

14-18 Clarence Place,
Newport, NP19 0AE

Design and Access Statement
October 2018
Rev: 00

Ref: M:\0483_14-18 Clarence place_newport_NP19 0AE\DTP\03 DAS

**This D&A statement should be read in conjunction with
all supporting consultants reports and planning drawings.**

This brochure is for design intent only.
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This brochure is to be printed at A3.

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Turley

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| Introduction

Base Associates

Who we are

Base Associates are an architecture practice established on 08.08.08 by Aseem Sheikh that specialise in providing design services for public, private and international clients in the health, education, transport, retail, residential, leisure, cultural, workplace and industrial sectors. We are neither elitists nor superficial stylists. We believe each project is unique and that our innovative design ideas create value and motivation for all involved in the process. We are particularly fond of working on the re-use of existing buildings and structures through a sustainable agenda.

Where we are

Base set their offices up in Vauxhall, London by recognising its long term potential and the natural continuation of the South Banks redevelopment. On 11.11.11 we purchased and redeveloped our own premises within the heart of the Vauxhall Pleasure Gardens adjacent to the transport gyratory and Vauxhall Farm. Base have successfully helped champion and establish the Vauxhall One BID (Business Improvement District) and are working alongside all the key public, private and community stakeholders to help transform the area. Aseem Sheikh is the Chair of Vauxhall One and sits on the Nine Elms strategy board. We are passionate about developing the environment around us for the benefit of all as we interact with it on a daily basis. Some of our most creative and collaborative commissions have therefore been within a three miles radius.

Experience and delivery

We have a fantastic track record of establishing complex planning consents to create value for clients across most London Boroughs through the use of creative design. We are a young practice that has grown strategically and realise architecture is not just about pretty pictures but delivering a built product that meets expectations.

A number of our clients are high net worth individuals based in the UK, Ireland and UAE. Some of the organisations we work with are:

Quidnet Capital
Brockton Capital
Urban Spectrum
Clifton Securities
Cornbury Park
Urban Associates

Berkeley Group
CLS Holdings plc
Goldberg Properties
Workspace Group plc
Network Rail
Battersea Power Station





Purpose and Scope

Introduction

This Design and Access Statement looks at the architectural feasibility of future proofing the site following the previous fruitless attempts of regenerating this redundant site.

The site is within walking distance of Newport city centre and is also in close proximity to a number of other amenities / new developments.

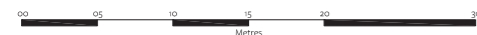
It is felt that there is an opportunity to create vibrant active use at street level as part of a comprehensive redevelopment that seeks to improve the urban realm through a thorough refurbishment of the frontage and the addition of a high quality piece of architecture to top and rear generating a sustainable purpose for the site.

The scheme has been developed in close liaison with Newport City Council planning department (pre app Ref: P/18/00077)

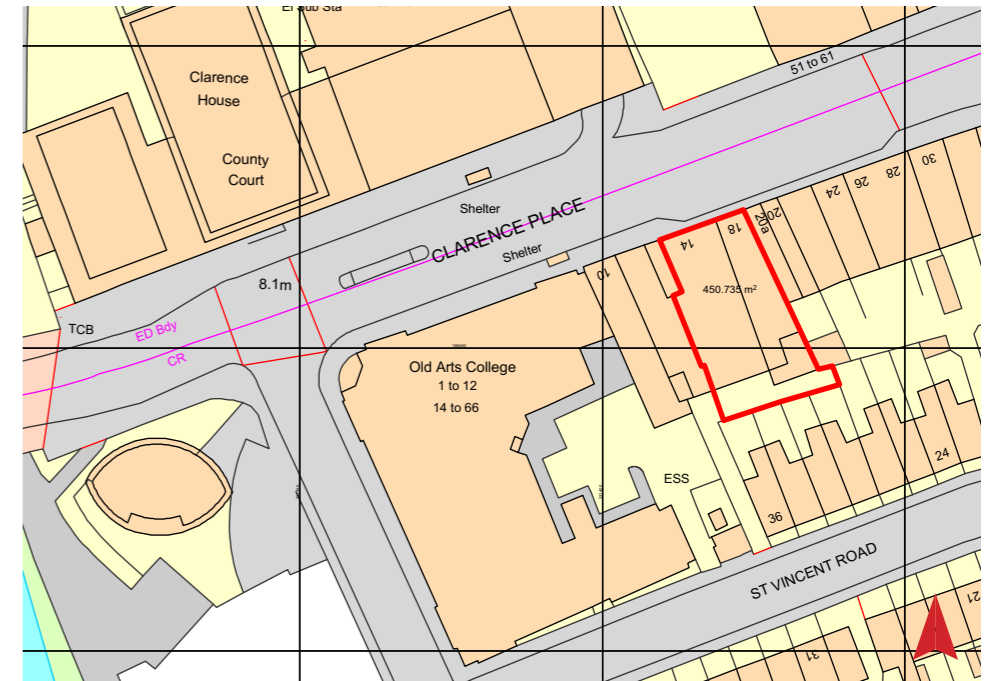
| Site and Context Analysis



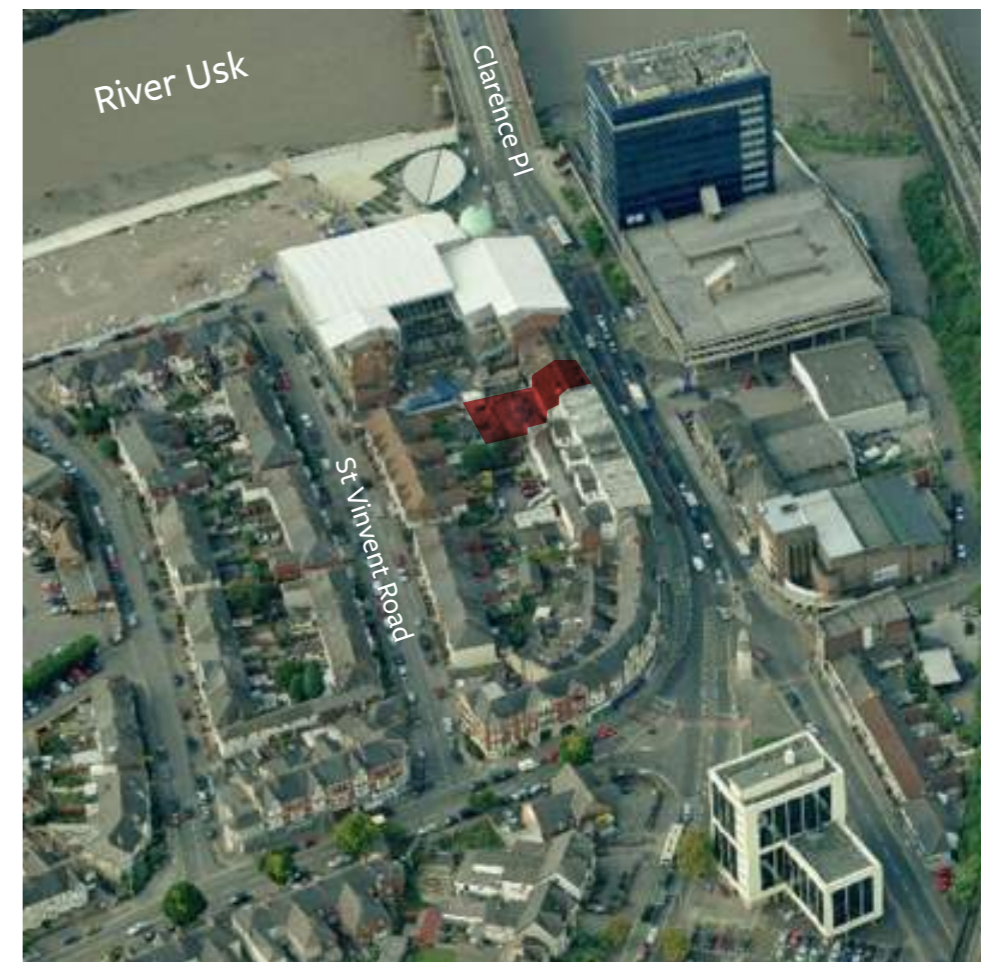
Existing Site Plan - 1/500



The Site



Site Location Plan
1/1250



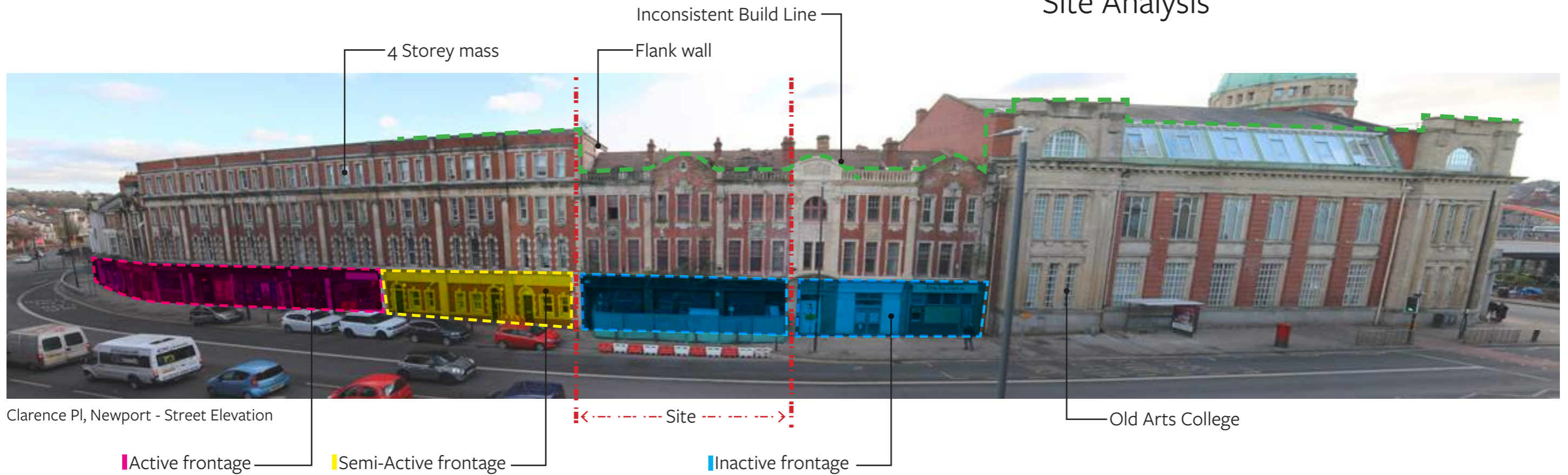
Aerial View

Surrounding Context



Aerial Map of Newport City Centre

Site Analysis



Clarence Pl, Newport - Street Elevation

Old Arts College

Neighbouring Area

The neighbouring area is primarily built up of 3 to 10 storey buildings from different architectural eras. From traditional brick buildings with ground floor shopfronts and residential units above to 1960s concrete carparks and office building. Clarence Pl is a busy commercial road with a lot of opportunity for business and developments. It is well connected and will benefit greatly from this high quality development would be introducing.

