

GENERAL NOTES

ALL HEIGHTS ARE RELEVANT TO FINISH FLOOR ELEVATION (+0'-0") UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BUILDING RESTROOMS TO BE PROVIDED AT TIME OF TENANT OCCUPANCY: (TO BE SHOWN ON LEASE SPACE PERMIT DWG'S.). THIS SET OF DRAWINGS IS FOR SHELL PERMIT ONLY. TOTAL AREA TO BE NON-CONDITIONED. TENANT BUILD-OUT WILL BE AT A FUTURE TIME AND SUBMITTED SEPARATELY FROM THIS PERMIT. THE FLOOR SLAB SHALL BE SEALED AND ALL FLOOR JOINTS TO BE CAULKED AS REQUIRED AT TIME OF INTERIOR BUILD-OUT. CONTRACTOR TO PROVIDE DOCUMENTATION TO THE BUILDING DEPARTMENT THAT THE SOIL UNDER THE BUILDING SLAB AREA HAS BEEN TREATED FOR PROTECTION AGAINST TERMITES. ALL WOOD IN CONTACT WITH MASONRY TO BE PRESSURE TREATED. INTERIOR FINISHES TO MEET F.B.C. REQUIREMENTS IN CHAPTER 8. TABLE 803.11 GROUP M OCCUPANCY (SPRINKLERED) = CLASS B. (EXIT PASSAGEWAYS) TABLE 803.11 GROUP M OCCUPANCY (SPRINKLERED) = CLASS C. (EXIT CORR. & LOBBIES) TABLE 803.11 GROUP M OCCUPANCY (SPRINKLERED) = CLASS C. (ROOMS AND ENCLOSED SPACES) NEW FIRE EXTINGUISHER W/ STANDARD BRACKET, PROVIDE TWO (2). NEW MULTI-PURPOSE DRY CHEMICAL FIRE EXTINGUISHER, MODEL # MP5 FIRE EXTINGUISHER, UL RATED 2A-10B:C, BY LARSEN'S MFR. OR EQUIVALENT. FIRE EXTINGUISHERS SHALL BE MIN. RATED 2A. FOR A MAX FLOOR AREA OF 3,000 SQ. FT. W/ A MAX TRAVEL DISTANCE OF 75 FT TO EXTINGUISHERS. FIRE EXTINGUISHER TO BE MOUNTED W/ ITS LEADING EDGE AT OR BELOW 27" ABOVE FINISHED FLOOR TO COMPLY WITH A.D.A. REQUIREMENTS AS PER F.B.C. ACCESSIBILITY 507.2, AND MOUNTED W/ ITS TOP NOT MORE THAN 5'-0" ABOVE THE FIN. FLOOR AS PER F.B.C. BUILDING 906.9.1.

FIRE EXTINGUISHERS CALCULATIONS CONTINUED - DESIGN COMPLIES MERCANTILE AREA: NFPA 10 - TABLE 6.2.1.1 TYPE OF HAZARD - ORDINARY MINIMUM-RATED SINGLE EXTINGUISHER - 2A MAXIMUM FLOOR AREA PER UNIT OF A - 1,500 SQ. FT. (2A = 1,500 S.F. X 2 = 3,000 S.F.) MAXIMUM TRAVEL DISTANCE TO EXTINGUISHERS - 75 FEET 6,800 GROSS S.F. / 3,000 S.F. MAX FLOOR AREA PER EXTINGUISHER = 2.27 SAY 3 FIRE EXTINGUISHERS REQUIRED 4 FIRE EXTINGUISHERS PROVIDED

FIRE EXTINGUISHER NOTE: FIRE EXTINGUISHERS REQUIRED OTHER THAN NOTED ABOVE WILL BE PROVIDED AT THE TIME OF FUTURE TENANT BUILD-OUT. FE = LOCATION OF FIRE EXTINGUISHER.

FLAMMABLE AND COMBUSTIBLE MATERIALS IF USED DURING CONSTRUCTION, SHALL BE HANDLED AND STORED IN ACCORDANCE WITH NFPA 30.

THE FOLLOWING ITEMS WILL BE ADDRESSED ON THE PERMIT PLANS, AS REQUIRED BY CODE, DURING THE PERMITTING PROCESS FOR THE INTERIOR TENANT IMPROVEMENTS.

- TENANT AND OCCUPANCY SEPARATION PARTITIONS.
- PIPES, CONDUITS, WIRES, DUCTS, ETC. PASSING THRU FIRE BARRIERS SHALL BE PROTECTED.
- A/C DUCT DISTRIBUTION DRAWINGS ADDRESSING, IF REQUIRED, AIR DUCT DETECTORS AND FIRE DAMPERS.
- EXIT LIGHTS AND EMERGENCY LIGHTING.
- INTERIOR FINISH MINIMUM "CLASSIFICATIONS" FOR FLAME SPREAD.

CONTRACTOR TO COORDINATE ALL INTERIOR PAINT COLORS WITH TENANT PRIOR TO INSTALLATION.

CONTRACTOR TO PROVIDE FIRE FLOW TESTS TO THE FIRE DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATION OF COMPLETION AND CERTIFICATE OF OCCUPANCY.

ADDRESS NUMBERS ON / BY MAIN ENTRANCE DOORS. NUMERALS SHALL CONTRAST W/ BACKGROUND AND BE AT LEAST EIGHT (8) INCHES IN HEIGHT.

THIS BUILDING HAS A COMPLETE FIRE SPRINKLER PROTECTION SYSTEM. FOR FIRE SPRINKLER DRAWINGS AND HYDRAULIC CALCULATIONS SEE FIRE SPRINKLER DRAWINGS BY OTHERS.

A COMPLETE AUTOMATIC FIRE SPRINKLER PROTECTION SYSTEM WILL BE INSTALLED DURING CONSTRUCTION UNDER THIS PERMIT AS PER N.F.P.A. 13. SEE FIRE ALARM DRAWINGS BY OTHERS.

PROVIDE 704 SIGNS WHICH WILL BE BASED ON TENANT PROVIDED MSDS SHEETS.

ROOF "R" VALUE = 19.0 (MIN.)

FOR STRUCTURAL INFORMATION - SEE DRAWINGS BY MORABITO CONSULTANTS.

FOR COMPLETE MECHANICAL, ELECTRICAL, & PLUMBING INFORMATION - SEE DRAWINGS BY BACH DESIGN ENGINEERS.

CONTRACTOR TO PROVIDE A CALIBRATED LIGHT METER AT TIME OF INSPECTION TO VERIFY THE EMERGENCY LIGHTING PHOTOMETRICS PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. IF CONTRACTOR CANNOT SECURE THE STRUCTURE TO PREVENT NATURAL LIGHT FROM ENTERING DURING TESTING OF THE EMERGENCY LIGHTING, AND INSPECTION AFTER NORMAL BUSINESS HOURS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

A LICENSED ROOFING CONTRACTOR IS REQUIRED TO OBTAIN A ROOFING PERMIT FOR ALL ROOF CONSTRUCTION AND PENETRATIONS.

A "KNOX KEY BOX" SHALL BE INSTALLED NEAR THE TENANT MAIN ENTRY DOOR AT A HEIGHT OF 5'-0". KNOX-BOX TO BE MODEL #3265 (SURFACE MOUNT). FIELD VERIFY EXISTING CONDITIONS. COORDINATE WITH FIRE DEPARTMENT REQUIREMENTS. (INCLUDING MODEL #).

ALL EXTERIOR WINDOWS AND DOORS ARE TO BE IMPACT RESISTANT.

CONTRACTOR TO PROVIDE LIQUID APPLIED FLASHING AT ALL EXTERIOR WINDOWS & DOOR OPENINGS AS PER THE FLORIDA BUILDING CODE 8TH EDITION (2023), BUILDING (1405.4 FLASHING), & INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

BUILDING USE

THIS BUILDING IS FOR THE USE OF MERCANTILE OCCUPANCIES CLASSIFIED AS LOW OR ORDINARY HAZARD (F.F.P.C. 101 6.2.2.2) AND (F.F.P.C. 101 6.2.2.3).

AREAS: TOTAL BUILDING 6,800 S.F.

