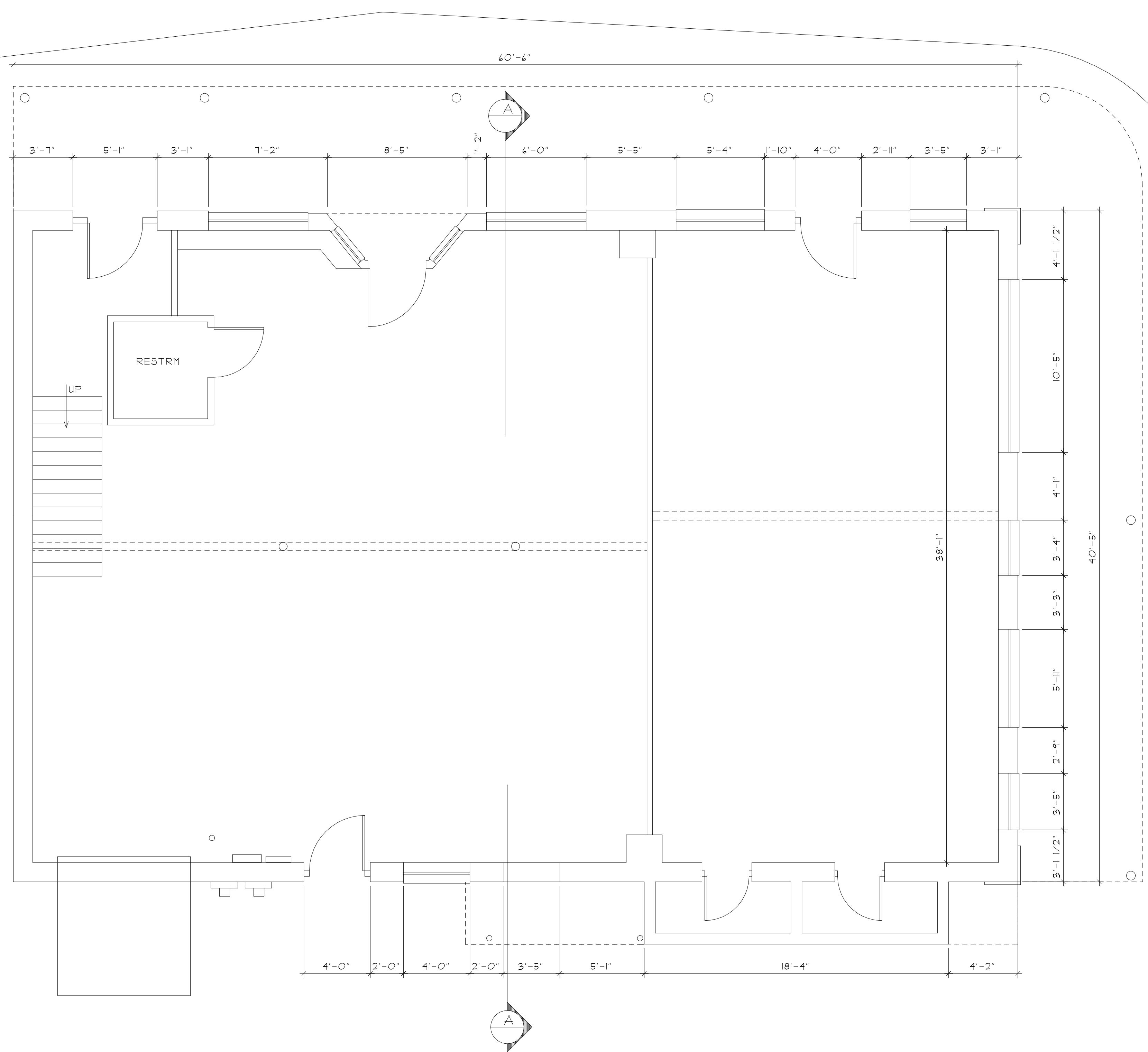
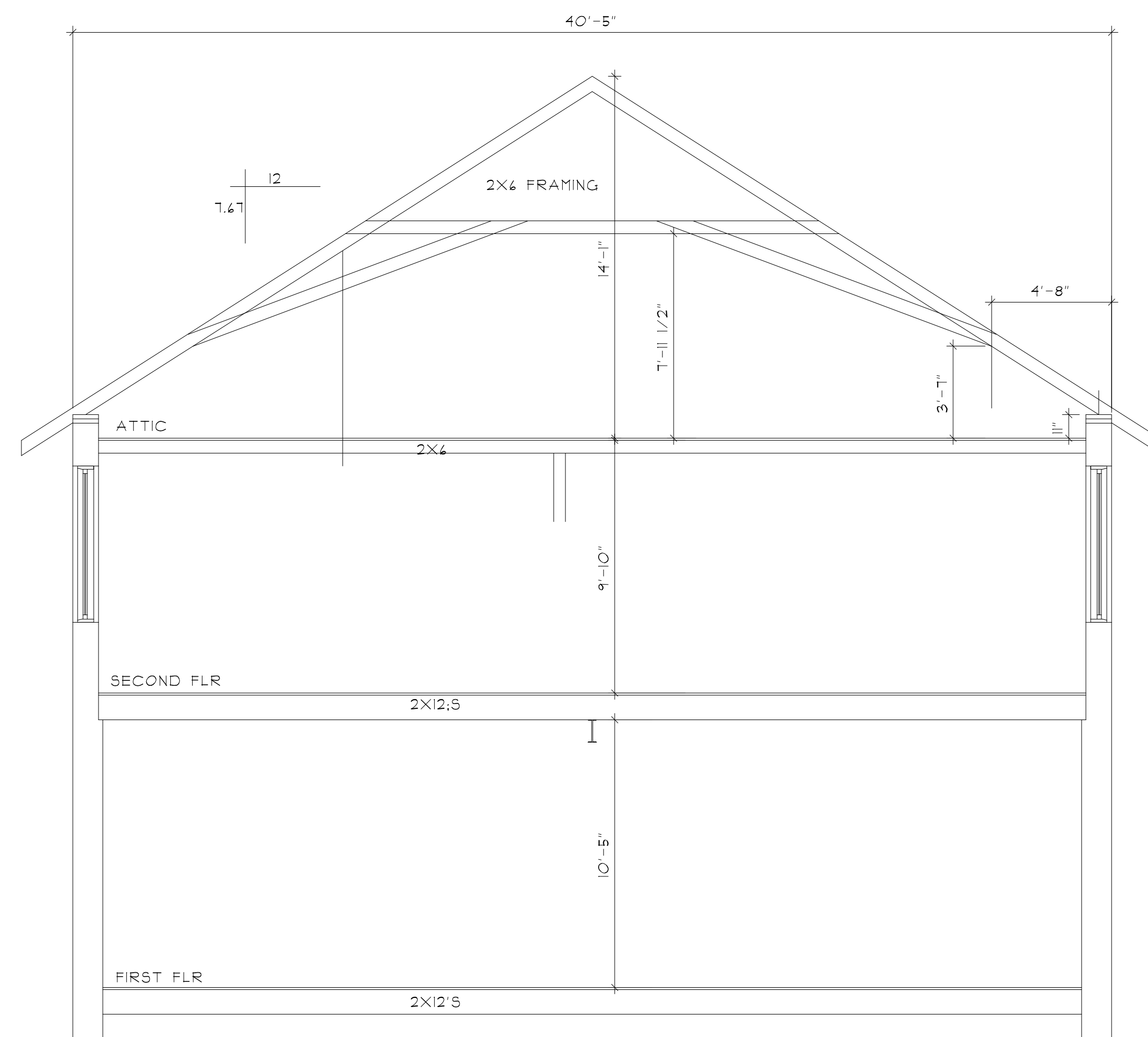