Streetscape

The proposed works for redeveloping the site presents a great opportunity to vastly enhance the streetscape in a prime location within Clarence Pl and Newport. The project site is located on the south facing elevation of Clarence Pl which is dominated by the old arts college on the right and on the left a stretch of 4 storey high terraced properties with an active ground floor level and office / residential on the top 3 floors. Both adjacent buildings create a strong street frontage but which create an inconsistent build line.

Site: 14-18 Clarence Place

The site has been redundant for a quite a long time in its current condition generates no employment on such a central and well connected site. This long-term vacant site accommodates an increasingly dilapidated historic building. The main roof of the building has been compromised and is allowing significant ingress of rain water. This with the fire damage has created an extremely poor and dangerous condition to the existing building.

The worsening condition is having a significant adverse impact on the building as a heritage asset and undermining its future.

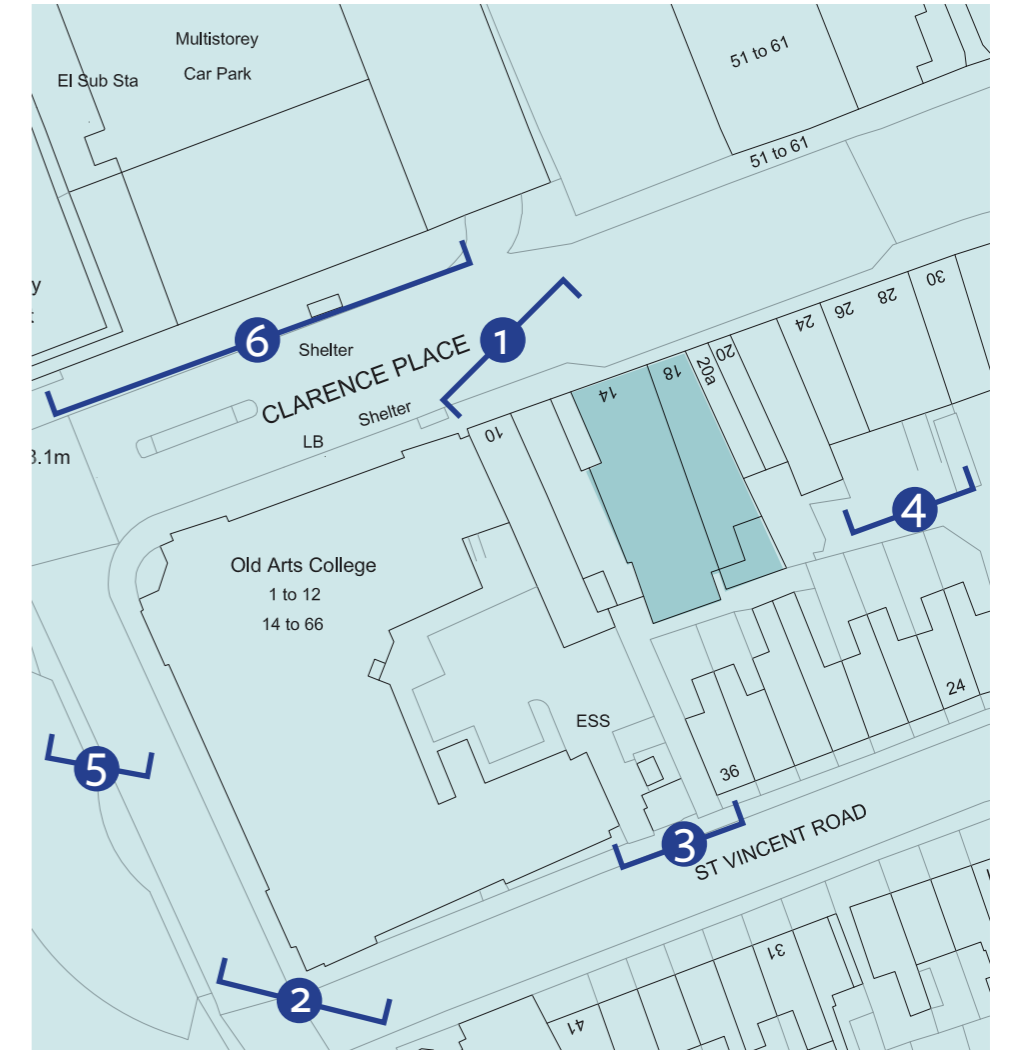
Please refer to page 17-18 of this DAS for a more detailed analysis of the current deteriorating condition of this listed heritage building.

Existing Elevation Grid Line



Vertical and Horizontal Elevation Grid Line

Existing Site Photographs



Planning Context

Turley Planning Statement

Planning Policy Context

Legislation required that planning and listed building consent applications are determined in accordance with the development plan, unless material considerations indicate otherwise.

This section summarises the relevant planning policy context and relevant material considerations.

The Development Plan

Newport Local Development Plan 2011-2026

The Newport Local Development Plan (LDP) was adopted January 2015 and provides the statutory development plan for the Authority.

Within the LDP, the site is located within the urban settlement boundary, within the Clarence Place Local Centre and is designated as one of six City Centre Districts which form priority areas and a focus for redevelopment in the City Centre.

Objective 1 (Sustainable Use of Land) stipulates that all development should make the most efficient use of natural resources by seeking to locate development in the most sustainable locations, minimising the impact on the environment and making a positive contribution to local communities. The policy further notes that the Plan will seek to meet this objective by focussing development on brownfield sites.

Objective 2 (Climate Change) ensures that development and land uses in Newport make a positive contribution to minimising, adapting to or mitigating against the causes and impacts of climate change. The Policy further stipulates that the Plan seeks to minimise the need to travel to reduce Newport's output of greenhouse gases.

Objective 3 (Economic Growth) aims to enable a diverse economy that meets the needs of the people of Newport and those of the wider South East Wales economic region.

Objective 5 (Conservation of the Built Environment) ensures that all development or use of land does adversely affect, and seeks to preserve or enhance, the quality of the historic and built environment. The objective therefore seeks to preserve historical quality and to ensure that new development is carefully designed.

Objective 8 (Culture and Accessibility) stipulates that development proposals and uses are socially and physically accessible to all, taking account of the needs of all individuals.

In addition to the Plan Objectives listed above, the Local Plan also includes Strategic Policies and General Development Principles, as set out below.

SP1 (Sustainability) requires proposals to make a positive contribution to sustainable development by concentrating on brownfield land within the settlement boundary. They will be assessed as to their potential contribution to the efficient use of land and the reuse of previously developed land and empty properties in preference to greenfield sites, in addition to other potentially relevant factors.

SP3 (Flood Risk) stipulates that Newport's coastal and riverside location necessitates that development be directed away from areas where flood risk is identified as a constraint and ensure that the risk of flooding is not increased elsewhere. Where appropriate, a detailed technical assessment will be required to ensure that the development is designed to cope with the threat and consequences of flooding over its lifetime.

SP9 (Consequences of the Natural, Historic and Built Environment) states that the conservation, enhancement and management of recognised sites within the natural, historic and built environment will be sought in all proposals.

SP18 (Urban Regeneration) favours proposals which assist the regeneration of the urban area, particularly where they contribute to the vitality, viability and quality of the environment of the city centre and the reuse of vacant, underutilised or derelict land. The policy also states that there may be a wide range of ecological value on brownfield sites that have been vacant for some time. Intensive survey requirements will be essential in such instances.

GP1 (Climate Change) requires proposals to be designed to:

- Withstand the predicted changes in the local climate and to reduce the risk of flooding on site and elsewhere by demonstrating that the risks and consequences of flooding can be acceptably managed, including avoiding the use of impermeable hard surfaces;
- Minimise energy requirements and incorporate appropriate renewable low or zero carbon energy sources, including on site energy provision where practicable;
- Reuse or recycle existing construction materials present on the site.

GP2 (General Amenity) stipulates that development will be permitted where:

- There will not be a significant adverse effect on local amenity, including in terms of noise, disturbance, privacy, overbearing, light, odours and air quality;
- The proposed use and form of development will not be detrimental to the visual amenities of nearby occupiers or the character or appearance of the surrounding area;
- The proposal seeks to design out the opportunity for crime and anti-social behaviour;
- The proposal promotes inclusive design both for the built development and access within and around the development;
- Adequate amenity space for future occupiers.

GP4 (Highways and Accessibility) states that development proposals should:

- Provide appropriate access for pedestrians, cyclists and public transport in accordance with national guidance;
- Be accessible by a choice of means of transport;
- Be designed to avoid or reduce transport severance, noise and air pollution;
- Make adequate provision for car parking and cycle storage;
- Provide suitable and safe access arrangements;
- Design and build new roads within private development in accordance with the highway authority's design guide and relevant national guidance;
- Ensure that development would not be detrimental to highway or pedestrian safety or result in traffic generation exceeding the capacity of the highway network.

Planning Context

Turley Planning Statement

The policy further notes that that development must be of a scale that the adjacent road network has the capacity to serve, without detriment to the highway network or the environmental characteristics of the road.