PARTITION LEGEND

8" X 8" X 16" C.M.U. WALL. HEIGHT VARIES. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR MORE INFORMATION. PROVIDE SMOOTH STUCCO FINISH. PROVIDE EXTERIOR PAINT FINISH. SEE ELEVATIONS SHEETS (A-9 & A-10) FOR EXTERIOR PAINT FINISH SCHEDULE.

PROPERTY DEVELOPMENT REGULATIONS

SEE SITE DEVELOPMENT PLANS BY KIMLEY HORN FOR INFORMATION. COUNTY SUBMISSION NO. PDD-2025-01102.

SITE DATA

SEE SITE DEVELOPMENT PLANS BY KIMLEY HORN FOR INFORMATION. COUNTY SUBMISSION NO. PDD-2025-01102.

PARKING CALCULATIONS

SEE SITE DEVELOPMENT PLANS BY KIMLEY HORN FOR INFORMATION. COUNTY SUBMISSION NO. PDD-2025-01102.

GENERAL CODE INFO

TYPE OF CONSTRUCTION: = TYPE V (A) (S) (S1) (SPRINKLERED)

OCCUPANT CLASSIFICATION: MERCANTILE AREA: MERCANTILE / M / F.B.C. SECTION 309 MERCANTILE / F.F.P.C. 101 CHAPTER 36

OCCUPANT LOADS: MERCANTILE AREA: (F.B.C. N/A) (F.F.P.C. 101 T-7.3.1.2) 6,800 S.F. / 30 GROSS S.F. / PERSON = 226.7 PEOPLE TOTAL OCCUPANT LOAD: = 227 PEOPLE

CAPACITY OF MEANS OF EGRESS: MERCANTILE AREA: (F.B.C. 1005.1) REQUIRES: 20"/100 PEOPLE 227 PEOPLE = 60" MIN. REQ'D. 20 DOORS @ 32" = 640" PROVIDED

MAXIMUM ALLOWABLE COMMON PATH OF TRAVEL: MERCANTILE AREA: (F.B.C. N/A) (F.F.P.C. 101 36.2.5(2)) SPRINKLERED = 100'

MAXIMUM ALLOWABLE TRAVEL DISTANCE: MERCANTILE AREA: (F.B.C. T-1017.2) (F.F.P.C. 101 36.2.6.2) SPRINKLERED = 250'

MAXIMUM ALLOWABLE DEAD-END: MERCANTILE AREA: (F.B.C. 1020.5(2)) (F.F.P.C. 101 36.2.5.3.1) SPRINKLERED = 50'

GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO ALL CODE REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
- FLORIDA BUILDING CODE 8TH EDITION (2023), BUILDING.
- FLORIDA BUILDING CODE 8TH EDITION (2023), ACCESSIBILITY.
- FLORIDA BUILDING CODE 8TH EDITION (2023), ENERGY CONSERVATION.
- FLORIDA BUILDING CODE 8TH EDITION (2023), FUEL GAS.
- FLORIDA BUILDING CODE 8TH EDITION (2023), PLUMBING.
- FLORIDA BUILDING CODE 8TH EDITION (2023), MECHANICAL.
- FLORIDA FIRE PREVENTION CODE, 8TH EDITION.
- 2023 EDITION OF THE NATIONAL ELECTRIC CODE, N.F.P.A. 70
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THIS PROJECT (INCLUDING SITE CONDITIONS) PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IN WRITING IMMEDIATELY OF ANY DISCREPANCIES, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
3. THESE DRAWINGS HAVE BEEN DESIGNED AND NOTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA MODEL ENERGY EFFICIENCY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH, AND BUILD IN ACCORDANCE WITH, ALL PROVISIONS OF THAT CODE.
4. DOOR AND WINDOW UNITS SPECIFIED ARE GENERIC IN SIZE AND OPERATION, AND WILL VARY DEPENDING ON THE MANUFACTURER SELECTED BY THE CONTRACTOR. CONTRACTOR TO PROVIDE ROUGH OPENING DIMENSIONS. ALL DOOR AND WINDOW UNITS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE ENERGY CODE.
5. ALL PRODUCTS AND MATERIALS SHALL BE APPLIED OR INSTALLED ACCORDING TO MANUFACTURER'S PUBLISHED INSTRUCTIONS, OR IF NO INSTRUCTIONS EXIST, APPLY OR INSTALL AS PER STANDARD INDUSTRY PRACTICE.
6. SUBMIT A COPY OF THE CONTRACT DOCUMENTS (THAT WERE ISSUED FOR PERMIT) TO THE ARCHITECT WHEN RETURNED BY THE BUILDING DEPARTMENT AFTER PERMIT IS ISSUED. THIS WILL ALLOW THE ARCHITECT TO INCORPORATE ANY BUILDING DEPARTMENT MODIFICATIONS INTO THE CONTRACT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
7. DOOR AND WINDOW MANUFACTURER SHALL PROVIDE SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
8. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
9. CONTRACTOR SHALL NOTIFY THE ARCHITECT (IN WRITING) IMMEDIATELY OF ANY ERRORS AND OMISSIONS ON THESE DRAWINGS.
10. ALL EXTERIOR WINDOWS & DOORS TO BE IMPACT RESISTANT.

WINDOW SCHEDULE

Table with columns: MARK, WIDTH, HEIGHT, GLASS, FRAME, WIND PRESSURES, REMARKS. Includes entries A, B, and C.

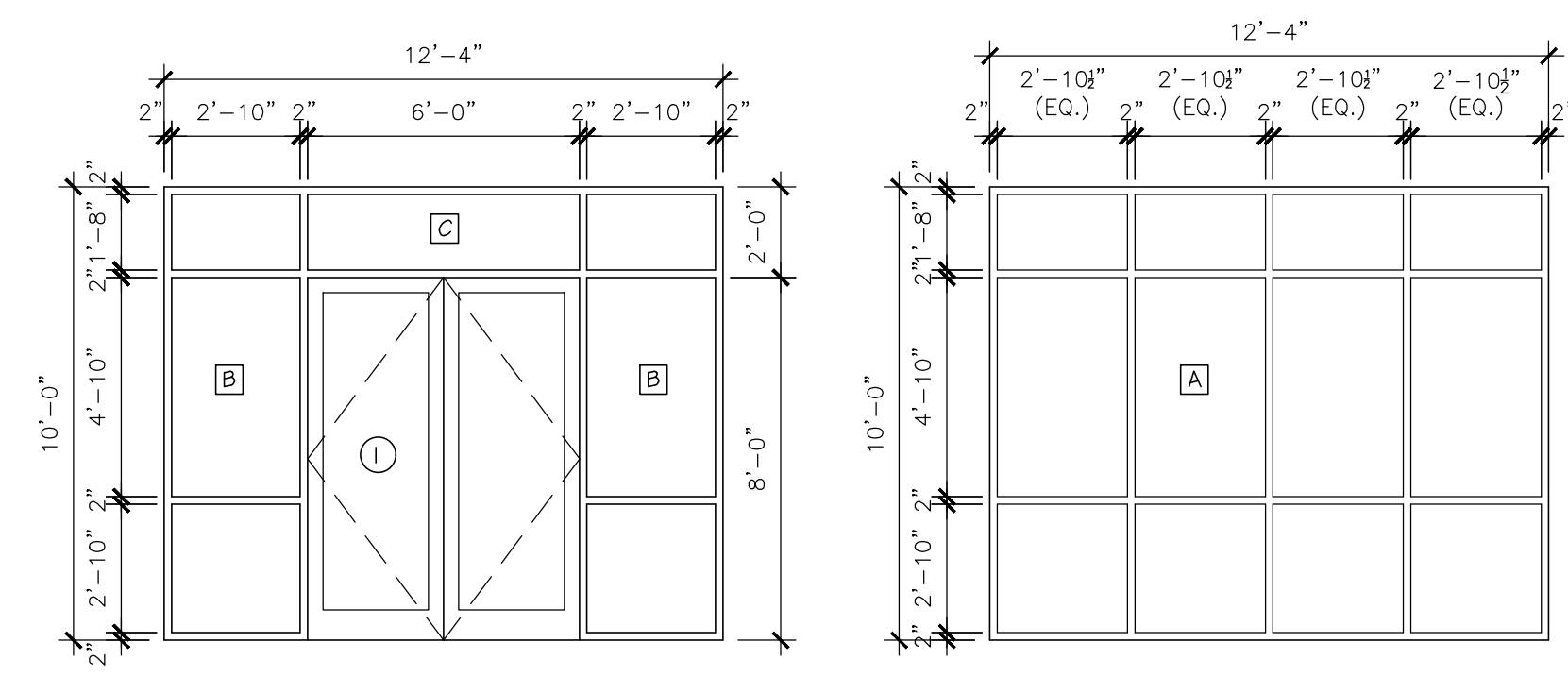
WINDOW NOTES: 1. GLASS & GLAZING SHALL COMPLY W/ 2023 F.B.C. CHAPTER 24 2. ALL ALUMINUM FRAMES TO BE KYNAR FINISH. COLOR TO BE BRONZE. 3. GLASS COLOR TO BE SELECTED BY OWNER. 4. GLASS TO BE WET SEALED 5. GLASS SHADING COEFFICIENT TO BE 0.46 6. GLASS U-FACTOR TO BE 1.01

DOOR SCHEDULE

Table with columns: MARK, WIDTH, HEIGHT, THK., GLASS, FRAME, WIND PRESSURES, REMARKS. Includes entry 1.

