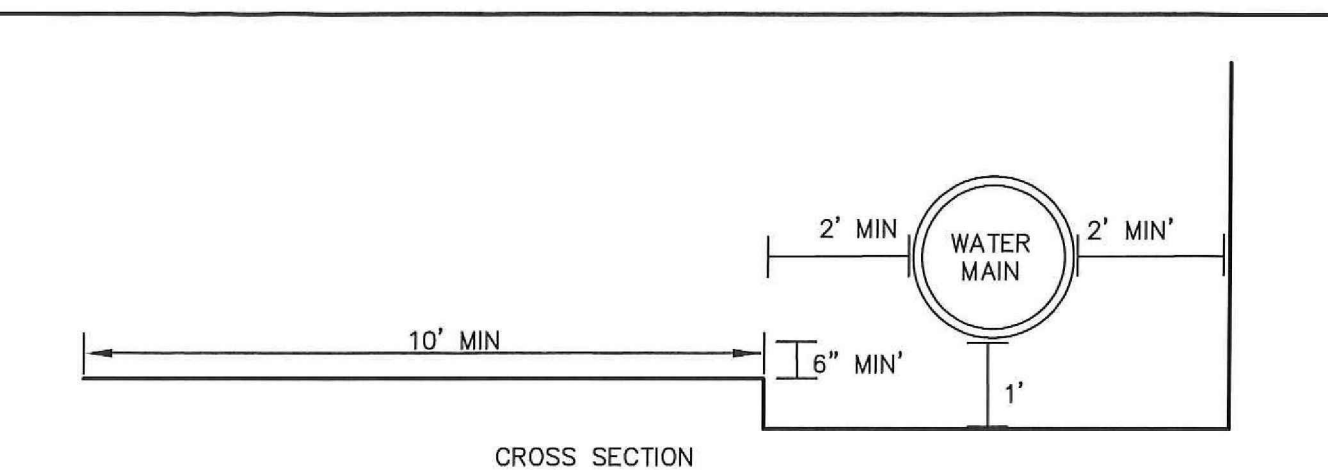
BEDDING MATERIAL FOR DUCTILE IRON PIPE SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS.

PIPE ZONE BEDDING - BEDDING SHALL BE A CLEAN GRANULAR MATERIAL FREE FROM ORGANIC MATTER AND CONFORMING TO THE STANDARD SPECIFICATION: 9-03.12(3), GRAVEL BACKFILL FOR PIPE ZONE BEDDING.

BACKFILL - WHEREVER A TRENCH IS EXCAVATED IN THE EXISTING OR PROPOSED ROADWAY, SIDEWALK OR OTHER AREAS WHERE SETTLEMENT WOULD BE DETRIMENTAL, THE ENTIRE TRENCH SHALL BE BACKFILLED WITH IMPORTED GRAVEL AND COMPACTED TO 95% OF MAXIMUM DENSITY.