GP6 (Quality of Design) stipulates that good quality design will be sought in all forms of development. The aim is to create a safe, accessible, attractive and convenient environment. The following fundamental design principles should be addressed in all development proposals:

- All development should be sensitive to the unique qualities of the site and respond positively to the character of the area;
- All development should maintain a high level of pedestrian access, connectivity and laid out so as to minimise noise pollution;
- Where possible, development should reflect the character of the locality but avoid the inappropriate replication of neighbouring architectural styles;
- New development should appropriately reflect the scale of adjacent townscape. Care should be taken to avoid over-scaled development;
- High quality, durable and preferably renewable materials should be used to complement the site context. Detailing should be incorporated as an integral part of the design at an early stage;
- New development should be inherently robust, energy and water efficient, flood resilient and adaptable, thereby facilitating the flexible re-use of the building. Where existing buildings are present, imaginative and sensitive solutions should be sought to achieve the re-use of buildings.

GP7 (Environmental Protection and Public Health) states that development will not be permitted which would cause or result in unacceptable harm to health because of land contamination, dust, instability or subsidence, air, heat, noise or light pollution, flooding, water pollution, or any other identified risk to environment, local amenity or public health and safety.

T4 (Parking) requires developments to provide appropriate levels of parking, within defined parking zones, in accordance with adopted parking standards.

R1 (City Centre Schemes) stipulates that redevelopment schemes or other proposals to enhance the provision of retail facilities within the city centre shopping area will be favoured provided that the scale, design and layout of the proposals are compatible with the overall functioning of the city centre, its architectural character and visual environment.

CF8 (Tourism) states that new and improved tourism related developments, including hotel and other visitor accommodation, conference and exhibition facilities, heritage interpretation facilities, rural tourism and activity tourism in the countryside will be permitted, particularly where regeneration objectives will be complemented.

W3 (Provision for Waste Management Facilities in Development) states that where appropriate, provision will be sought in all new development for facilities for the storage, recycling and other management of waste.

Material Considerations

Planning Policy Wales (Edition 9, November 2016)

Planning Policy Wales (“PPW”) sets out the main land use planning policies of the Welsh Government against which development proposals should be assessed.

Paragraph 4.2.1 states that the planning system is necessary and central to achieving the sustainable development of Wales. The planning system therefore provides for “a presumption in favour of sustainable development to ensure that social, economic and environmental issues are balanced and integrated, at the same time, by the decision-taker...in taking decisions on individual planning applications”.

Paragraph 4.9.1 notes that previously developed (or brownfield) land should, wherever possible, be used in preference to greenfield sites.

Section 4.11 seeks to ensure sustainable development through good design.

Section 6.1 sets out the Welsh Government’s Objectives to preserve or enhance the historic environment, ensure the protection or enhancement of conservation areas and ensure that the character of historic buildings is safeguarded from works that would compromise their special architectural and historic interest. **Paragraph 6.2.1** sets out the objective to safeguard the character of historic buildings and manage change so that their special architectural and historic interest is preserved.

Paragraph 6.5.11 states that there is a strong presumption towards the preservation of listed buildings and their setting. Developments that conflict with this should aim to find the best way to retain special qualities of the listed buildings in a sustainable use. Where development is necessary to preserve listed buildings, reinstating the original uses should be the first option, if appropriate. If not, planning controls should recognise the need for flexibility where new uses are considered in order to secure the future of the listed building.

Paragraph 6.5.11 states the primary material consideration for any development proposal affecting a listed building, is the statutory requirement to have special regard to the desirability of preserving the building, its setting or any features of special architectural or historic interest which it possesses. PPW seeks to protect and enhance the special qualities of listed buildings, while retaining them in sustainable use.

Chapter 7 relates to Economic Development. **Paragraph 7.1.1** recognises that economic land uses include the traditional employment land uses, but also uses such as retail, tourism and public services.

Paragraph 11.1.1 notes that tourism is vital to economic prosperity and job creation in many parts of Wales. **Paragraph 11.1.4** goes on to say that the planning system should encourage sustainable tourism in ways which enable it to contribute to economic development and conservation.

Supplementary Planning Guidance – Parking Standards (2015)

The site is located within Parking Zone 2, within the City Centre Fringe. The City Centre Fringe is described as being within the centre of towns which local people regard as their destination for most activity which is not met within their own local community or an area within the City Centre (Parking Zone 1). The built density of the city centre fringe is high with little private car parking. There are significant parking restrictions and substantial amounts of off-street parking available to the public (Paragraph 5.2).

Policy Overview

To summarise, a number of key policy themes emerge as being relevant to the proposed development. These are as follows:

- Achieving sustainable developments which ensure the beneficial reuse of brownfield sites and protect the vitality of existing centres. PPW confirms that sustainability is the guiding principle which should influence the planning process.
- Proposals which assist with the regeneration of the urban area, particularly where they contribute to the vitality, viability and quality of the environment of the city centre and the reuse of vacant, underutilised or derelict land are supported.
- Newport's heritage assets should be protected and enhanced where possible.
- Design quality is an integral part of the planning process. Planning policies at all levels promote high quality inclusive design in the layout of new developments and individual buildings in terms of function, accessibility and impact to achieve and deliver sustainable development.
- New proposals should encourage the use of sustainable transport options and accessibility for all.
- Hotel uses are supported in principle through the Development Plan, particularly where regeneration objectives will be complemented.

In light of the above, we consider that, in principle, an application for the redevelopment of the site to provide a new purpose built hotel (Class C1) with ancillary commercial units along with the retention and restoration of the listed façade is compliant with planning policy at all levels. The following sections sets out a detailed analysis of the proposed development in this policy context.

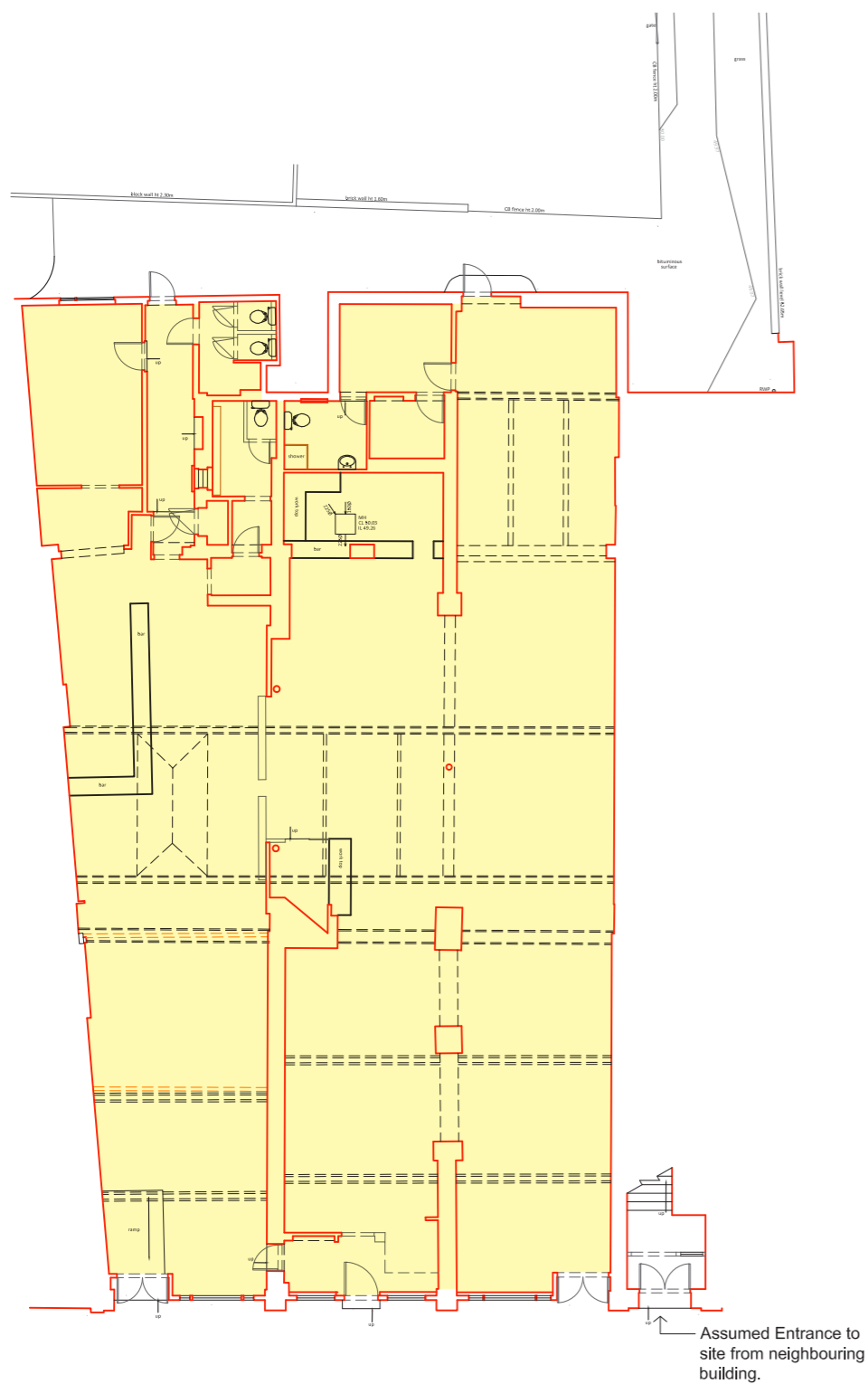
Please refer to Turley Planning Consultants planning statement for more information.

This DAS should also be read in conjunction with the other consultates report submitted alongside this planning application.