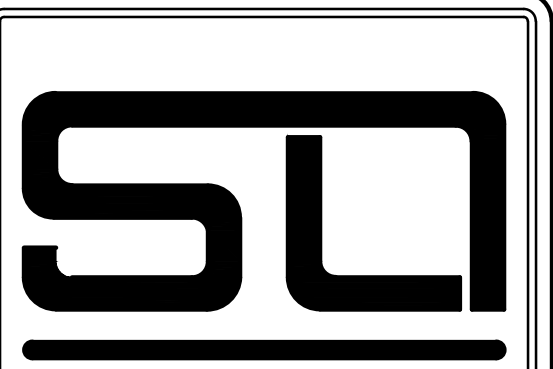
- DOOR NOTES: 1. ALL DOORS SHALL COMPLY W/ F.B.C. 1010 (DOORS, GATES AND TURNSTILES), AND F.F.P.C. 101-7.2.1.5 (LOCKS AND LATCHES) AND A.D.A. HANDICAPPED ACCESSIBILITY CODES. 2. DOORS WITHIN AN ACCESS TO AN EXIT AND EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AT ALL TIMES WHEN THE PORTION OF THE BUILDING AREA IS OCCUPIED. 3. FORCE REQUIRED TO FULLY OPEN ANY DOOR MANUALLY IN A MEANS OF EGRESS SHALL NOT EXCEED 15 LBS. (67 N) TO RELEASE THE LATCH, 30 LBS. (133 N) TO SET THE DOOR IN MOTION, AND 15 LBS. (67 N) TO OPEN THE DOOR TO THE MIN. REQ'D. WIDTH. 4. A DOOR DESIGNED TO NORMALLY BE KEPT CLOSED IN A MEANS OF EGRESS, SHALL BE A SELF-CLOSING DOOR AND SHALL NOT BE SECURED IN THE OPEN POSITION AT ANY TIME. 5. CLOSERS TO BE LCN 4010 TYP. (OR EQUAL). 6. GENERAL CONTRACTOR TO COORDINATE ALL LOCKSETS WITH OWNER.

NOTE: G.C. TO PROVIDE SPRING SCALE @ TIME OF FIRE DEPT. REVIEW IN FIELD.



STOREFRONT TYPES

1/4" = 1'-0"



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REVISIONS

COMM. NO. 24-009

DATE 17 OCTOBER 2024

COMMERCIAL SHELL BUILDING CARRETTA II LLC

OUTPARCEL BUILDING "D"

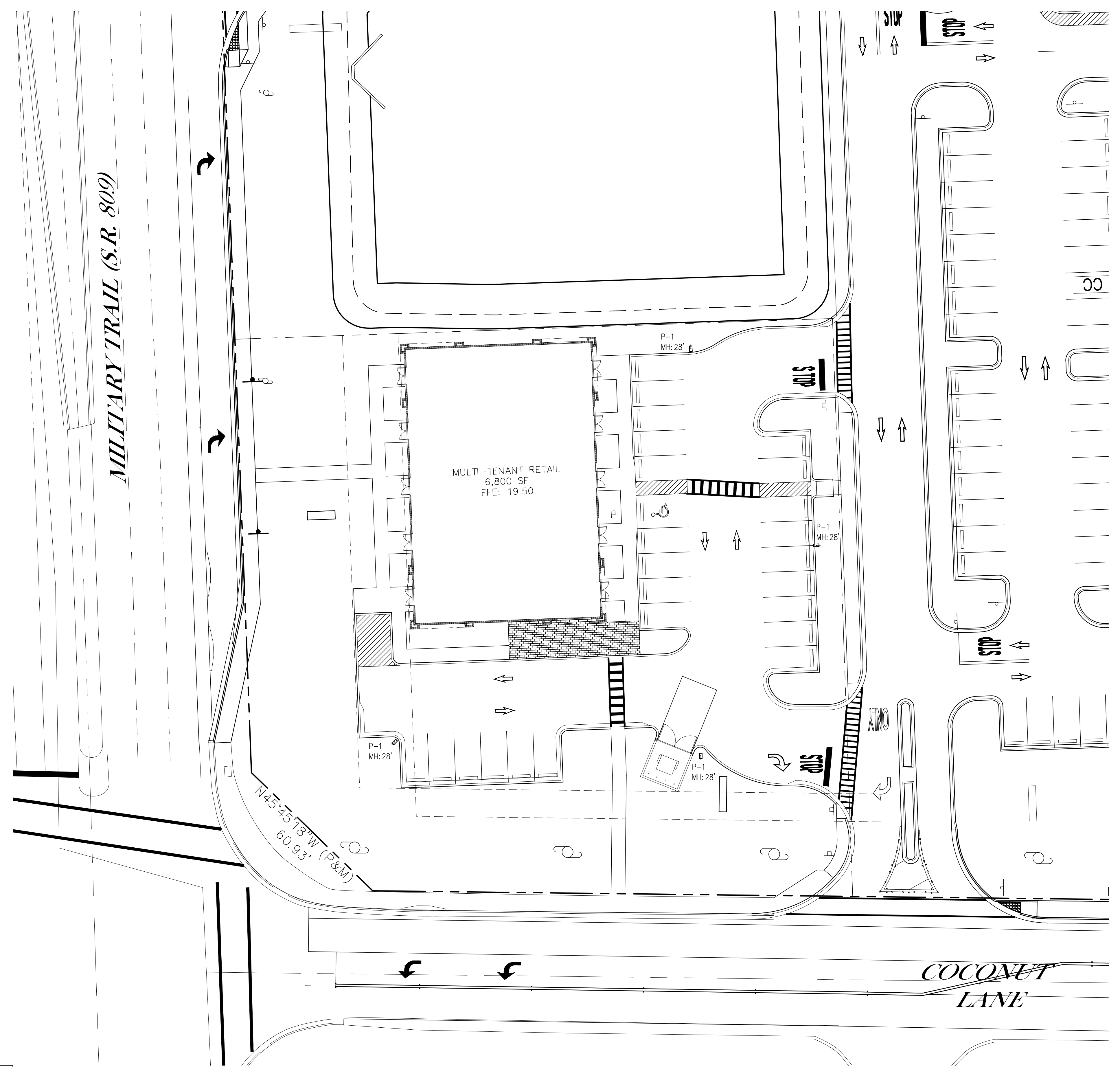
BOYNTON BEACH, FLORIDA

SHEET

A-1

OF -

LAST DATE PRINTED: 10-17-24 (PRELIM) / 10-22-24 (PRELIM) / 4-15-26 (50% DWG'S)



MILITARY TRAIL (S.R. 809)

MULTI-TENANT RETAIL
6,800 SF
FFE: 19.50

COCONUT LANE

N45°15'18"W (P&M)
60.93'

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	-	-	-	-	-
Property	Illuminance	Fc	-	-	-	-	-

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	4	WM-1	SINGLE	-	-	-	-

OVERALL NEW SITE
PHOTOMETRIC PLAN



1" = 20'



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COMMERCIAL
SHELL BUILDING
CARRETTA II LLC

OUTPARCEL
BUILDING "D"