21st STREET



EXIST FIRST FLOOR PLAN
1/4" = 1'-0"

MAIN ST

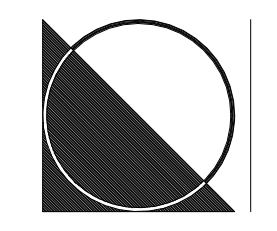


SECTION A
1/4" = 1'-0"

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101 N. 21st STREET, PURCELLVILLE, VA
EXISTING 1ST FLOOR PLAN, SECTION A

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703.777.5773
www.ONeilArchitects.com
joneil@ONeilArchitects.com
110 Loudoun Street SW
Leesburg, VA 20175

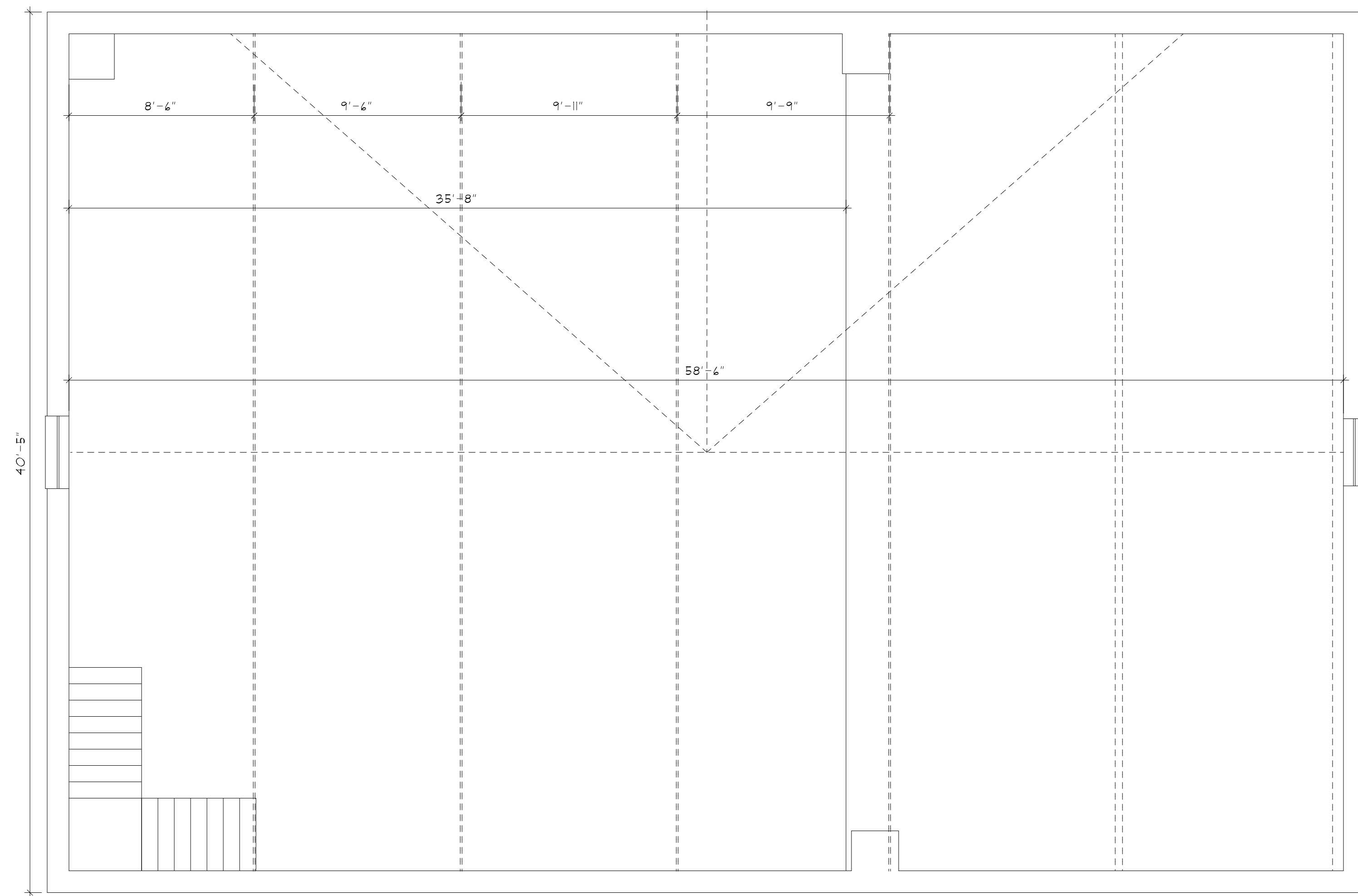
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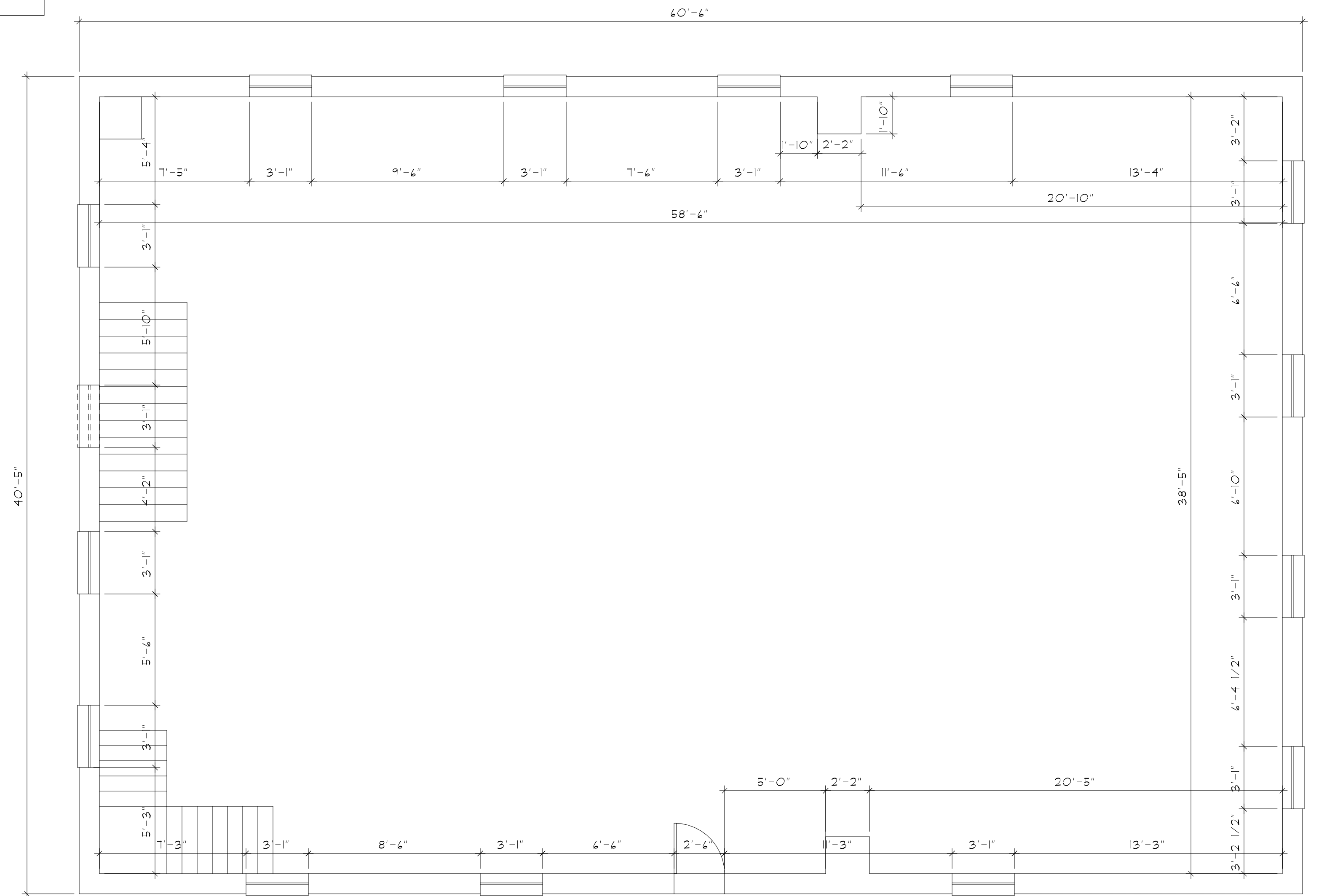
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ATTIC PLAN
1/4" = 1'-0"