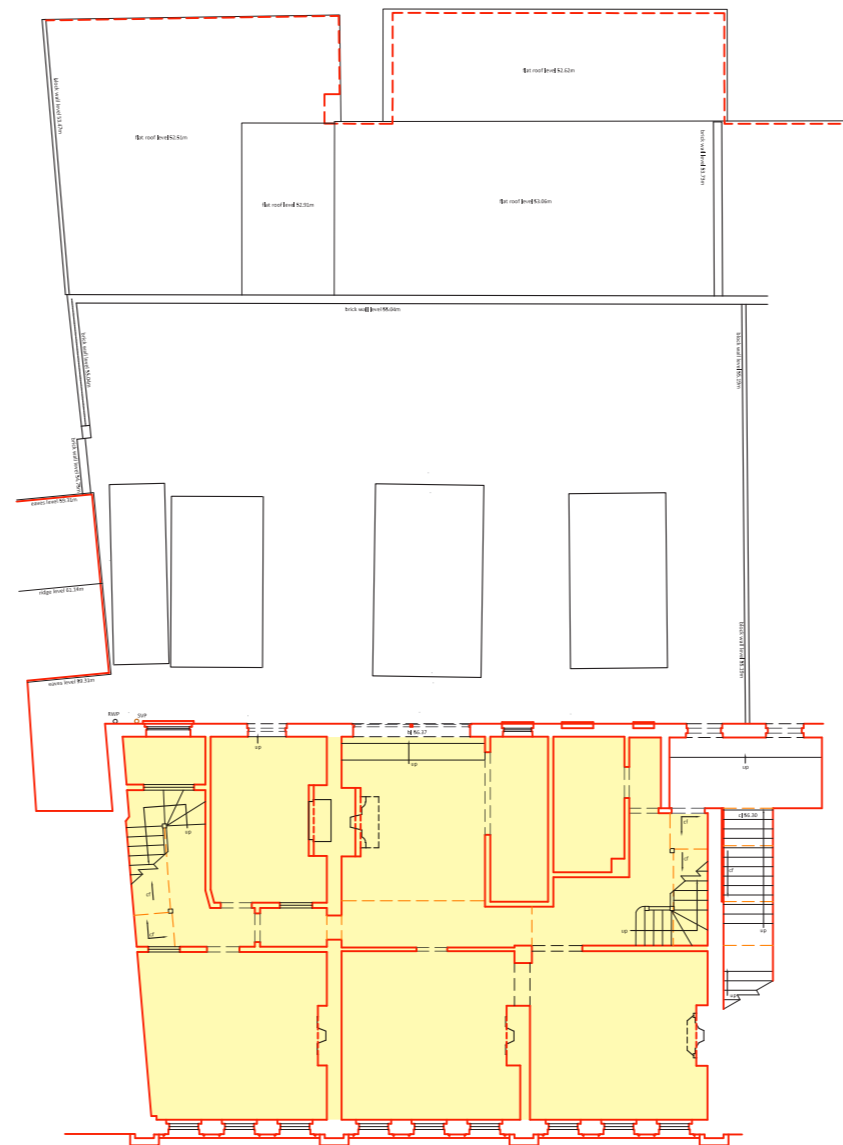
- **Heritage Assessment and Ecology Report by EDP**
- **Flood Risk Assessment by RAK**
- **Noise Assessment Ion Acoustics**
- **Transport Statement by TPP**