BOYNTON BEACH,
FLORIDA

SHEET

A-3
OF -

LAST DATE PRINTED: 10-17-24 (PRELIM) / 10-22-24 (PRELIM) / 4-18-26 (50% DWGS)



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24-009

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17 OCTOBER 2024

COMMERCIAL SHELL BUILDING
CARRETTA II LLC

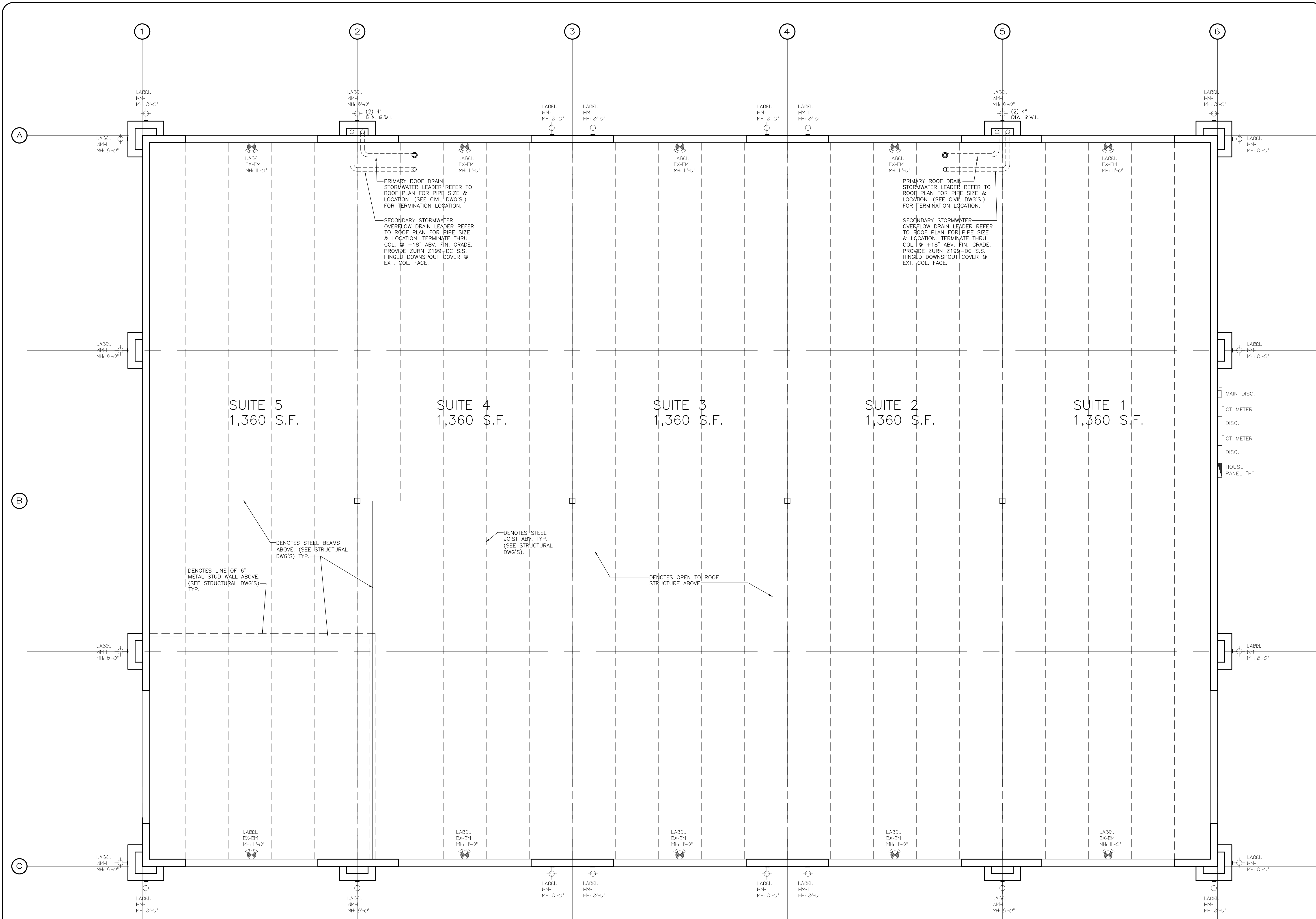
OUTPARCEL BUILDING "D"

BOYNTON BEACH, FLORIDA

SHEET

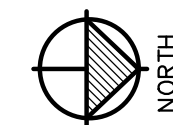
A-5

OF —



REFLECTED CEILING PLAN

1/4" = 1'-0"



Luminaire Schedule Building #1 (North)

Symbol	Label	Qty	LLF	Arrangement	Description	Lum. Lumens	Lum. Watts	Tag / Mounting Height
WM-1	WM-1	-	-	Single	-	-	-	-
EX-EM	EX-EM	-	-	Single	-	-	-	-

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REVISIONS

NO.	DESCRIPTION
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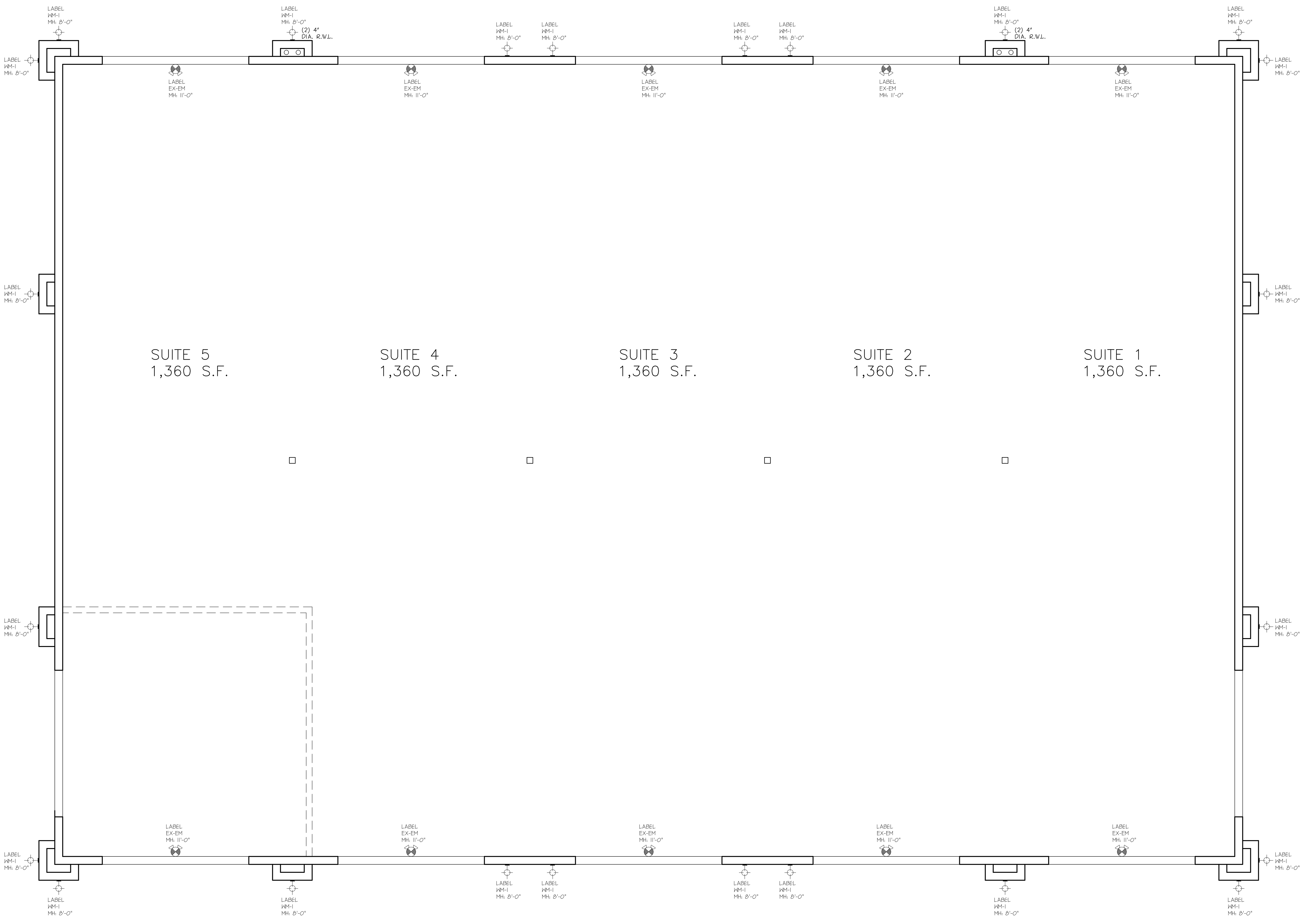
COMMERCIAL
SHELL BUILDING
CARRETTA II LLC