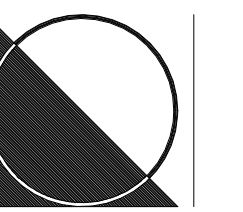


SECOND FLOOR PLAN
1/4" = 1'-0"

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GNATSASS LLC BUILDING
101 N. 21st STREET, PURCELLVILLE, VA
2ND FLR & ATTIC FLOOR PLANS

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ARCHITECTS



703 777 5773
www.ONeilArchitects.com
fjoneil@ONeilArchitects.com
110 Loudoun Street SW
Leesburg, VA 20175

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2

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05/09/2023 Design Concepts

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CODE ANALYSIS

GOVERNING CODES

BUILDING - 2018 VIRGINIA CONSTRUCTION CODE
 FIRE SAFETY - 2015 VIRGINIA STATEWIDE FIRE PREVENTION CODE
 MECHANICAL - 2018 VIRGINIA MECHANICAL CODE (IMC)
 PLUMBING - 2018 VIRGINIA PLUMBING CODE (IPC)
 ELECTRIC - 2017 NATIONAL ELECTRICAL CODE
 EXISTING BUILDING - 2018 VIRGINIA EXISTING BUILDING CODE
 ACCESSIBILITY - 2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC ANSI-A117)
 ENERGY CONSUMPTION - 2018 VIRGINIA ENERGY CONSERVATION CODE

BUILDING INFORMATION

USE 1 OCCUPANCY - UNSEPARATED MIXED USE
 A-2, ASSEMBLY USE (RESTAURANT) FIRST FLOOR AND BASEMENT
 R-2 NON-TRANSIENT RESIDENTIAL (APARTMENTS) SECOND FLOOR AND ATTIC
 TYPE OF CONSTRUCTION - III B
 TOTAL GROSS FLOOR AREA OF BUILDING PER IBC DEFINITION (INSIDE FACE OF EXTERIOR WALLS):
 FIRST FLOOR: 2323 SQ FT
 SECOND FLOOR: 2241 SQ FT
 ATTIC FLOOR: 2441 SQ FT
 BASEMENT: 2323 SQ FT
 TOTAL GROSS FLOOR AREA OF BUILDING PER IBC DEFINITION - 9140 SQ FT TOTAL
 HEIGHT/ NUMBER OF STORIES - 30' 3 STORY W/ FULL BASEMENT
 FULLY SPRINKLED - YES (REQUIRED FOR R-2 USE), FIRE ALARM - YES (REQUIRED FOR R-2 USE)

WALL, FLOOR, CEILING CONSTRUCTION:

EXTERIOR WALLS: MASONRY
 INTERIOR BEARING WALLS & BEAMS: WOOD FRAME & STEEL
 FIRST & SECOND FLOOR: WOOD JOISTS AND SUBFLOOR
 ROOF: STANDING SEAM METAL ROOFING 3/4" WD SHEATHING ON TOP 2x6 FRAMING AND WOOD BEAMS

FIRE RATINGS:

1 HOUR RATING REQUIRED BETWEEN SPRINKLER ROOM & ADJACENT SPACES.
 1/2 HOUR RATING BETWEEN APARTMENTS
 1/2 HOUR RATING BETWEEN FLOORS TO SEPARATE APARTMENTS
 1 HOUR RATING TO SEPARATE STAIRWELL FROM VARIOUS USE GROUPS

ACCESSIBILITY:

FIRST FLOOR IS FULLY ACCESSIBLE FROM ENTRY DOORS TO RESTROOM SPACES
 UPPER FLOORS AND BASEMENT ARE LESS THAN 3000 SQ FT, THEREFORE ACCESSIBLE ROUTE NOT REQUIRED
 BASEMENT LEVEL RESTROOMS MUST STILL BE FULLY ACCESSIBLE

REQUIRED EXITS:

TWO EXITS ARE PROVIDED FOR THE BASEMENT AND FIRST FLOOR RESTAURANT SPACE.
 PER CODE SECTION 1004, NUMBER OF EXITS, R-2 (I) MEANS OF EGRESS PERMITTED W/ SPRINKLERS AND OCCUPANCY LOAD MAXIMUM OF 20/FLR & MAX 3 STORIES ABOVE GRADE PER TABLE 1004.3.3(1)

EGRESS:

MAXIMUM LENGTH OF EXIT ACCESS TRAVEL DISTANCE ALLOWED (R-2) = 125'
 MAXIMUM LENGTH OF EXIT ACCESS TRAVEL DISTANCE PROVIDED = 43'

OCCUPANCY LOAD:

ASSEMBLY (A-2): TABLES AND CHAIRS 15 SQ FT/PERSON PLUS BAR
 FIRST FLR RESTAURANT:
 KITCHEN/MECHANICAL: 553/200 = 3 OCCUPANTS
 SEATING AREA: 1011 SQ FT/15 SQ FT (TABLES AND CHAIRS) = 68 OCCUPANTS
 BAR: 14 OCCUPANTS
 TOTAL: 85 OCCUPANTS
 BASEMENT RESTAURANT:
 KITCHEN/MECHANICAL: 124/200 = 4 OCCUPANTS
 SEATING AREA: 1228 SQ FT/15 SQ FT (TABLES AND CHAIRS) = 82 OCCUPANTS
 TOTAL: 86 OCCUPANTS
 RESIDENTIAL (R-2): 1 PERSON/200 SQ FT
 RESIDENTIAL AREA SECOND FLOOR: 1842 SQ FT/200 = 10 OCCUPANTS
 RESIDENTIAL AREA ATTIC FLOOR: 1516 SQ FT/200 = 8 OCCUPANTS

PLUMBING CALCULATIONS:

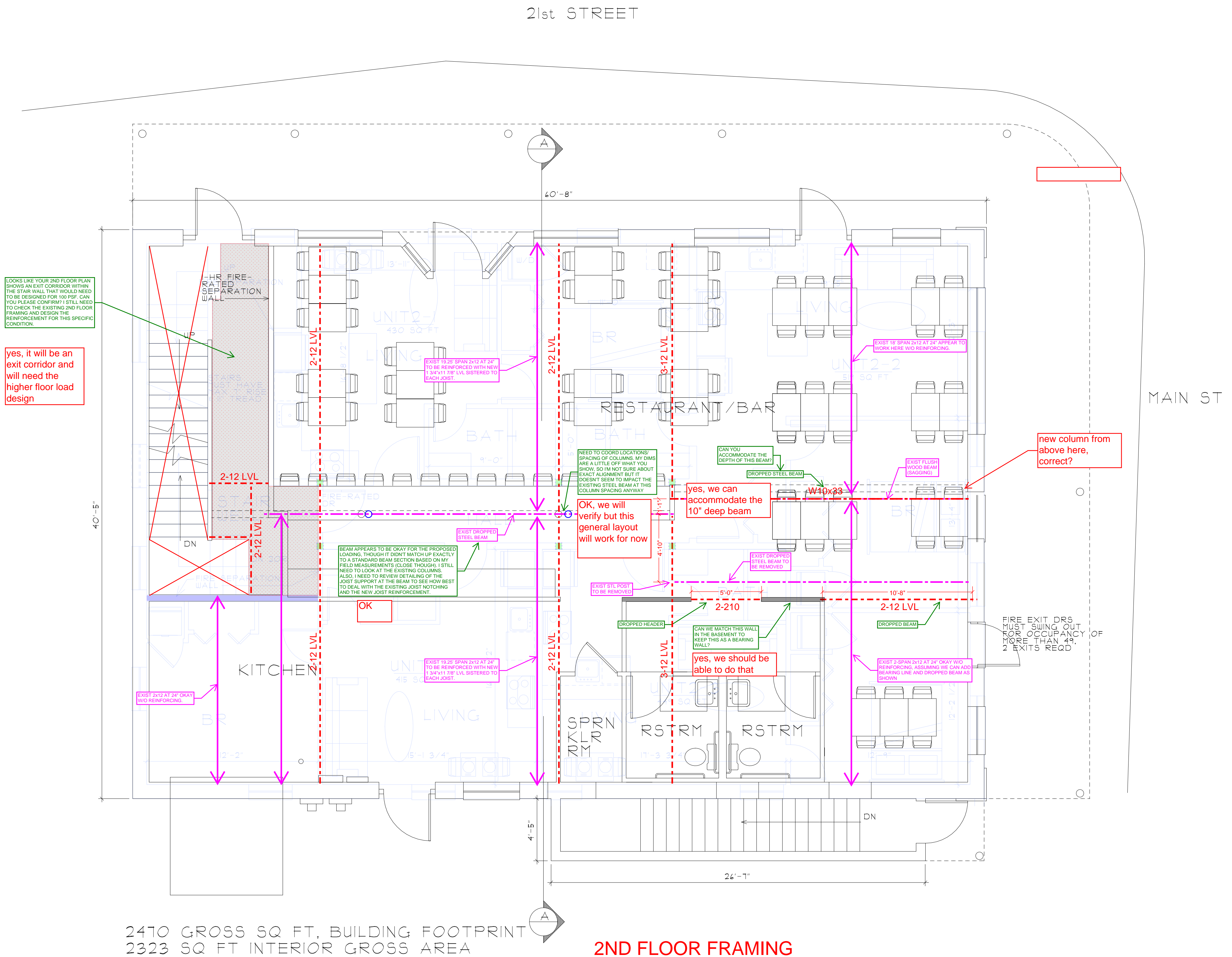
FIRST FLOOR ASSEMBLY: 85 OCCUPANTS
 1 WATER CLOSET PER 75 MALES AND 75 FEMALES
 LAVATORIES: 1 PER 200 MALE, 1 PER 200 FEMALE
 (ONE RESTROOM FOR MALES, ONE RESTROOM FOR FEMALES REQUIRED + ONE DRINKING FOUNTAIN)
 BASEMENT ASSEMBLY: 84 OCCUPANTS
 1 WATER CLOSET PER 75 MALES AND 75 FEMALES
 LAVATORIES: 1 PER 200 MALE, 1 PER 200 FEMALE
 (ONE RESTROOM FOR MALES, ONE RESTROOM FOR FEMALES REQUIRED + ONE DRINKING FOUNTAIN)
 R-2 RESIDENTIAL: 1 FULL BATH PER UNIT