| Interpretation and Design Development

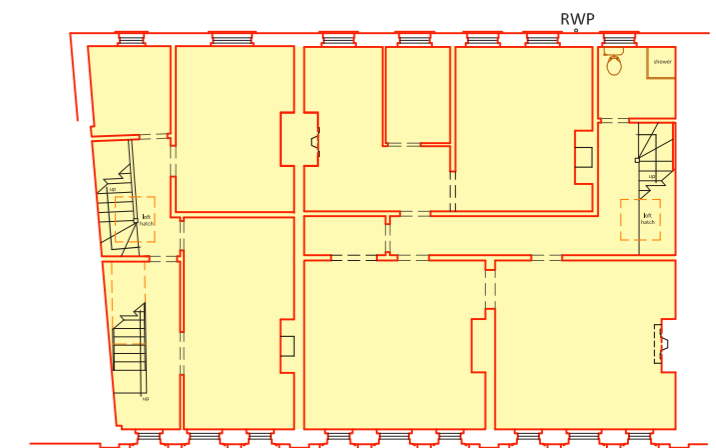
Existing Floor Plans



Existing Ground Floor Plan



Existing First Floor Plan

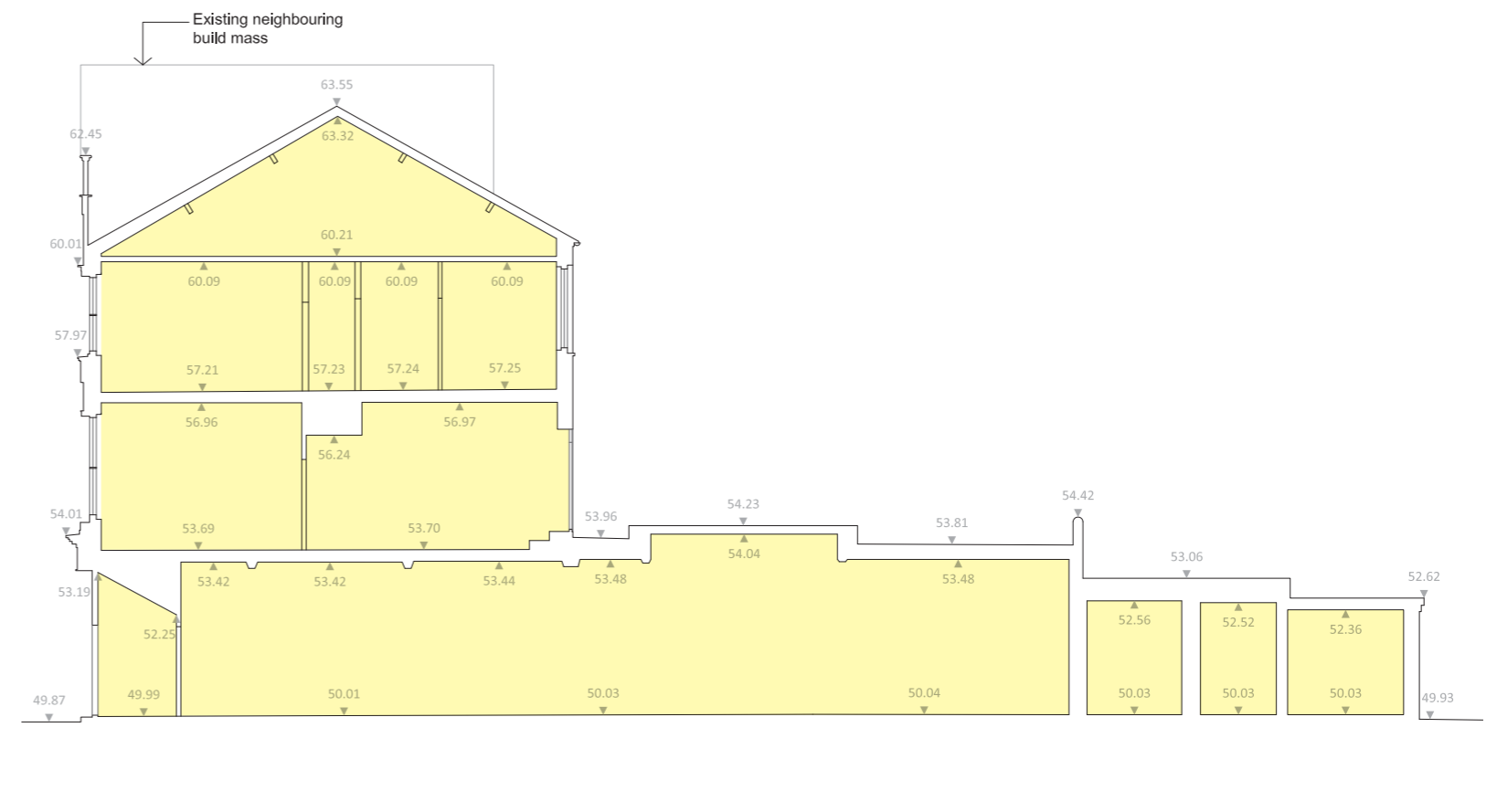


Existing Second Floor Plan

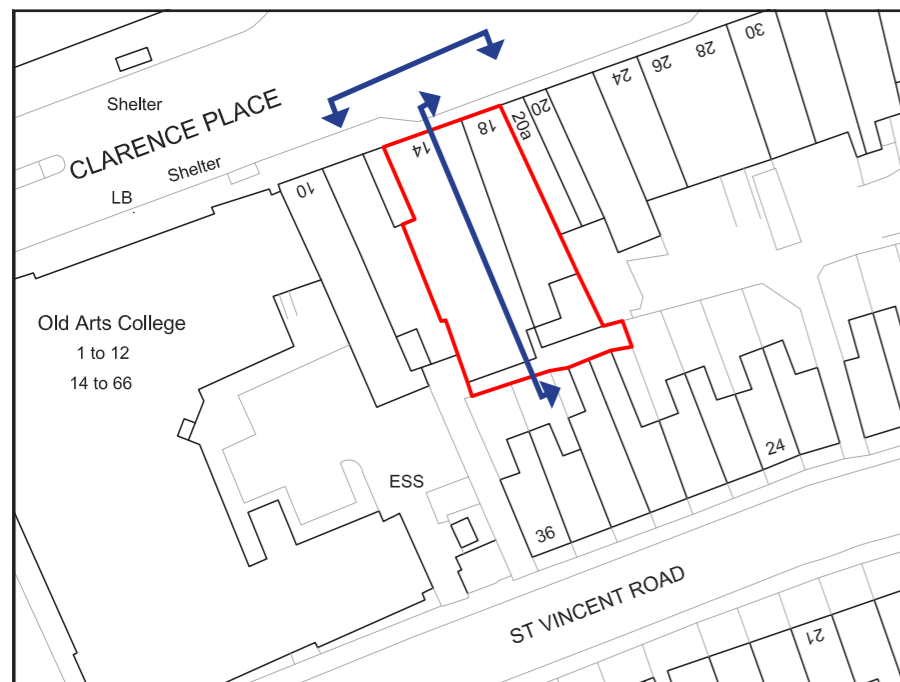
Existing Elevation & Section



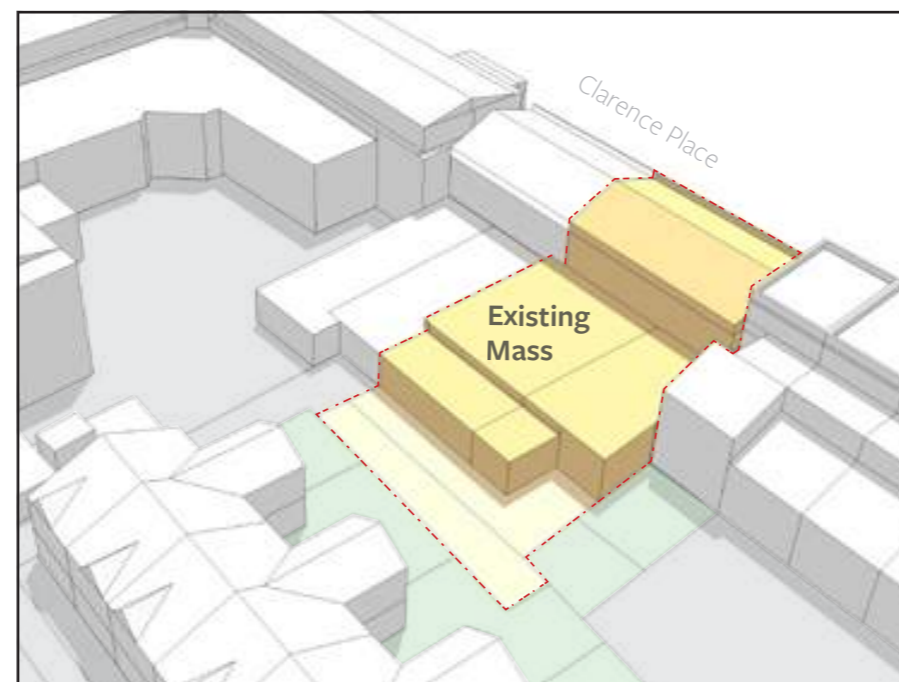
0 1 2 3 4 5
Metres
Front Street Elevation



0 1 2 3 4 5
Metres
Section



Site Location Plan



Existing 3D View

Existing Building - External Analysis

Schedule of Required Restoration Works

- Remove existing ad hoc elements from façade
- Brick work will be repaired and repointed where deemed necessary.
- Weathered stonework, to be cleaned and repaired where necessary.
- Existing windows and frame will be made good where necessary.
- Remove existing dilapidated shopfront and fascia.
- Existing redundant vents to be removed.
- Replace existing dilapidated roof and structure.

The external façade is in a very dilapidated condition and requires immediate maintenance works to be carried out as highlighted above. The existing building will benefit from the proposed works which will enhance the existing character by removing ad hoc works and reinvent it back to its original grandeur.



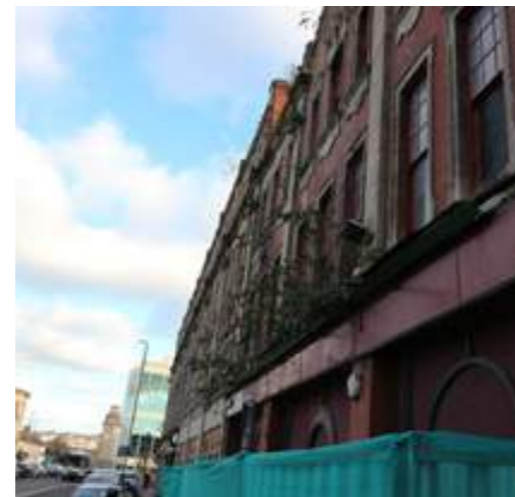
Img. 01 - Front facade detail



Img. 02 - Roof condition



Img. 03 - Existing shopfront behind hoarding



Img. 04 - Front facade



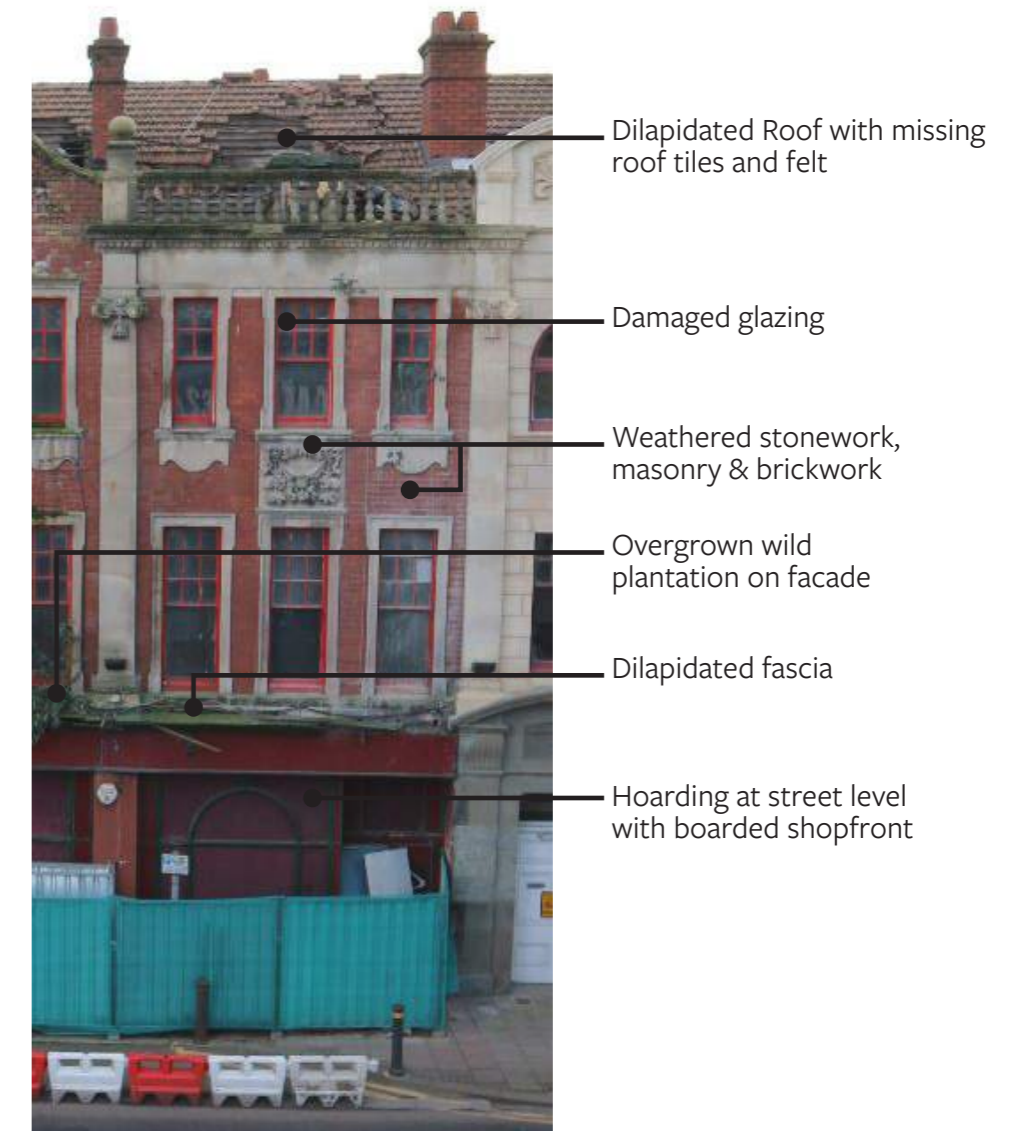
Img. 05 - Rear Access



Img. 06 - Existing rear extension roof



Img. 07 - Rear facade



Dilapidated Roof with missing roof tiles and felt

Damaged glazing

Weathered stonework, masonry & brickwork

Overgrown wild plantation on facade

Dilapidated fascia

Hoarding at street level with boarded shopfront

Front Street Elevation

Existing Building - Internal Analysis

Schedule of Required Restoration Works

- Remove existing ad hoc fittings.
- Existing windows will be repaired and made good where necessary.
- Repair works internally will be carried out where necessary.
- Remove existing ad hoc internal partitioning walls.
- Chimney breast of architectural merit to be made good where possible.
- Existing decorative elements of value to be made good accordingly.

Overall building seems in an extremely bad condition and requires intensive maintenance works to be carried out as shown in the most recent site pictures on the left.

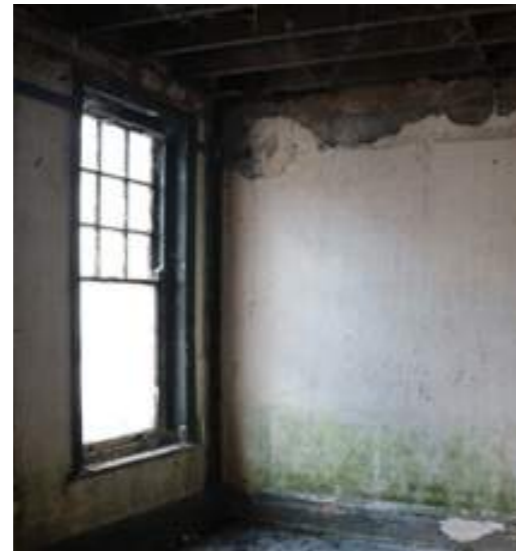
The existing building will benefit from the proposed works which will enhance the existing character by removing ad hoc works and conserving original features wherever feasible.

It is worth noting that after conducting the survey of the existing building the internal floor plans have been now updated as per the original plan form of the building through retaining the main load bearing walls.

Please refer to proposed floor plans on page 26-27 of this DAS or Drawing 0483 D 3 D 0 100-101



Img. 01 - Original elements



Img. 02 - Existing windows



Img. 03 - Ad hoc / later additions like glazed door



Img. 04 - Floor condition



Img. 05 - Typical internal condition



Img. 06 - Existing internal ad hoc construction



Img. 07 - Internal Ceiling condition



Img. 08 - Typical internal condition



Img. 09 - Ad hoc wall construction

1.0 Introduction

Gurney Consulting Engineers was commissioned by Base Associates on behalf of 45 Croydon Way Limited c/o Urban Spectrum to carry out a structural inspection and report on the 14-18 Clarence Place, Newport NP19 0AE. The report is to focus on the condition of the building and to advise on capabilities for re-use and conversion for residential/hotel use.