OUTPARCEL
BUILDING "D"

BOYNTON BEACH,
FLORIDA

SHEET

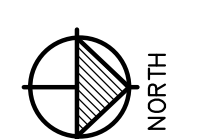
A-6
OF —



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Interior	Illuminance	Fc	-	-	-	-	-

PHOTOMETRIC PLAN
1/4" = 1'-0"



GENERAL PHOTOMETRIC NOTES

1. CONTRACTOR SHALL PROVIDE A CALIBRATED LIGHT METER AT TIME OF INSPECTION TO VERIFY THE EXISTING EMERGENCY LIGHTING PHOTOMETRICS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. IF THE CONTRACTOR CANNOT SECURE THE STRUCTURE TO PREVENT NATURAL LIGHT FROM ENTERING DURING THE TESTING OF THE EMERGENCY LIGHTING, AN INSPECTION AFTER NORMAL BUSINESS HOURS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE.
2. THE EMERGENCY EGRESS LIGHTING DESIGN IS IN COMPLIANCE WITH NFPA 101 CH. 7.9.2.1.1 WHICH INCLUDES AN AVERAGE OF 1 FOOTCANDLE AS PER MANUFACTURER'S PHOTOMETRICS.
3. PROVIDE EMERGENCY LIGHTING NOT LESS THAN 1.5 HOURS IN THE EVENT OF NORMAL LIGHTING FAILURE. IN COMPLIANCE WITH NFPA 101 CH. 7.9.2.1

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24-009

DATE
17 OCTOBER 2024

COMMERCIAL
SHELL BUILDING
CARRETTA II LLC

OUTPARCEL
BUILDING "D"

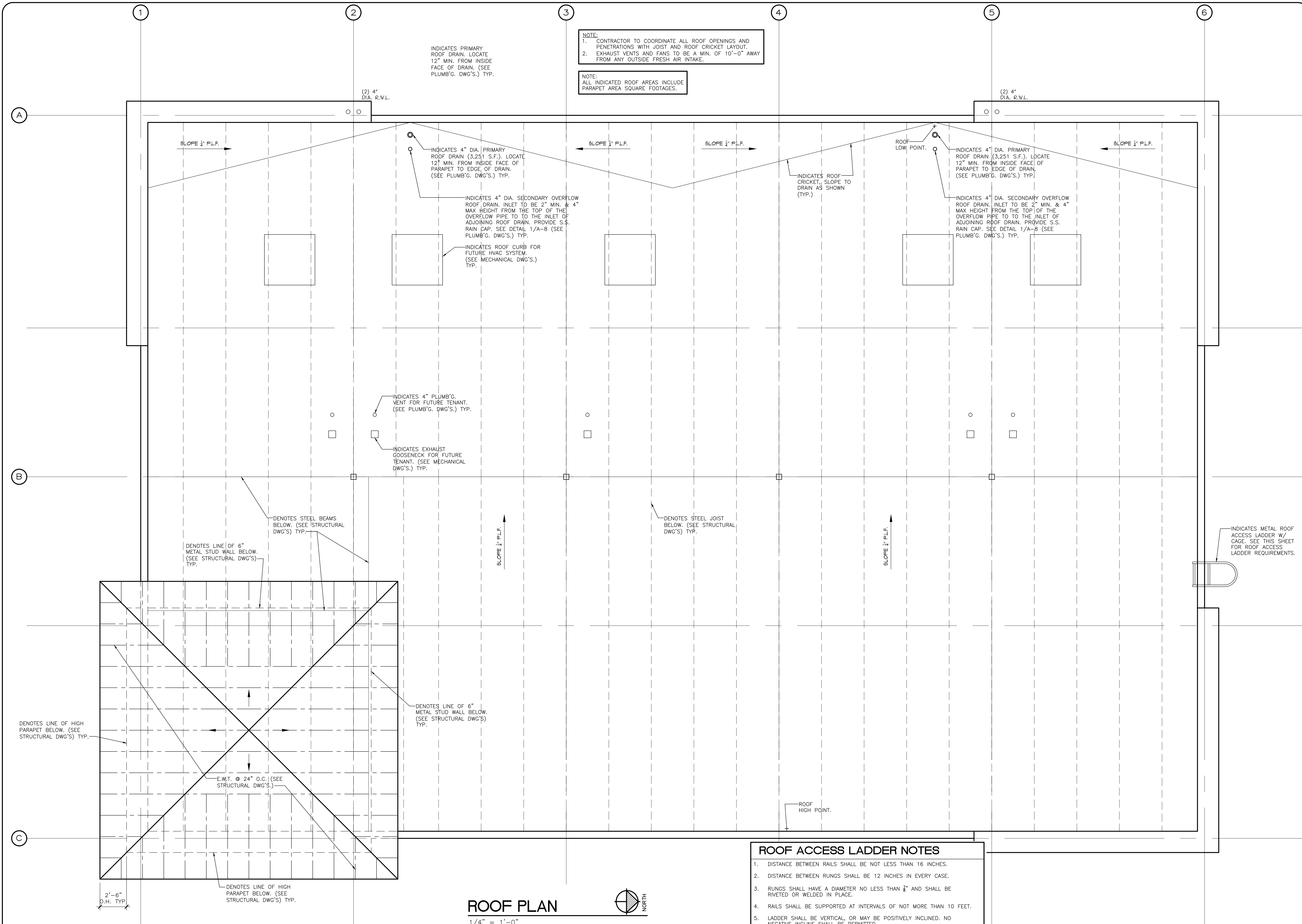
BOYNTON BEACH,
FLORIDA

SHEET

A-7

OF —

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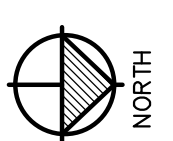
NOTE:
1. CONTRACTOR TO COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH JOIST AND ROOF CRICKET LAYOUT.
2. EXHAUST VENTS AND FANS TO BE A MIN. OF 10'-0" AWAY FROM ANY OUTSIDE FRESH AIR INTAKE.

NOTE:
ALL INDICATED ROOF AREAS INCLUDE PARAPET AREA SQUARE FOOTAGES.

ROOF ACCESS LADDER NOTES

- 1. DISTANCE BETWEEN RAILS SHALL BE NOT LESS THAN 16 INCHES.
- 2. DISTANCE BETWEEN RUNGS SHALL BE 12 INCHES IN EVERY CASE.
- 3. RUNGS SHALL HAVE A DIAMETER NO LESS THAN 1 1/2" AND SHALL BE RIVETED OR WELDED IN PLACE.
- 4. RAILS SHALL BE SUPPORTED AT INTERVALS OF NOT MORE THAN 10 FEET.
- 5. LADDER SHALL BE VERTICAL, OR MAY BE POSITIVELY INCLINED. NO NEGATIVE INCLINE SHALL BE PERMITTED.
- 6. TOP OF RAILINGS TO BE 45" ABOVE TOP OF PARAPET W/ GOOSENECK RETURNS TO ROOF.
- 7. DISTANCE BETWEEN RUNGS AND BUILDING SHALL BE 6" MAXIMUM.
- 8. DISTANCE BETWEEN RUNGS AND CAGE SHALL BE 27" MAXIMUM.
- 9. PROVIDE CAGE & LOCKABLE HINGED GRATE @ BOTTOM (+8'-0" A.F.G.).