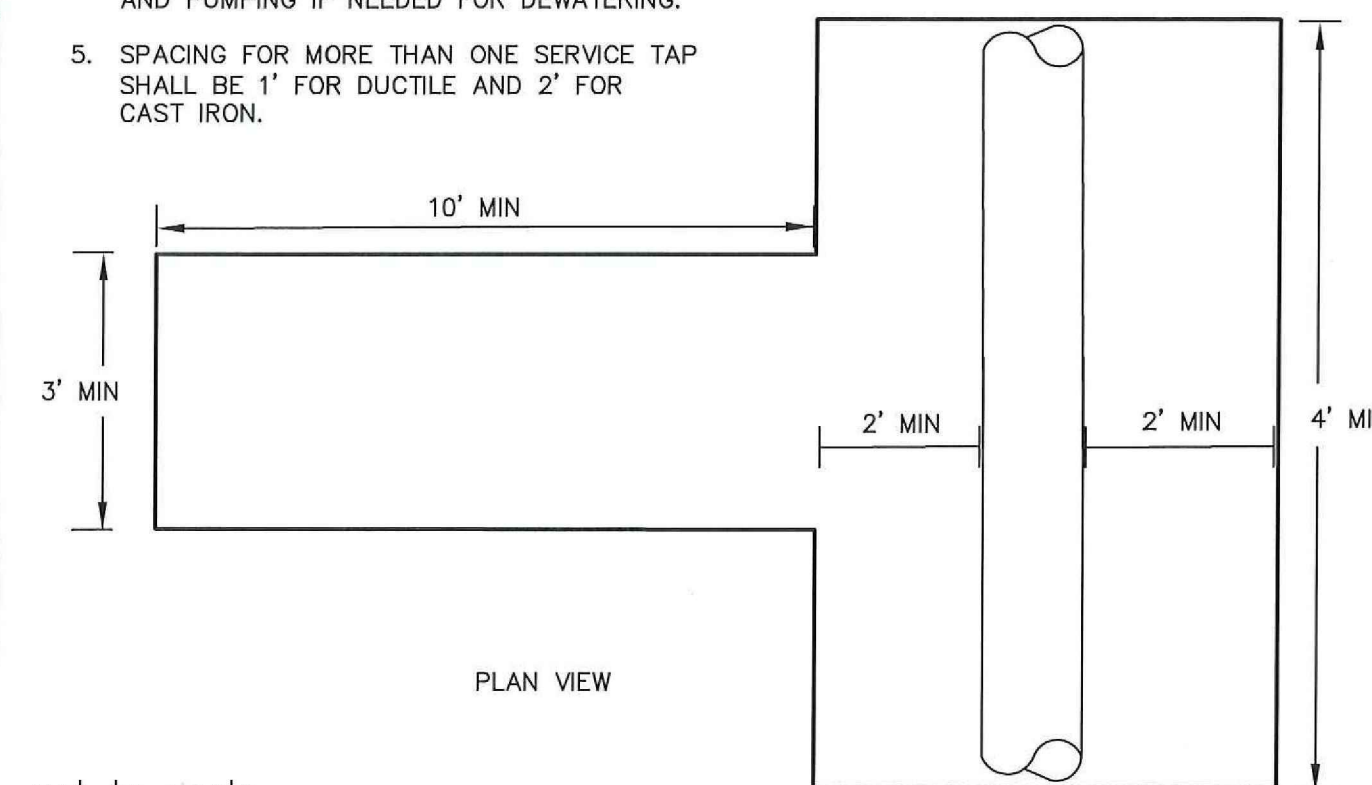


APPROVED <i>[Signature]</i> City Engineer	12 SEPT 2016 Date	CITY OF BELLINGHAM WATER PIPE BEDDING DETAILS	DRAWING WA-820
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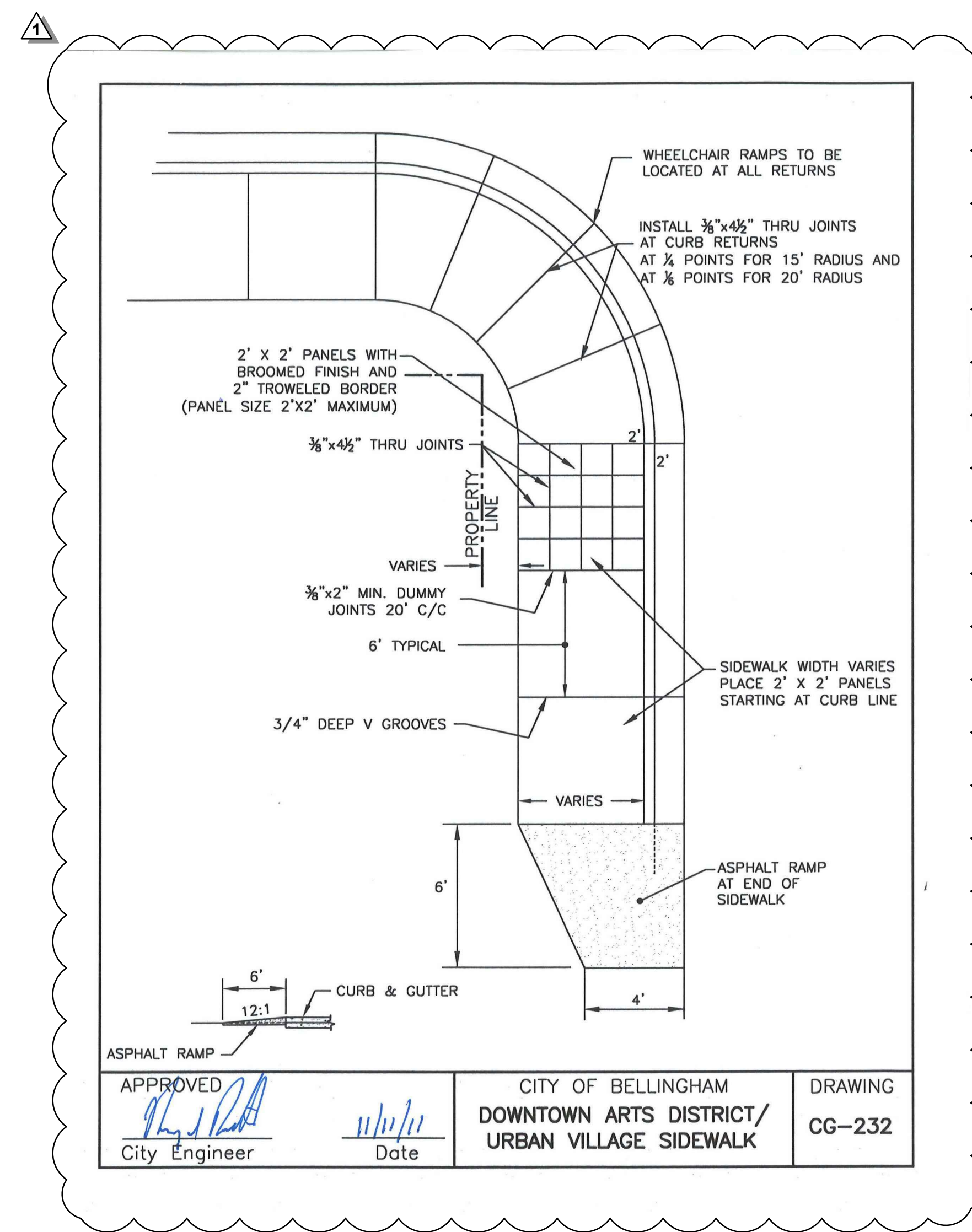
**NOTES:**