Ian Durkin carried out the inspection on 13 March 2018 at which time the weather was showers and sunny spells

2.0 External inspection

The main building comprises of a three storey block which was an old public house. The main part of the building is a 3-storey load-bearing masonry structure with suspended timber upper floors and a pitched roof.

The front elevation comprises of a three bay unit with full height openings at ground floor level and the access to the upper floors is via a shared front entrance to the right hand side of the three bay unit. The front wall comprises of a solid brickwork wall with multiple high bay windows in each storey, 3 No. per bay. Each window opening has a stone surround. At the top of the wall there are stone parapets with balusters and rails. The roof is pitched from front to rear and has a clay tiled finish with three chimney stacks projecting from the front slope. There is also a small dormer window which is boarded up projecting from the front roof slope over the left hand bay and there is a secondary one above the roof on the right hand bay. The central bay has a solid brickwork parapet wall with a curved top which has a stone coving and the central stone surrounded ornate oak. The brickwork is stained and has green algae growing particularly to the stone window cills and headers. There is vegetation growing from some crevasses and window cills and the shop front window headers at first floor level.

At the rear there are single storey projections and extensions and the roof covering comprises of a mixture of an asphalt and a bitumen felt coverings with multiple redundant sky lights which have been partially infilled. The roof is in a very poor condition with numerous holes and dilapidated condition with rotting timbers and sagging roof coverings. There is considerable debris stacked on the roof together with vegetation and ponding.

When viewed from high level the roof can be seen to have a number of tiles missing exposing battens and bitumen felt and patchwork quilt of a timber boarding. The chimney stacks are in reasonable order without seeing any signs of major distress to the brickwork. The roof is poorly flashed up against the building on the left hand side of the unit where most of the flashing is now missing and some tape flashing has been applied near the ridge. The flashing on the right hand side of the adjacent building to the taller building to the right is in better order.

The rear wall of the main building comprises of a solid brickwork wall which is painted at the first floor storey. The first floor window openings have been infilled. The first and second floor windows have brick arched lintels.

3.0 Internal inspection

There is considerable fire damage and water ingress so that the floors are saturated and inaccessible.

The building is infested with pigeons.

There are three window openings in the front wall in each of the two accessible front rooms. The walls either side and around these window openings have a plastered finish with timber skirting board, picture rail and a plastered coving. The walls show no evidence of cracking or damage. In the party wall there is a chimney breast and fireplace. There is a vertical crack to the right hand side of the chimney breast and there is also evidence of cracking at high level in the party wall to the left of the chimney breast.

In the left hand front room the ceiling has been removed exposing the timber joist which span from front to rear with a herringbone strutting at mid span. There is evidence of fire damage with minor charring or more discoloration and a lot of wet, through rain and water ingress. There is a central wall between the two front rooms which is of a solid masonry construction which is probably about 350mm thick. There is a central chimney breast within this fireplace serving the front central room. There is damp incrustation to the plastered wall to the chimney breast.

In the rear central room the ceiling has partially collapsed exposing timber second floor joists spanning from front to rear. The ceiling originally was a lathe and plaster ceiling. The first floor has a tiled finish and there are two steps up to the double French door window opening through the rear wall. The rear wall is about 450mm thick and there is no evidence of any cracking or damage in this floor. In the rear rooms there are studwork partition walls splitting the space down into 2-3 rooms. The corridor wall, however, is solid masonry.

No access was possible to inspect the front left-hand room at first floor level.

Stairs led up to the second floor from the central area.

At second floor level there is limited access as part of the floorboards are missing. The remainder of the floor is infested with guano and ceiling debris as all ceilings have collapsed exposing timber ceiling joists spanning front to rear. The masonry walls to front and sides and internal walls all appear to be sound without any cracking, although suffering from damp ingress.

The roof structure comprises rafters spanning front-to-ridge-to-rear supported by two lines of purlins on each slope. The purlins span from masonry walls to internal queen-post timber trusses.

Where the second floor joists are exposed these have been heavily notched for building services in the past.

Access to the ground floor is via a front entrance door to the left hand side of the building. This leads into a large original public house with masonry internal walls running front to rear separating the building into three parts. Each room leads into the rear additions which are single storey and there is no wall between the two parts of the building. The masonry rear wall to the first and second floor parts must, therefore, be supported on steel cross-beams which span from side to side.

The ground floor comprises of a solid concrete floor structure.

There is no evidence of any damage or cracking in the masonry walls. At the rear the ceiling has collapsed and this exposes a timber flat roof structure with boarded over roof lights.

In the right hand room the beams exposed are holding up the upper rear wall. This comprises of a steel beam, the bottom flange of which is exposed with some corrosion, although not laminated. There seems to be a concrete infill between the flanges although the top flange is not visible.

4.0 Discussion

Whilst the building is in a dilapidated condition the walls to the original main part of the building appear to be sound with little evidence of significant structural damage. The roof has been breached which has allowed rain water to enter the building and this has saturated the timber structures of roof, ceilings and floors. The masonry also show signs of prolonged water damage with significant damp ingress at first and second floor levels.

The main building has also suffered from some fire damage although this is not that extensive. There has been little structural affect to the load-bearing masonry walls but some of the floor and ceiling timbers joists are charred or discoloured from the fire.

I could not gain sufficient access to the roof space to examine the condition of the roof structure. This comprises traditional rafters, purlins, ceiling joists and binders supported by timber queen-post trusses which span from front to rear. As there is extensive fire damage and wetting through rain water ingress it is likely that the whole of the roof structure will require replacement.

Similarly the floor joists to first and second floor structures have been damaged from fire damage and/or water damage and these will require replacement. There is evidence that the floor joists have been over-notched to accommodate building services and these have been structurally compromised.

The external rear wall which is a solid brickwork construction is likely to be supported on steel beams at first floor level. One of these is partially exposed above the right-hand ground floor room and whilst it shows signs of corrosion this is not so extensive as to be laminated. It is therefore likely to be redeemable.

The single storey projections and additions to the building at the rear are in a very dilapidated condition and I do not believe that there is anything that can be saved or redeemed. The flat roof is completely compromised and access above is unsafe. Parts are already collapsing and temporary propping will be required in order to provide safe conditions to strip out and demolish.

5.0 Conclusions and recommendations

The building comprises an original 3-storey load-bearing masonry structure to the front which has single storey projections and extensions at the rear. The front 3-storey section of the building has a tiled pitched roof and timber suspended floors at first and second floor levels. The rear single storey parts have flat roofs.

The main roof has been compromised as some tiles and roofing felt are missing allowing significant ingress of rain water. The water ingress has saturated the timbers to the roof and floor structures and this together with fire damage results in the need for all timbers to be replaced.

The main load-bearing walls, however have little significant structural damage. Whilst they are also suffering from water ingress and there is long-term damp in evidence the walls appear to be structurally sound and can be redeemed.

Once the building is made safe and cleared out of debris and protected from the elements a specialist survey should be undertaken to record any wet and/or dry rot damage to timbers and masonry.

The rear single-storey parts to the building are dilapidated and are not redeemable. These should be demolished once safe access is provided.



Img. 01



Img. 02



Img. 03



Img. 04



Img. 05



Img. 06

Image Key

- [1] Steel beam, ground floor ceiling
- [2] Ground floor room
- [3] Second floor joist

- [4] Flat roof at rear
- [5] Roof Failure from Clarence Place
- [6] Rear Elevation