ROOF PLAN
1/4" = 1'-0"



NOTICE OF ACCEPTANCE (NOA) / FLORIDA PRODUCT APPROVAL (FL) - SOPREMA ROOFING SYSTEMS

DESCRIPTION:	NOA NO. / FL #:	REPORT NO.:	EXPIRATION DATE:	APPROVAL DATE:	SYSTEM TYPE / SYSTEM NO.:	ADDITIONAL NOTES:
SOPREMA MODIFIED BITUMEN ROOF SYSTEMS	FL3915-R39	NER-SOP-004.A.R3	12/31/30	04/07/25	D-2 / SC-272	-
-	-	-	-	-	-	-



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REVISIONS

COMM. NO.
24-009

DATE
17 OCTOBER 2024

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SHELL BUILDING
CARRETTA II LLC

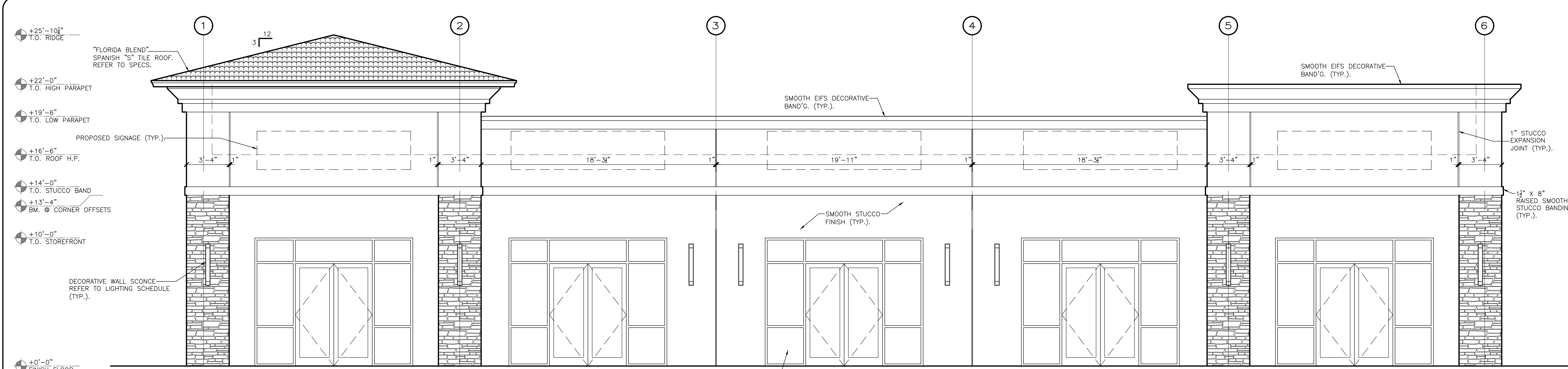
OUTPARCEL
BUILDING "D"

BOYNTON BEACH,
FLORIDA

SHEET

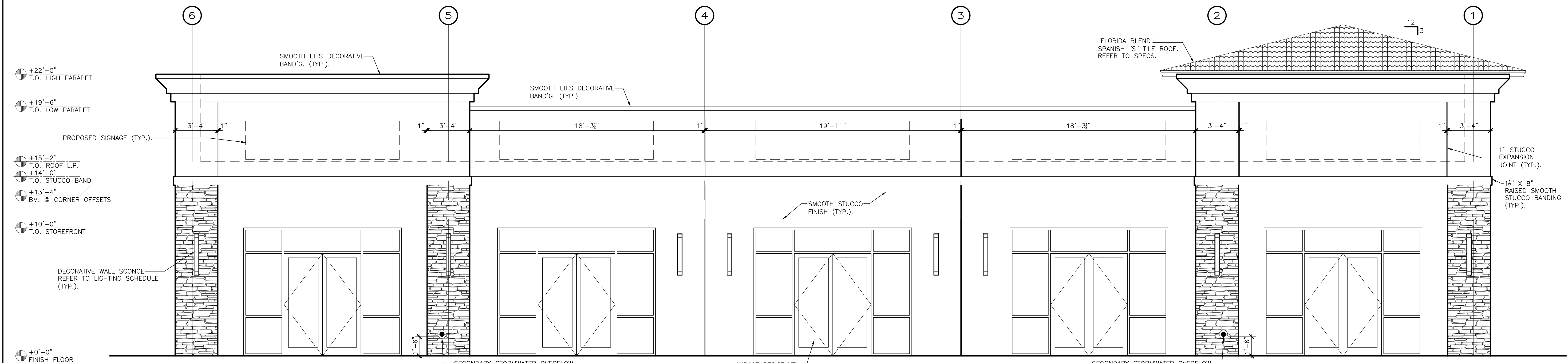
A-8

OF —



EAST ELEVATION

1/4" = 1'-0"



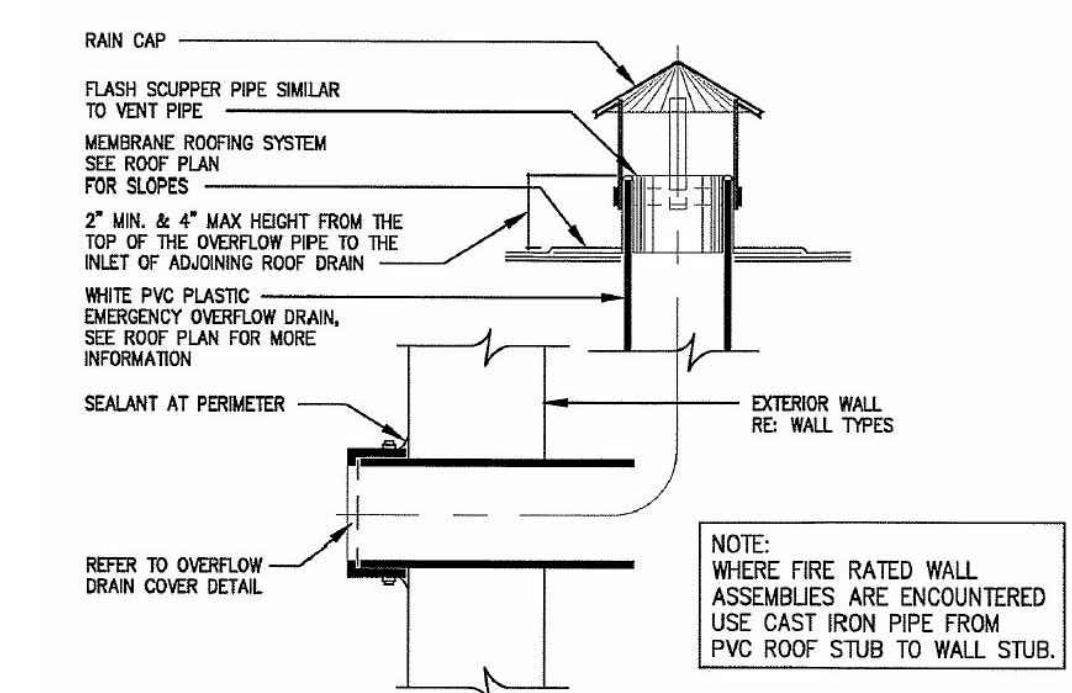
WEST ELEVATION

1/4" = 1'-0"

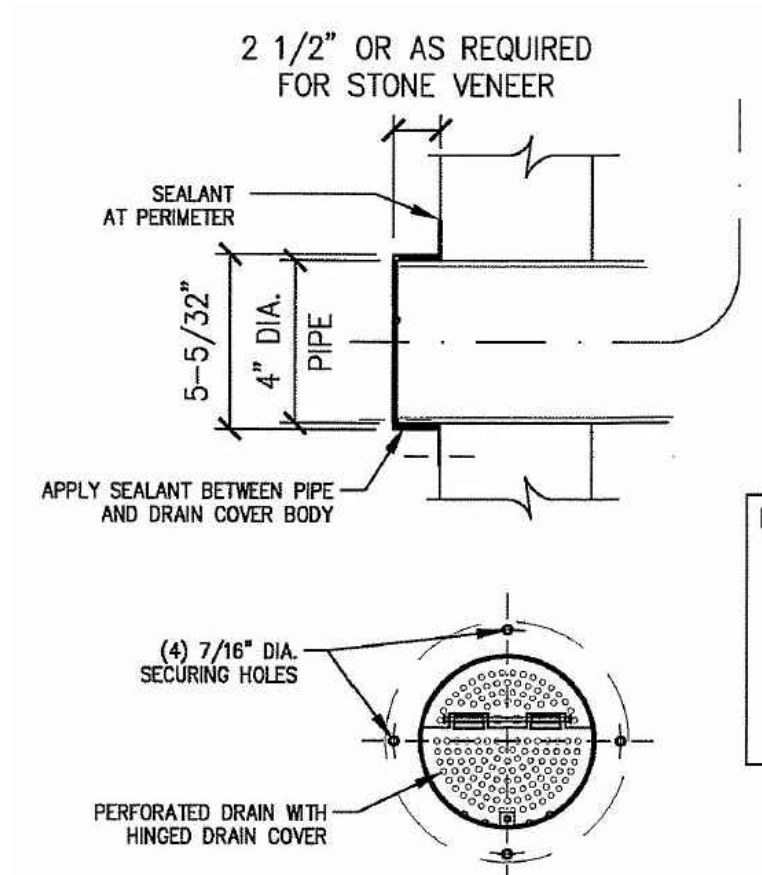
SECONDARY STORMWATER OVERFLOW DRAIN LEADER REFER TO ROOF PLAN FOR PIPE SIZE & LOCATION. TERMINATE THRU COL. @ +18" ABV. FIN. GRADE. PROVIDE ZURN Z199-DC S.S. HINGED DOWNSPOUT COVER @ EXT. COL. FACE (SEE DETAIL 2/A-8).