1. POTHOLE TAP LOCATION TO IDENTIFY POSSIBLE CONFLICTS WITH BELL JOINTS.
2. 2' MIN CLEARANCE FROM BELL TO TAP LOCATION.
3. CONTRACTOR TO PROVIDE SHORING FOR EXCAVATION OVER 4' DEEP. ADJUST TRENCH DIMENSIONS TO ALLOW FOR MIN CLEARANCE WITH SHORING.
4. CONTRACTOR TO PROVIDE TRENCH SUMP AND PUMPING IF NEEDED FOR DEWATERING.
5. SPACING FOR MORE THAN ONE SERVICE TAP SHALL BE 1' FOR DUCTILE AND 2' FOR CAST IRON.



not to scale

APPROVED <i>[Signature]</i> City Engineer	26 APR 2017 Date	CITY OF BELLINGHAM WATER TAP EXCAVATION 4" AND LARGER	DRAWING WA-872
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APPROVED <i>[Signature]</i> City Engineer	11/11/19 Date	CITY OF BELLINGHAM DOWNTOWN ARTS DISTRICT/ URBAN VILLAGE SIDEWALK	DRAWING CG-232
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CITY OF BELLINGHAM, WA  
**CORNWALL CONDOMINIUMS  
FIRE WATER SERVICE  
CONSTRUCTION DETAILS**

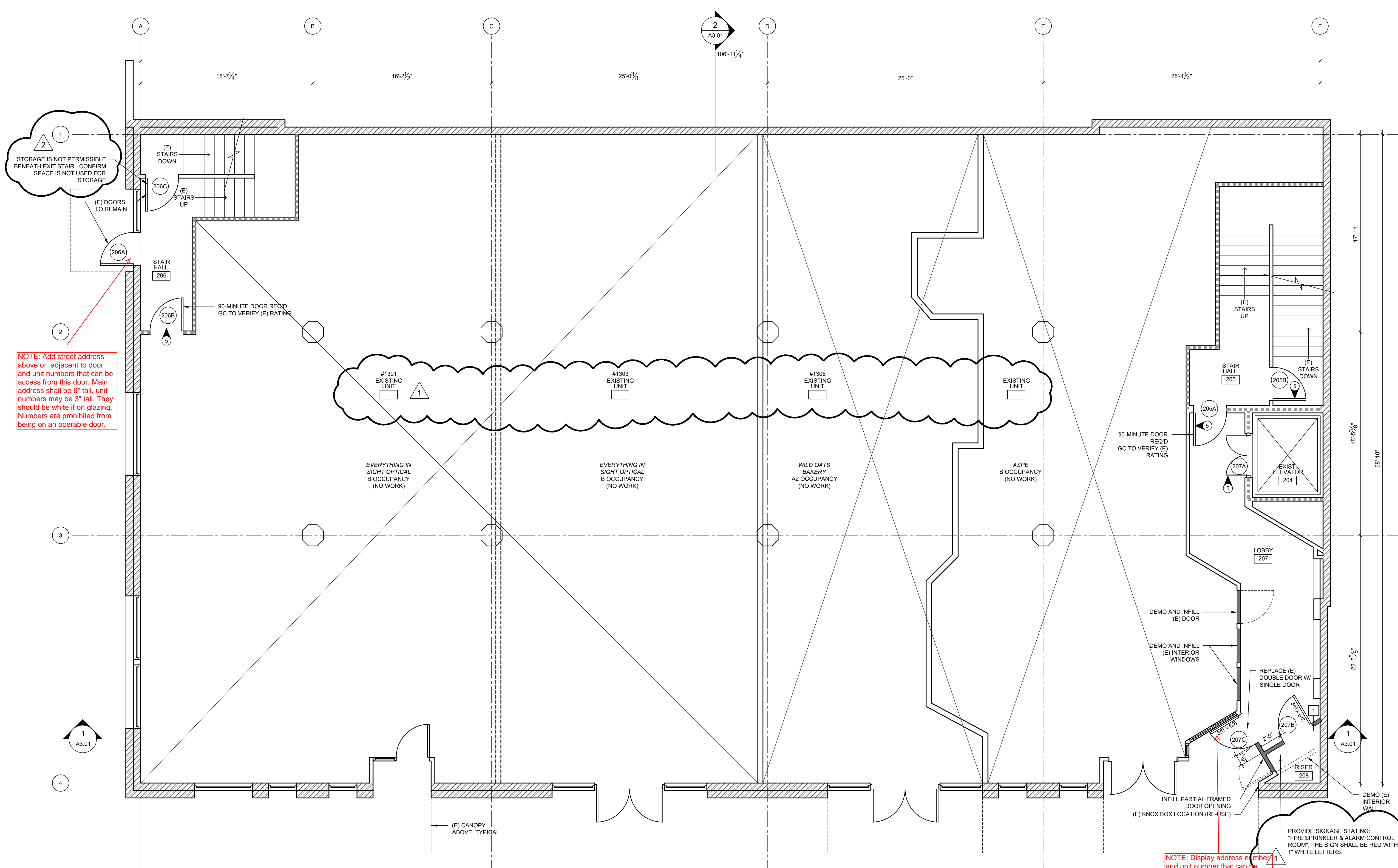
DATE: 3/4/2019  
DESIGN: ELR  
DRAWN: ELR  
SCALE: AS SHOWN

PROJECT # 19014  
SHEET # OF  
**C2** 2  
REV # 1

AXE ENGINEERING & LAND USE SERVICES, LLC  
"CUTTING THROUGH PROJECT BARRIERS"  
5426 BARRETT RD ST. #101  
FERNDALE, WA 98248  
360-393-8418  
www.axeengineering.com

Professional Engineer  
ARIN L. RUSSELL  
STATE OF WASHINGTON  
No. 35116  
EXPIRES 12/31/2021

CITY COMMENTS-UPDATED DETAIL  
REVISIONS  
DATE 9/11/2020  
BY ELR



STORAGE IS NOT PERMISSIBLE BENEATH EXIT STAIR. CONFIRM SPACE IS NOT USED FOR STORAGE

NOTE: Add street address above or adjacent to door and unit numbers that can be accessed from this door. Main address shall be 6" tall, unit numbers may be 3" tall. They should be white if on glazing. Numbers are prohibited from being on an operable door.