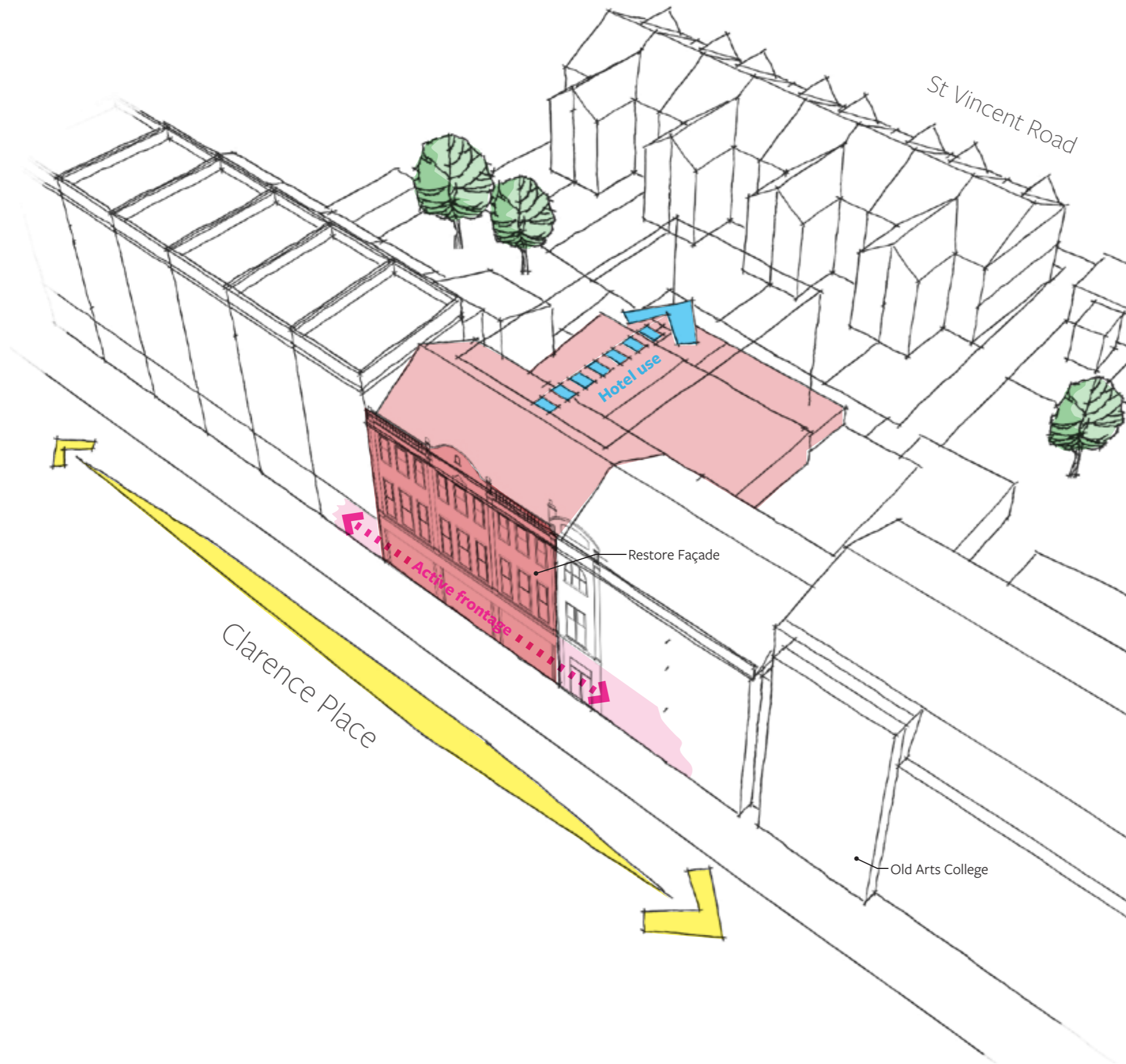
Key Constraints and Opportunities

Aims and Objectives

The site is located on a prime artery in Newport, which leads to the commercial centre and Newport (South Wales) Rail Station. In its current state the site is squandering the massive potential it has to be a positive contributor to its neighbouring community and Newport as a whole. The existing building is in a dilapidated and redundant condition and is set to deteriorate further?.

The goal of this proposed development is to invigorate the neighbourhood and regenerate the existing building by providing an active refurbished frontage with quality commercial space fronting Clarence Place and high quality hotel units for central Newport.

In order to achieve our design objectives within the context, we have used high quality materials in a contemporary designed building extension that compliments the neighbouring aesthetic whilst working with the existing historic façade and build fabric.



Pre-application Input & Considerations

Pre-Application Advice - June 2018

As part of the design development for the application site, a pre application consultation was held to review the strategy for the development and refine the emerging design. Through this consultation a few points were highlighted that have since been addressed in the further development of the design. The main points have been stated and addressed on this page.

Reference Number: P/18/00077
Case Officer: Joanne Davidson

Key Design Points Highlighted in the Officers report & solutions:

1 Impact upon the special character of the listed building.

The buildings are listed grade 2 and are in very poor state of repair. The design, scaling and massing of the proposed development will need to be respectful of the Grade II listing.

2 Impact of the proposed extension on Residential Amenity.

The site backs onto the rear of residential properties along St Vincent Road and adjoins residential properties along Clarence Place. The design, scale and massing of the development will need to be respectful of residential amenity.

Please refer to the other consultant reports for further information on transport, noise, flood risk and ecology assessment.

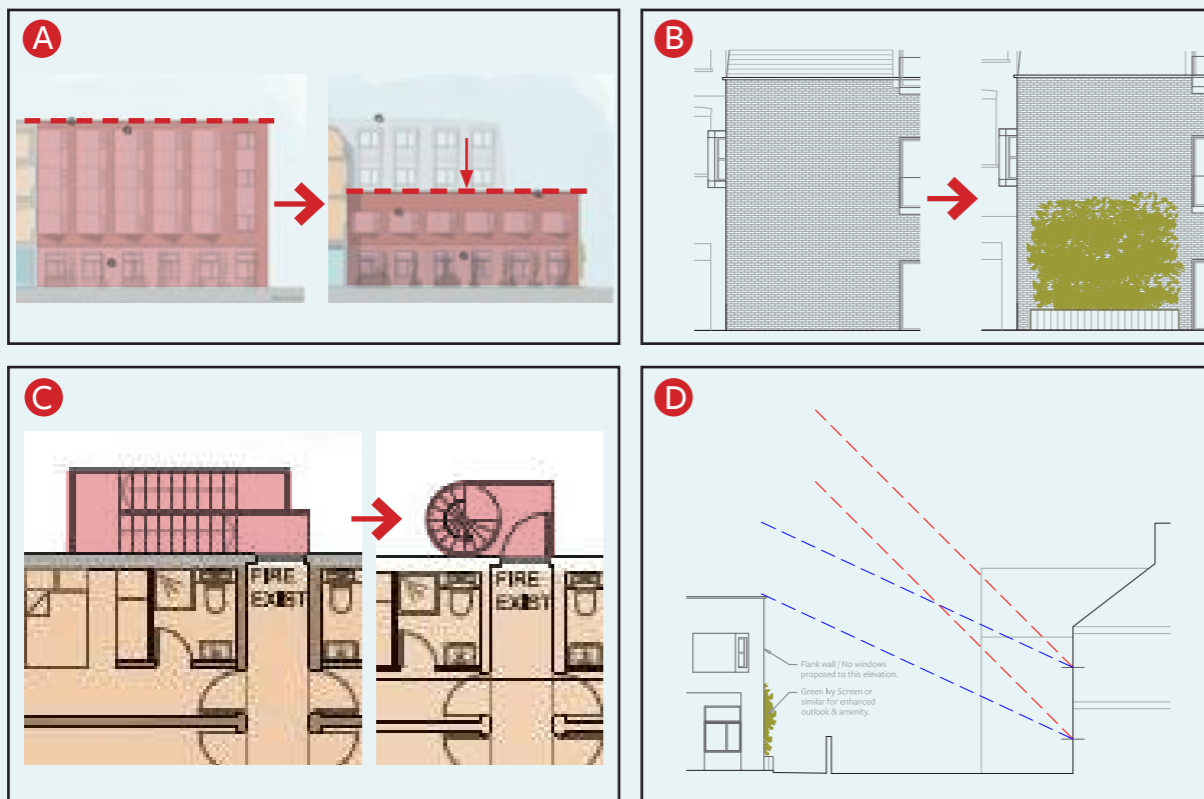
1



A / To address concerns regarding the grade 2 listed status an internal survey has been undertaken. The survey provides an accurate image of the internal layout and has resulted in making amendments to the proposed layout to respect it. Refer to existing and proposed planning drawings.

B / The proposed changes to the front elevations have been considered in detail, refer to page 30 of this DAS.

2



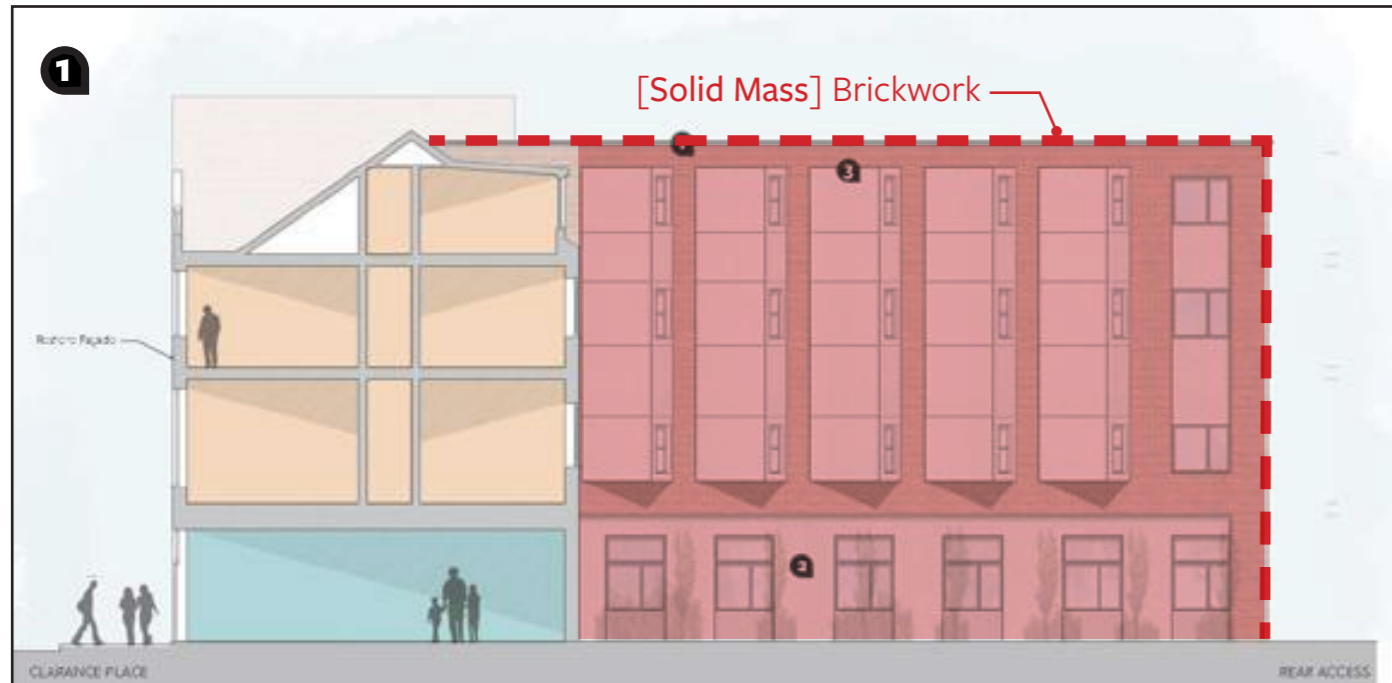
A / The rear extension has been revised to respect the neighbouring properties, refer to page 23 of this DAS.

B / To address the empty flank wall and green ivy screen will be provided.