STRUCTURAL DESIGN LOADS:

ASSEMBLY: 100 LB/SQ FT LIVE LOAD FOR SEATING AREA AND LOBBY SPACES
 RESIDENTIAL: 40 LB/SQ FT LIVE LOAD, 15 LB/SQ FT DEAD LOAD
 ROOF: 17 LB/SQ FT DEAD, 30 LB/SQ FT SNOW

I AM CURRENTLY USING 15 PSF FOR THE FLOOR DEAD LOAD, ASSUMING THERE IS NO CONCRETE. PLEASE CONFIRM THERE WILL BE NO CONCRETE UNDERLAYMENT ON ANY OF THE WOOD FLOORS.

Right now there are no plans to use gypcrete on the floors.



2410 GROSS SQ FT, BUILDING FOOTPRINT
 2323 SQ FT INTERIOR GROSS AREA

2ND FLOOR FRAMING

FIRST FLOOR PLAN

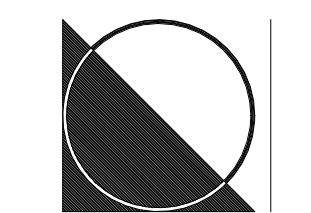
1/4"=1'-0"

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 PROPOSED FIRST FLOOR PLAN, CODE ANALYSIS

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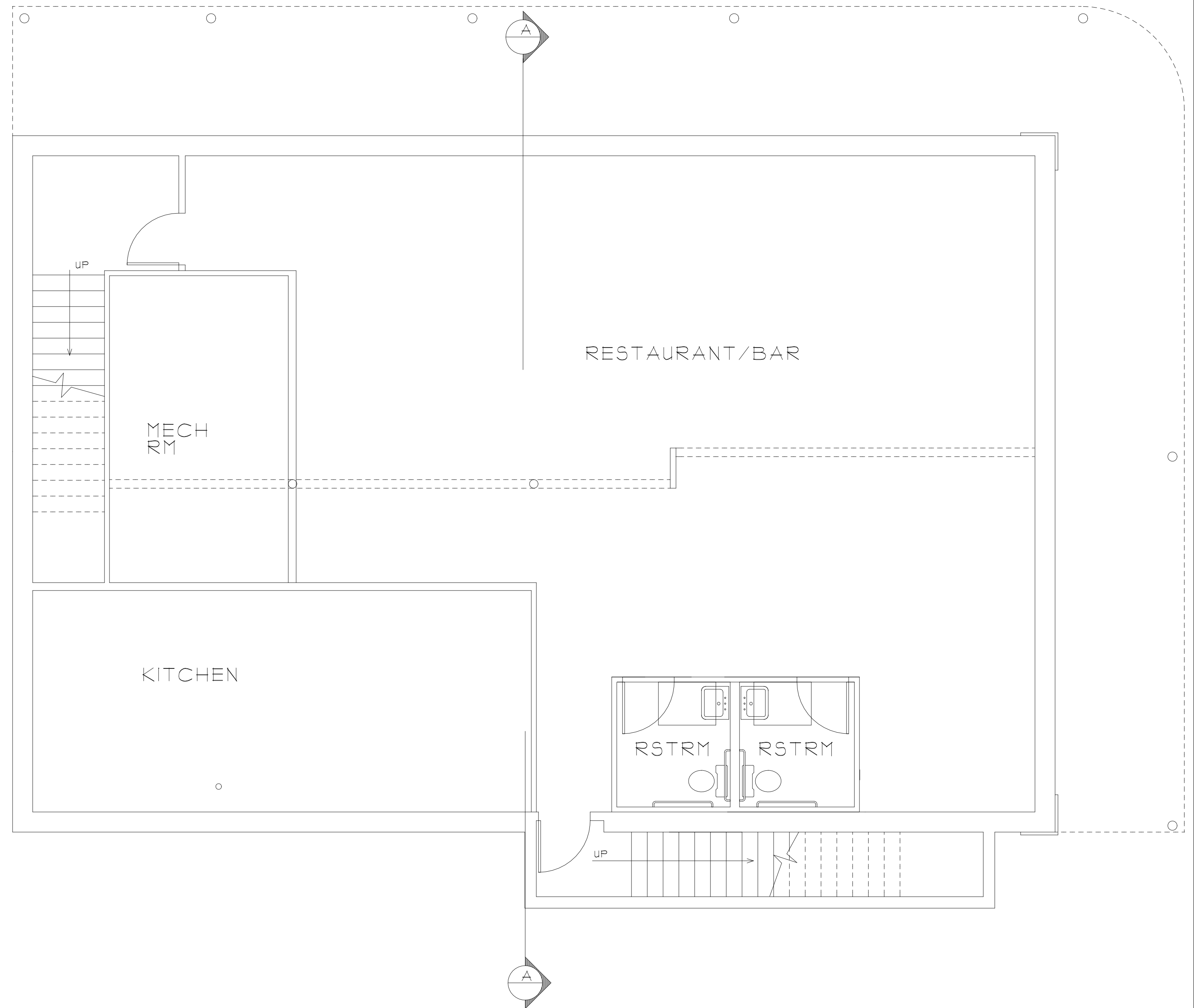
703.777.5773
 www.ONeilArchitects.com
 joneil@ONeilArchitects.com
 110 Loudoun Street SW
 Leesburg, VA 20175