NOTE: First floor does not have suite numbers. Each tenant space has been assigned an individual street address.

NOTE: Display address number and unit number that can be accessed from this location. #201

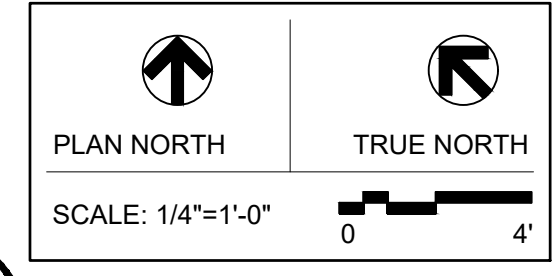
NOTE: DCDA Required on fireline.

GENERAL NOTES	LEGEND	FLAG NOTES
<ol style="list-style-type: none"> <li>ALL WALLS TO BE TYPE 1, U.N.O.</li> <li>ALL WALLS TO EXTEND TO UNDERSIDE OF STRUCTURE (BOTTOM OF CONCRETE ROOF DECK, BOTTOM OF CONCRETE BEAM), U.N.O.</li> <li>ALL WALLS TO BE ACOUSTICALLY INSULATED</li> </ol>	<p><b>PARTITION TYPES</b></p> <p>TAG SYMBOL </p> <ul style="list-style-type: none"> <li> EXISTING TO REMAIN</li> <li> EXISTING TO BE REMOVED</li> <li> EXISTING EXTERIOR WALL</li> <li> PROPOSED FULL HEIGHT CONSTRUCTION</li> <li> (E) RATED WALL. 2-HR REQUIRED. GC TO VIF.</li> </ul> <p>NOTE: SEE G0.03 FOR PARTITION TYPES</p>	<ol style="list-style-type: none"> <li>(E) CONCRETE BEAM (ABOVE) TO REMAIN</li> <li>(E) CONCRETE COLUMN TO REMAIN</li> <li>(E) SKYLIGHT (ABOVE) TO REMAIN</li> <li>(E) SKYLIGHT (ABOVE) TO BE INFILLED</li> <li>(E) FIRE-RATED DOOR</li> <li>DEMO (E) MECHANICAL UNIT. SEE MECHANICAL DRAWINGS.</li> </ol>