IMPACT RESISTANT STOREFRONT SYSTEM. SEE WINDOW / DOOR SCHEDULE FOR MORE INFO. (TYP.).

SECONDARY STORMWATER OVERFLOW DRAIN LEADER REFER TO ROOF PLAN FOR PIPE SIZE & LOCATION. TERMINATE THRU COL. @ +18" ABV. FIN. GRADE. PROVIDE ZURN Z199-DC S.S. HINGED DOWNSPOUT COVER @ EXT. COL. FACE (SEE DETAIL 2/A-8).



SECONDARY OVERFLOW DRAIN
N.T.S. 1 A-8



OVERFLOW DRAIN COVER DETAIL
N.T.S. 2 A-8

- NOTES:
1. DRAIN COVER SHALL BE STAINLESS STEEL HINGED DOWNSPOUT COVER, Z199-DC MANUFACTURED BY ZURN.
2. SIZE AND INSTALL DOWNSPOUT COVER FOR PIPE SIZES SHOWN IN ROOF DRAIN CALCULATIONS ON ROOF PLANS.

LAST DATE PRINTED: 10-17-24 (PRELIM) / 10-22-24 (PRELIM) / 4-15-26 (50% DWGS)



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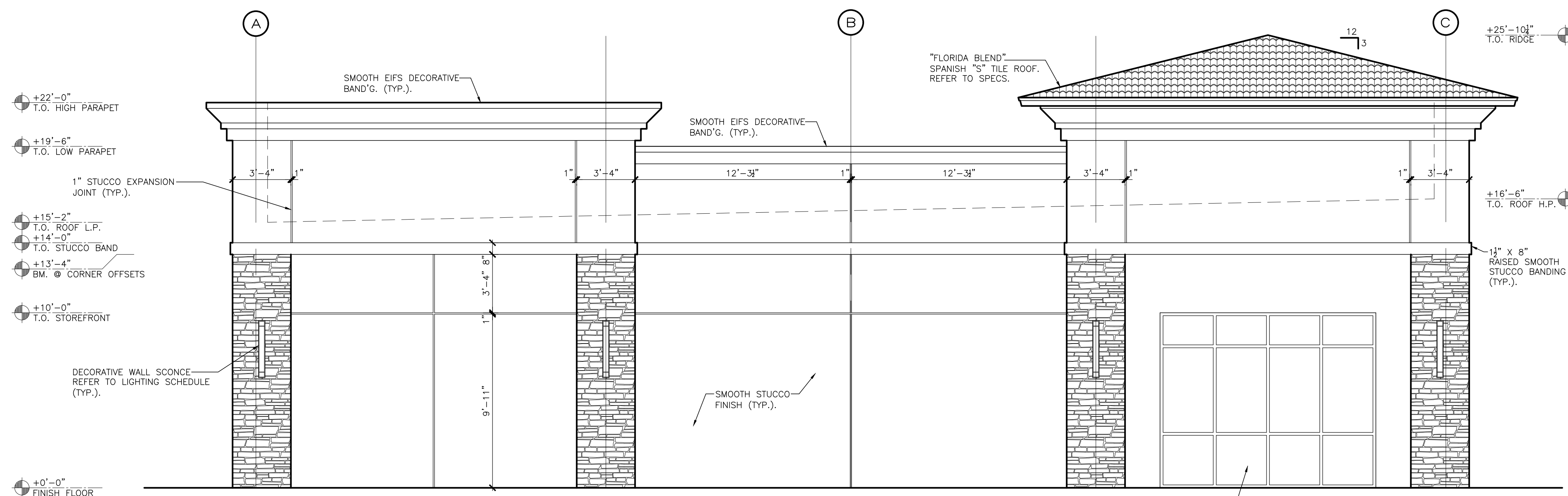
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BOYNTON BEACH,
FLORIDA