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3

of: 6

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NEW BASEMENT FLOOR PLAN
 1/4" = 1' - 0"

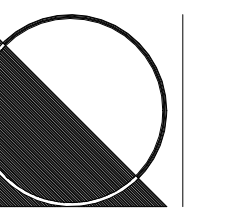
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 PROPOSED BASEMENT PLAN

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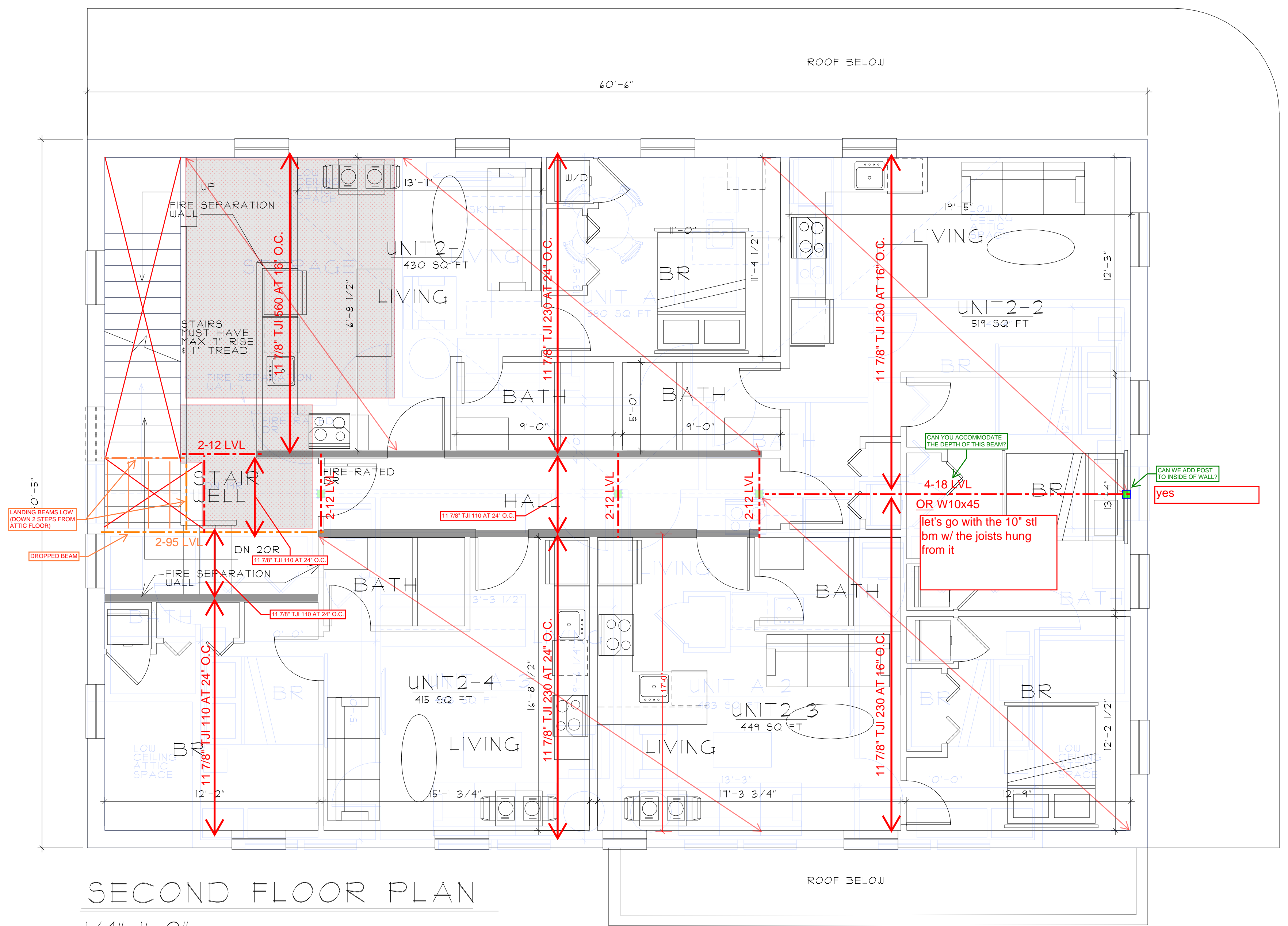


703.777.5773
 www.ONeilArchitects.com
 tjoneil@ONeilArchitects.com
 110 Loudoun Street SW
 Leesburg, VA 20175

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4

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SECOND FLOOR PLAN

1/4" = 1'-0"
 2241 SQ. FT. TO INTERIOR
 FACE OF EXTERIOR WALLS

ATTIC FLOOR FRAMING

NOT FOR
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GNATSASS LLC BUILDING
 101 N. 21st STREET, PURCELLVILLE, VA
 PROPOSED SECOND FLOOR PLAN