1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

**PERMIT**  
03.06.2019

REV	ISSUED FOR	DATE
1	PERMIT RESPONSE R1	9/1/2020
2	PERMIT RESPONSE R2	12/07/20

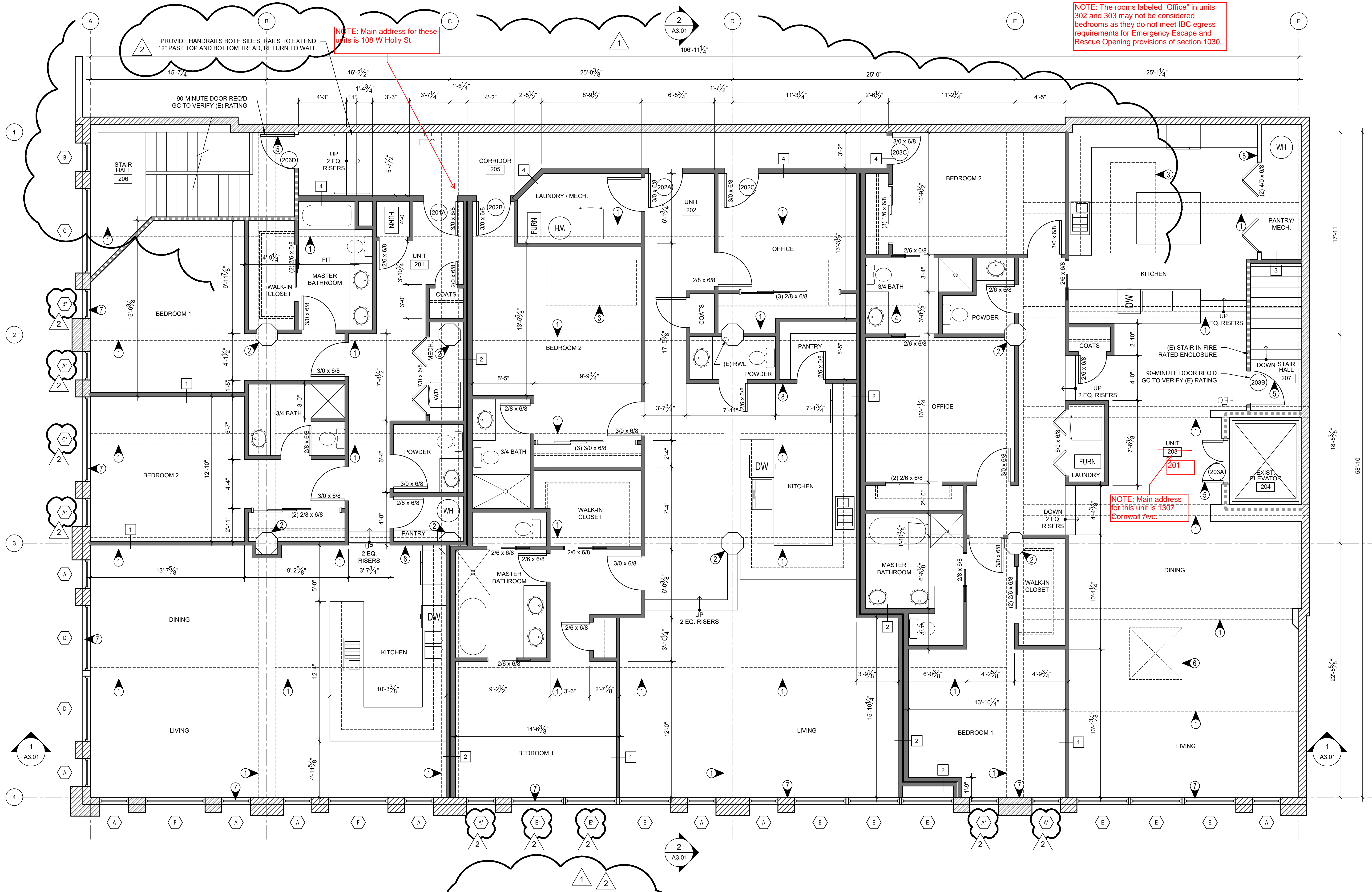


**CORNWALL CONDOMINIUMS**

LANGSTAN MANAGEMENT

**PROPOSED FIRST FLOOR PLAN**

PROJECT No: 201812.04  
DRAWN BY: KG  
CHECKED BY: AK  
DATE ISSUED: 03.06.2019



NOTE: The rooms labeled "Office" in units 302 and 303 may not be considered bedrooms as they do not meet IBC egress requirements for Emergency Escape and Rescue Opening provisions of section 1030.

NOTE: Main address for these units is 108 W Holly St

NOTE: Main address for this unit is 1307 Cornwall Ave.

**GENERAL NOTES**

- ALL WALLS TO BE TYPE 1, U.N.O.
- ALL WALLS TO EXTEND TO UNDERSIDE OF STRUCTURE (BOTTOM OF CONCRETE ROOF DECK, BOTTOM OF CONCRETE BEAM), U.N.O.
- ALL WALLS TO BE ACOUSTICALLY INSULATED

**LEGEND**

PARTITION TYPES	TAG SYMBOL
EXISTING TO REMAIN	---
EXISTING TO BE REMOVED	----
EXISTING EXTERIOR WALL	=====
PROPOSED FULL HEIGHT CONSTRUCTION	=====
(E) RATED WALL. 2-HR REQUIRED. GC TO VIF.	=====

NOTE: SEE G0.03 FOR PARTITION TYPES

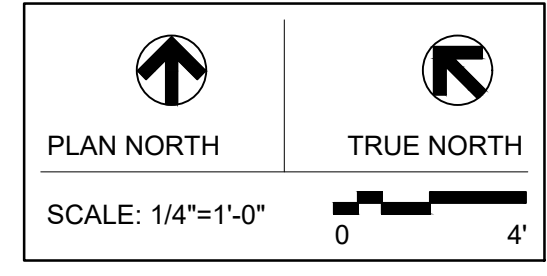
**FLAG NOTES**

- (E) CONCRETE BEAM (ABOVE) TO REMAIN
- (E) CONCRETE COLUMN TO REMAIN
- (E) SKYLIGHT (ABOVE) TO REMAIN, CONFIRM UNIT MEETS .5 U-VALUE
- (E) SKYLIGHT (ABOVE) TO BE INFILLED
- FIRE-RATED DOOR
- DEMO (E) MECHANICAL UNIT. SEE MECHANICAL DRAWINGS.
- INSULATE MASS WALL (SOLID MASONRY) PER PRESCRIPTIVE REQUIREMENT - SEE G0.02
- PROVIDE FIRE EXTINGUISHER IN EACH UNIT (LOCATE WITHIN KITCHEN AREA), TYPE 2A10BC, MOUNT WITH TOP NO HIGHER THAN 60" A.F.F. ADDITIONALLY, PROVIDE THREE UNITS WITHIN BASEMENT EQUALLY SPACED.