SHEET

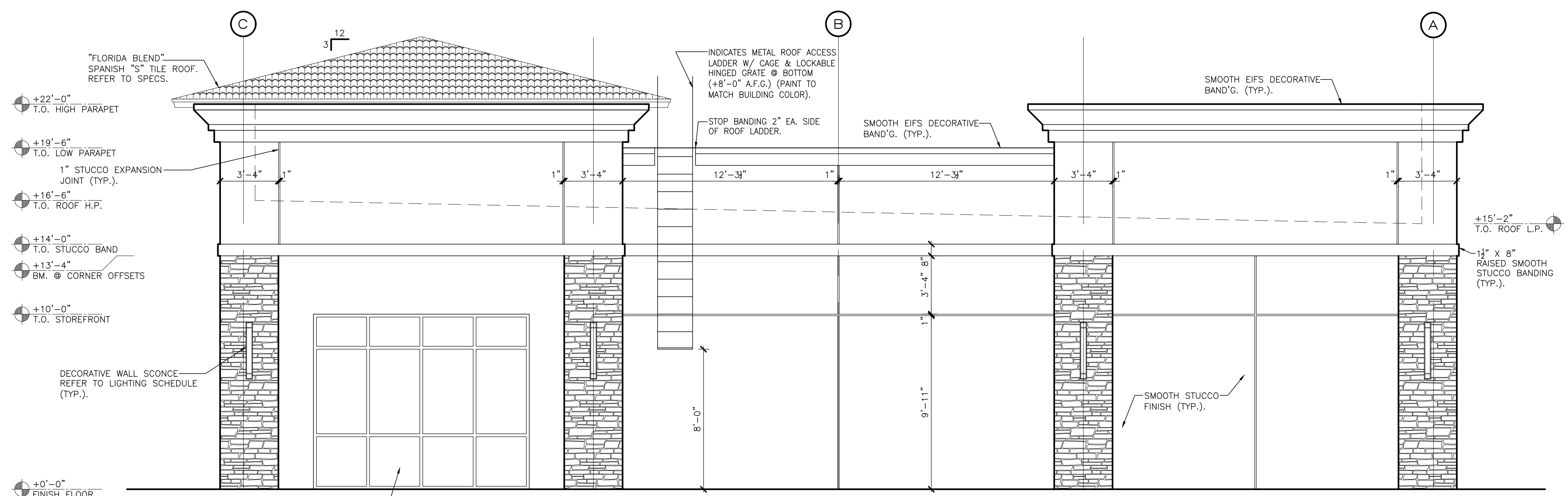
A-9

OF —



NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

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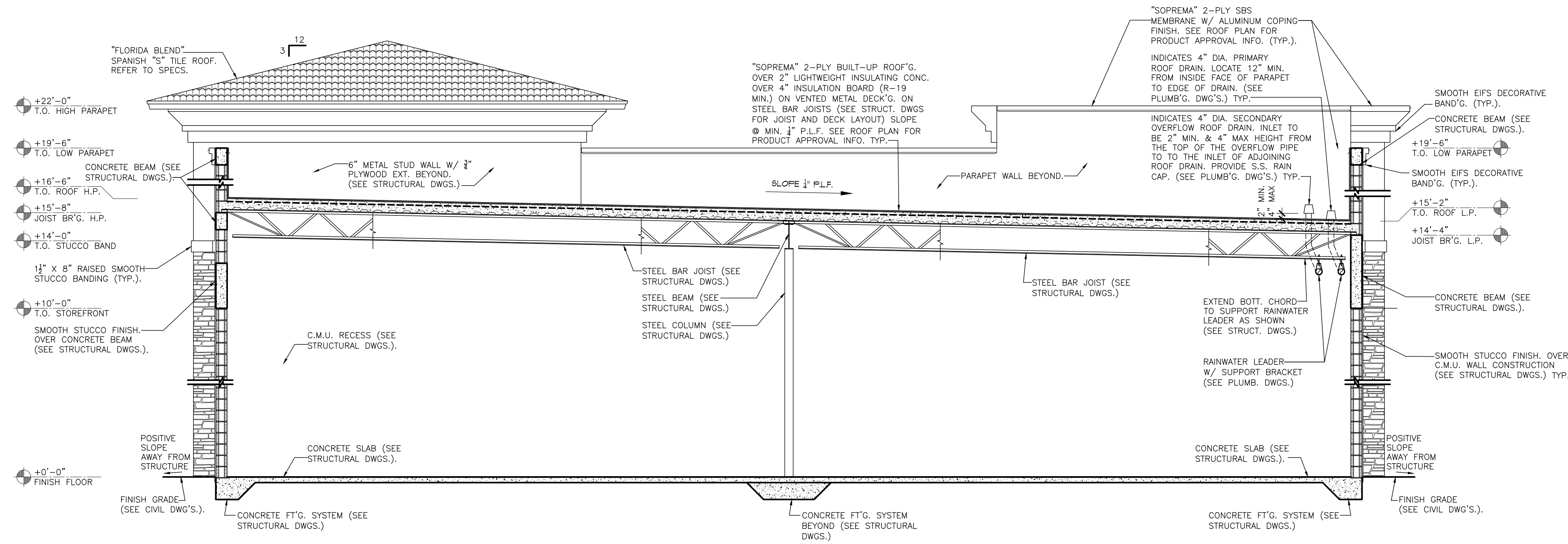
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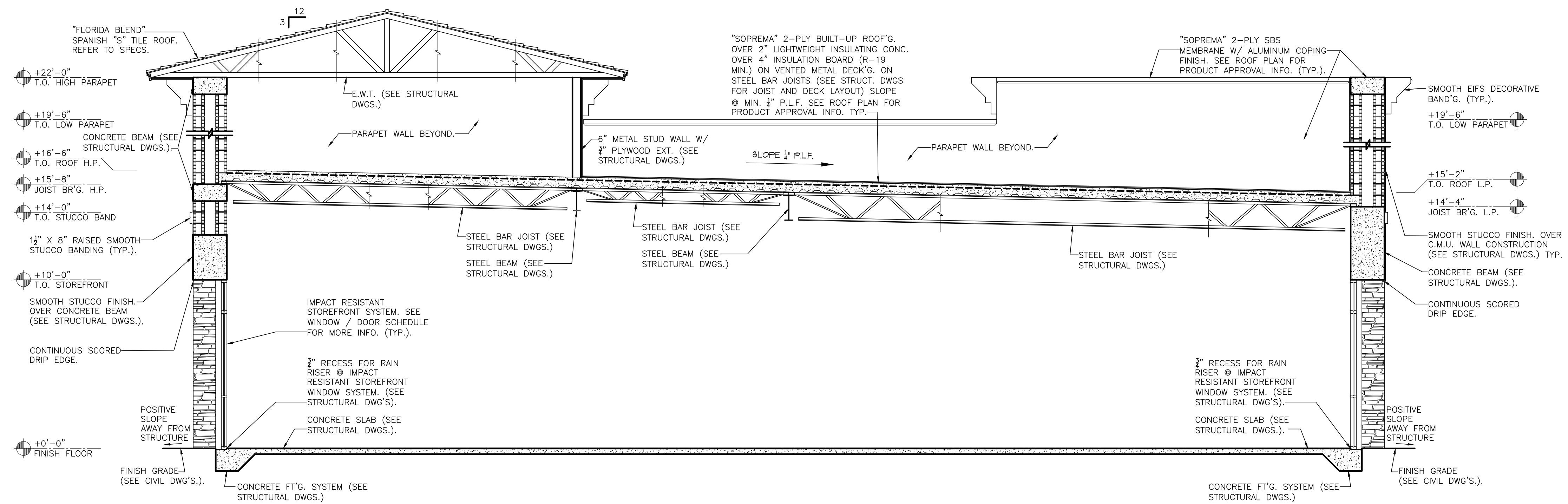
SHEET

A-10

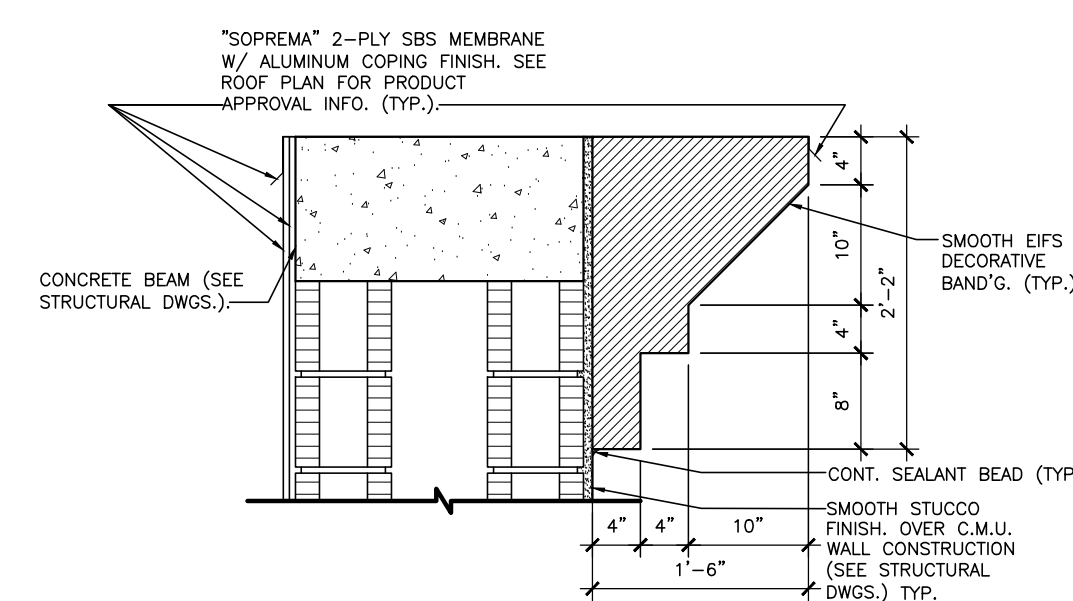
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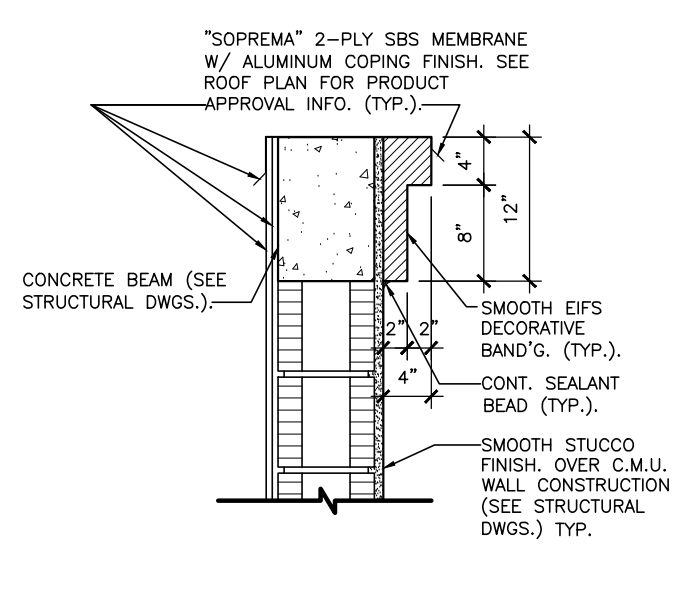
BUILDING SECTION 1
1/4" = 1'-0"



BUILDING SECTION 2
1/4" = 1'-0"



EIFS BANDING DETAIL 3
3/4" = 1'-0"



EIFS BANDING DETAIL 4
3/4" = 1'-0"

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