O'NEIL ARCHITECTS

703.777.5773
 www.ONeilArchitects.com
 joneil@OneilArchitects.com
 110 Loudoun Street SW
 Leesburg, VA 20175

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PROPOSED ATTIC PLAN

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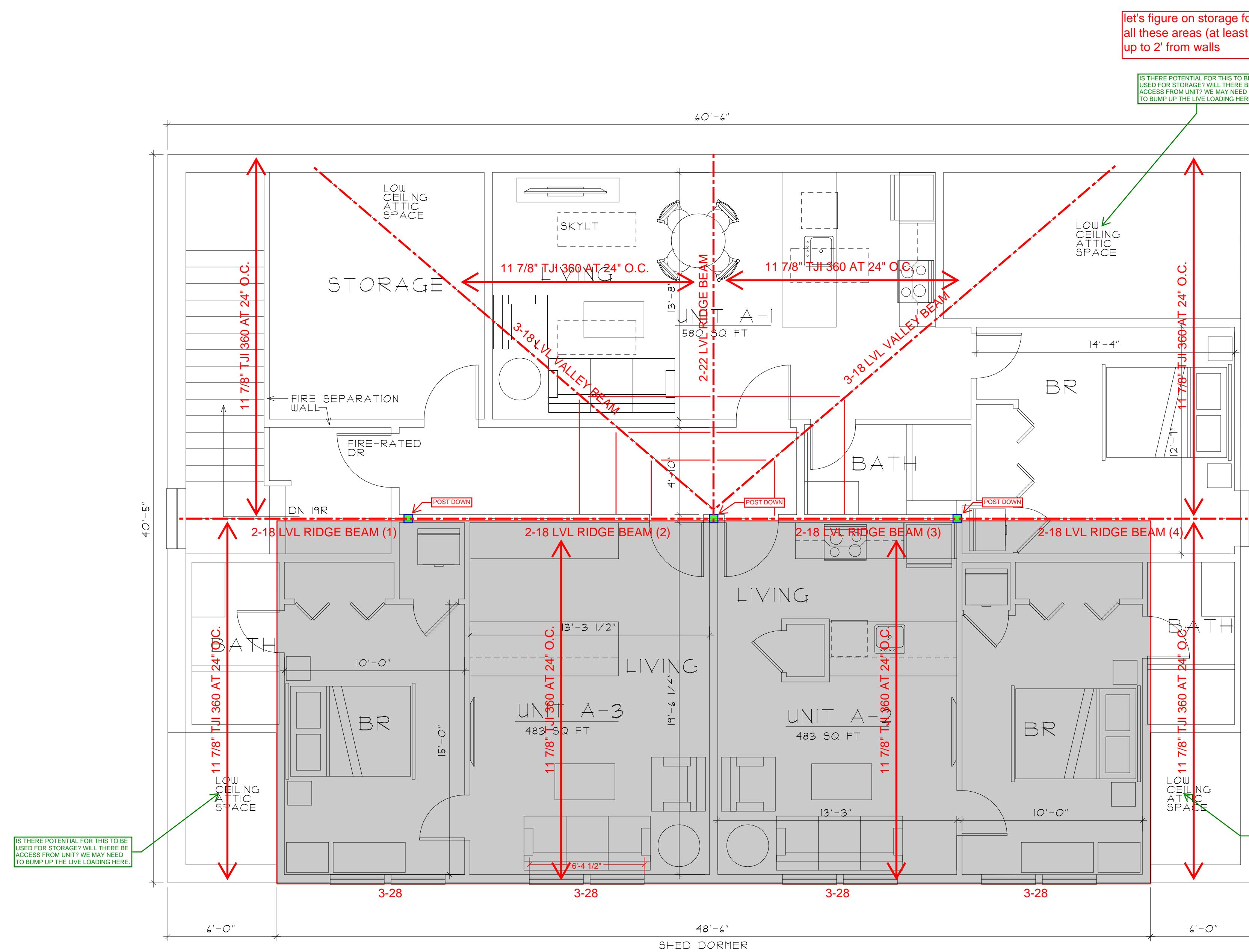


703.777.5773
www.ONeilArchitects.com
fjonell@ONeilArchitects.com
110 Loudoun Street SW
Leesburg, VA 20175

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6

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let's figure on storage for all these areas (at least up to 2' from walls)

IS THERE POTENTIAL FOR THIS TO BE USED FOR STORAGE? WILL THERE BE ACCESS FROM UNIT? WE MAY NEED TO BUMP UP THE LIVE LOADING HERE

IS THERE POTENTIAL FOR THIS TO BE USED FOR STORAGE? WILL THERE BE ACCESS FROM UNIT? WE MAY NEED TO BUMP UP THE LIVE LOADING HERE

IS THERE POTENTIAL FOR THIS TO BE USED FOR STORAGE? WILL THERE BE ACCESS FROM UNIT? WE MAY NEED TO BUMP UP THE LIVE LOADING HERE

2241 SQ FT TO INTERIOR FACE OF EXTERIOR WALLS

ATTIC PLAN

1/4" = 1'-0"

ROOF FRAMING