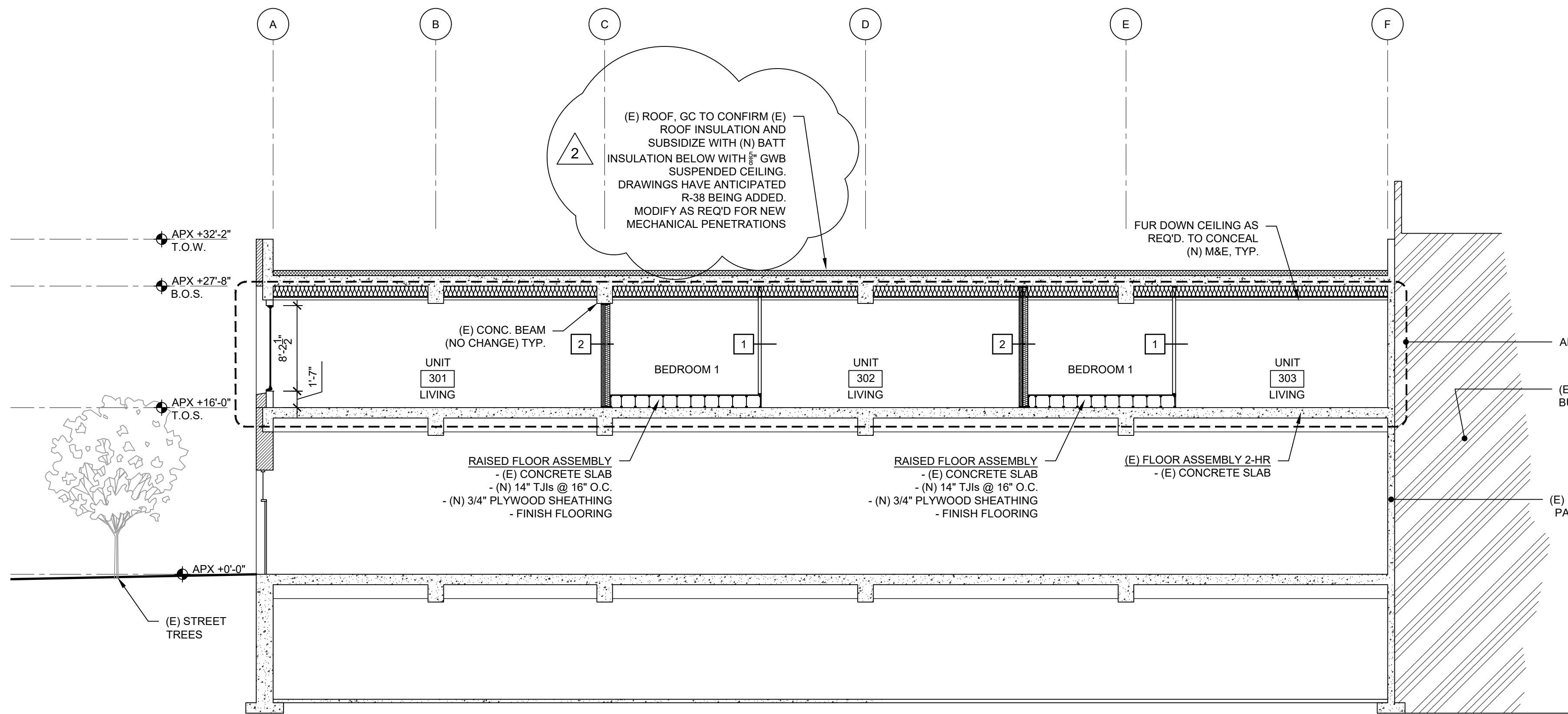
1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

**PERMIT 03.06.2019**

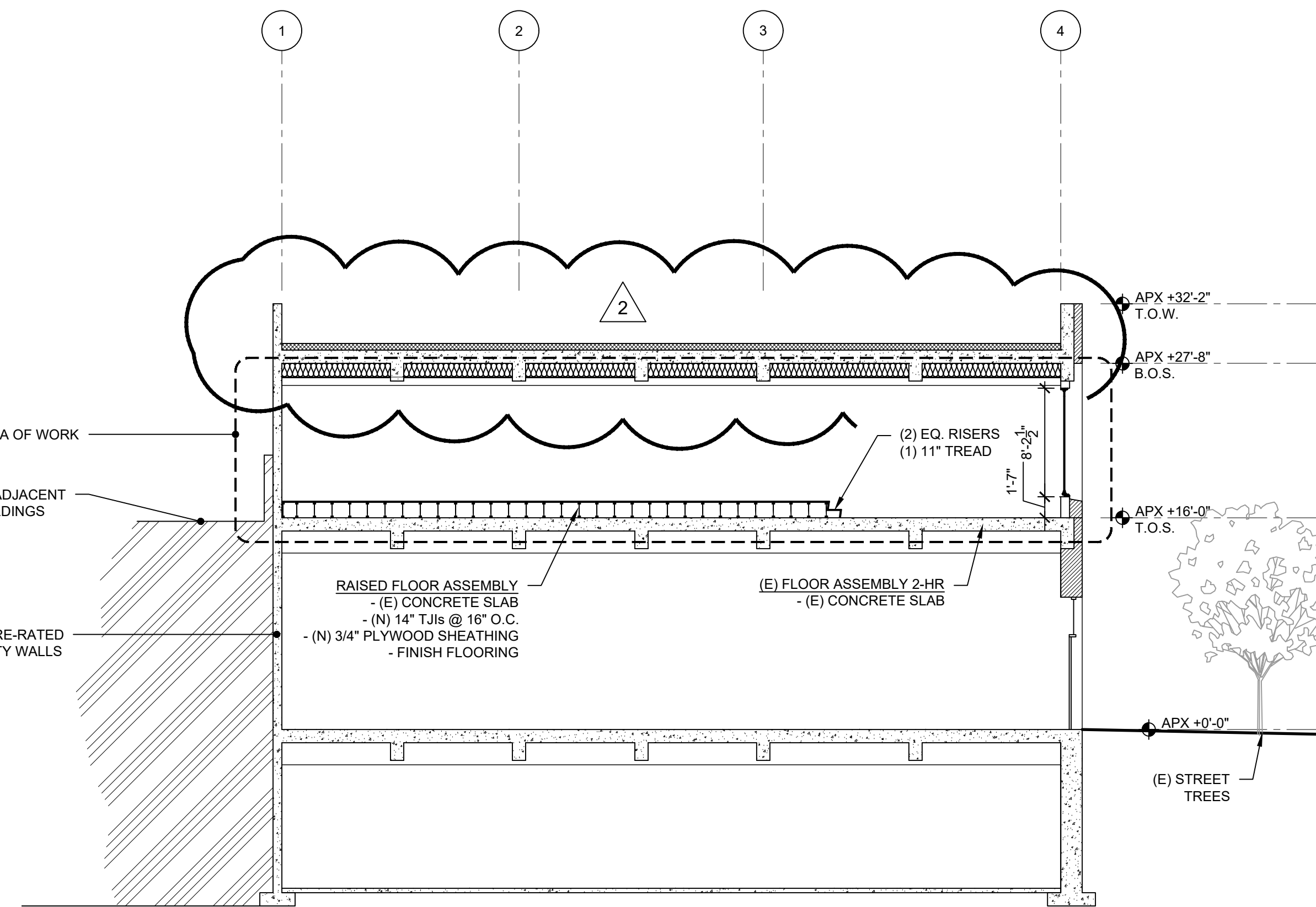
REV	ISSUED FOR	DATE
1	PERMIT RESPONSE R1	9/1/20
2	PERMIT RESPONSE R2	12/07/20



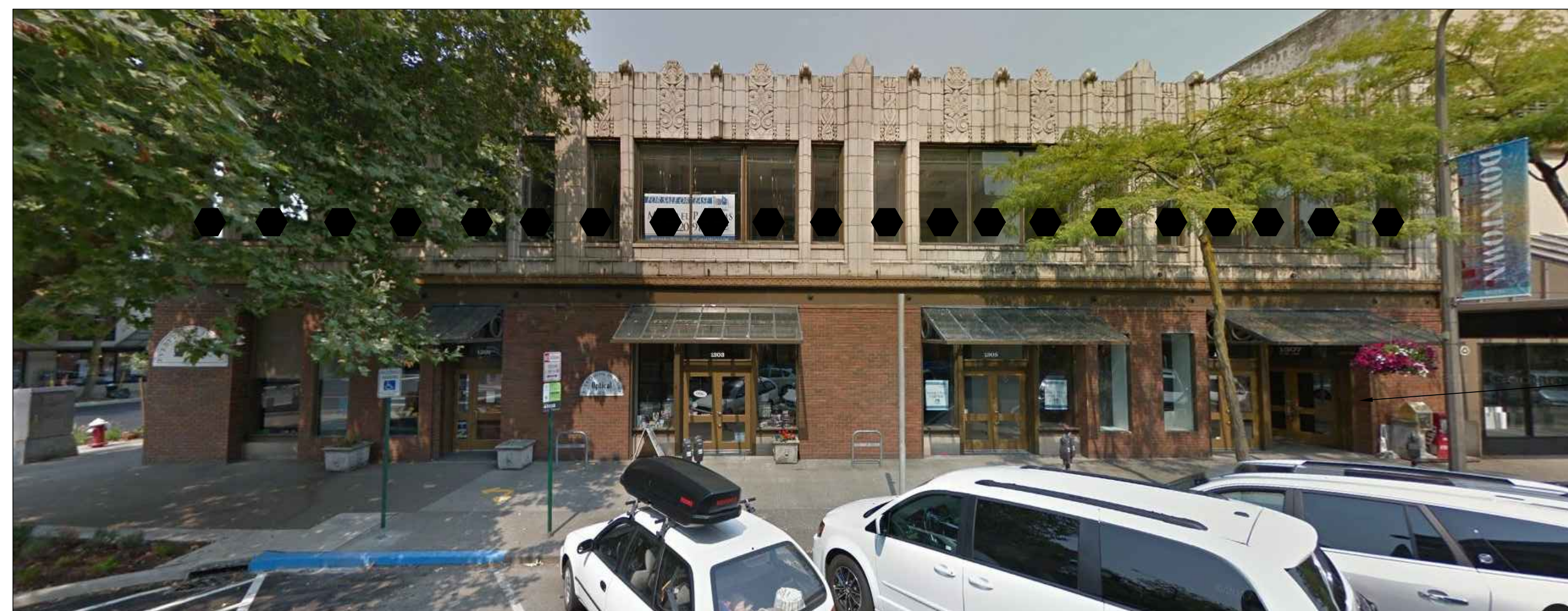
**CORNWALL CONDOMINIUMS**  
LANGSTAN MANAGEMENT  
**PROPOSED SECOND FLOOR PLAN**  
PROJECT No: 201812.04  
DRAWN BY: KG  
CHECKED BY: AK  
DATE ISSUED: 03.06.2019



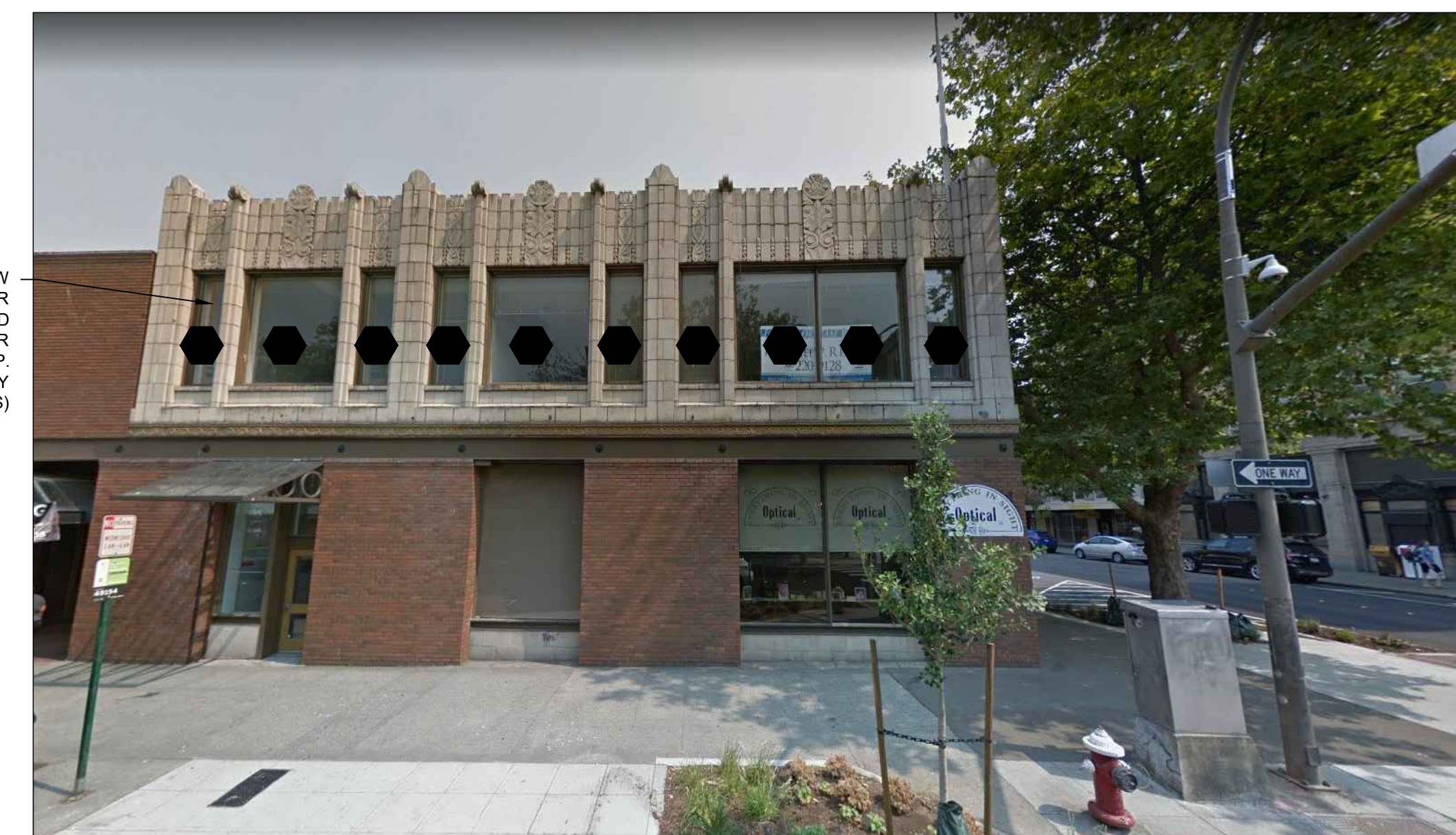
1 BUILDING SECTION  
1/8" = 1'-0"



2 BUILDING SECTION  
1/8" = 1'-0"



3 CORNWALL ELEVATION  
1/8" = 1'-0"



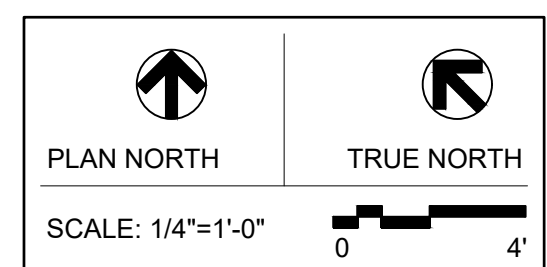
4 HOLLY STREET ELEVATION  
1/8" = 1'-0"

GENERAL NOTES:

1. GC TO INSPECT ALL PENETRATIONS IN THE 3-HR CONCRETE FLOOR SLAB. VERIFY ALL PENETRATIONS ARE SEALED WITH AN APPROPRIATE FIRESTOP SYSTEM.

2. WINDOWS TYPES WITH AN ASTERISK ARE TO HAVE TEMPERED GLAZING. SEE WINDOW SCHEDULE.

REV	ISSUED FOR	DATE
1	PERMIT RESPONSE R1	9/1/20
2	PERMIT RESPONSE R2	12/07/20



**CORNWALL CONDOMINIUMS**

LANGSTAN MANAGEMENT

**BUILDING SECTIONS & ELEVATIONS**

PROJECT No: 201812.04  
DRAWN BY: KG  
CHECKED BY: AK  
DATE ISSUED: 03.06.2019