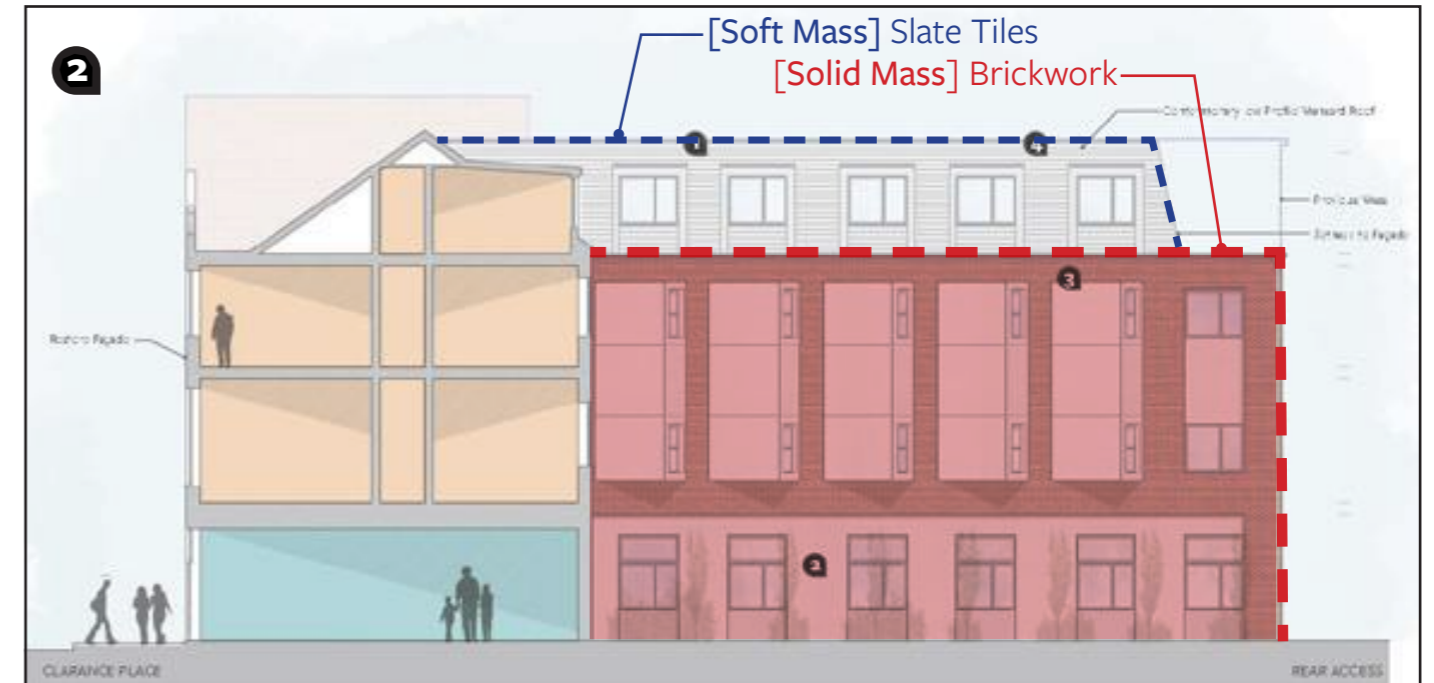
C / Subject to space limitation the external fire escape location was not changed but has been reconfig-ured to and minimal spiral staircase.

D / A 25 / 45 degree splayed outlook study has been undertaken, please refer to page 24 of this DAS.

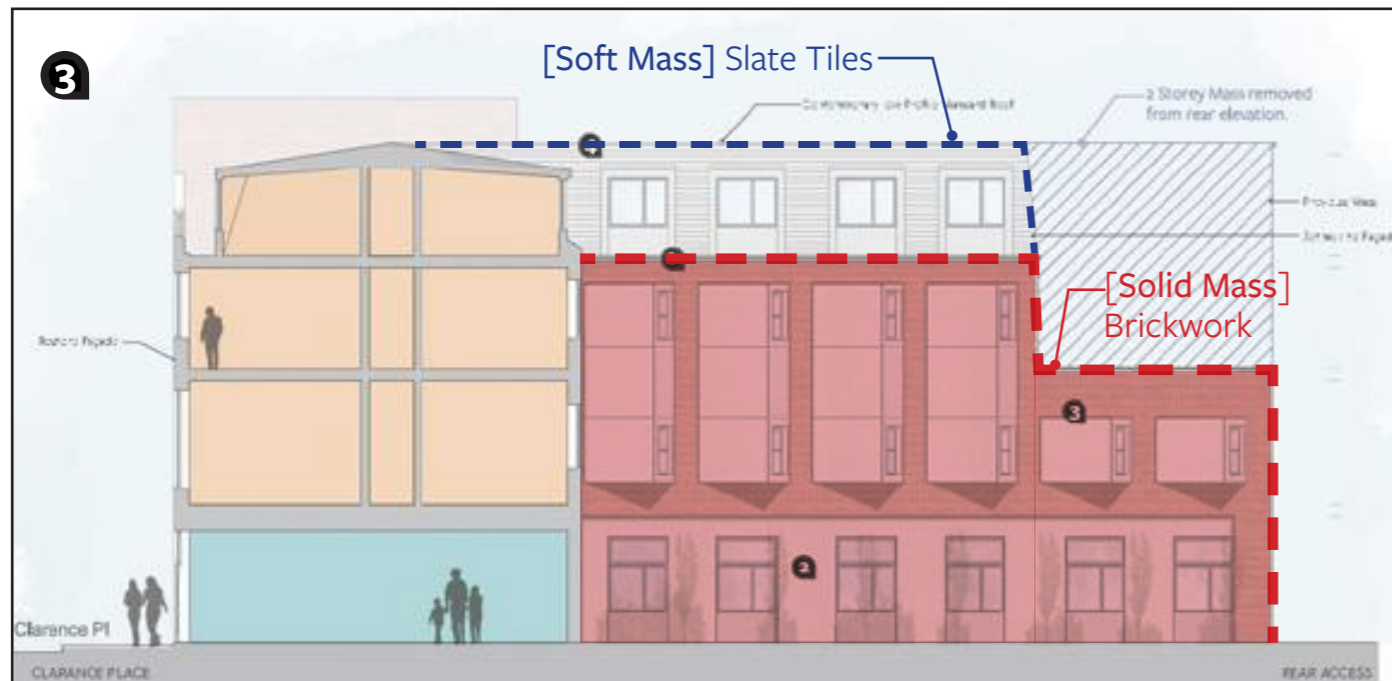
Design Options Considered



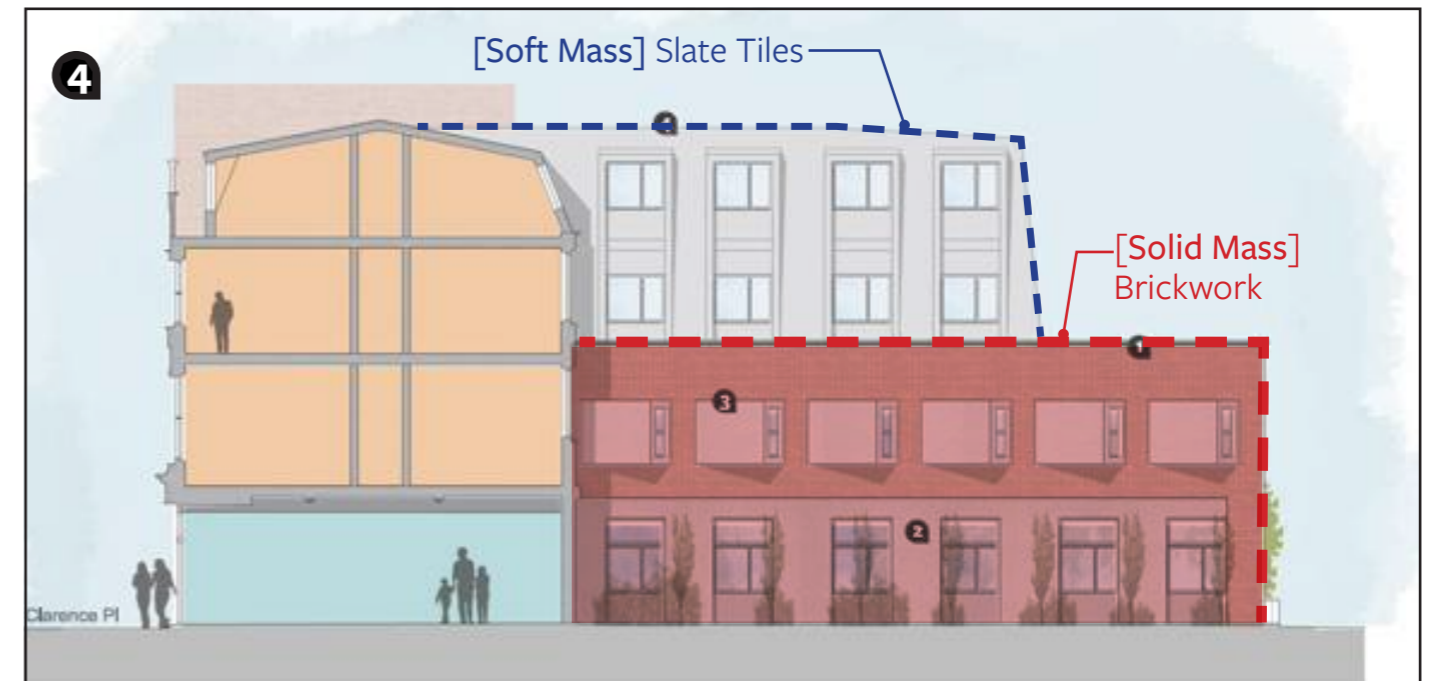
Original Pre-App Massing



First massing revision during pre-application consultation



Second massing revision during pre-application consultation (pre-app feedback based on this scheme)



Proposed Planning Application Massing

Design developemnt of rear Extension

The above four massing diagrams show the design development process for the rear extension from the initial pre-application design to the present planning submission. The imposing four storey solid brick mass was drastically reduced during the pre-application consultation with council and has been further reduced to a 2 storey element. The soft setback mansard roof has been extend to 2 floors to equally divide the rear extension to im-prove the visual design proportion. This design exercise has also been undertaken to reduce the im-pact to the neighbouring buildings and minimise the impact to the existing listed building.

Design Options Considered

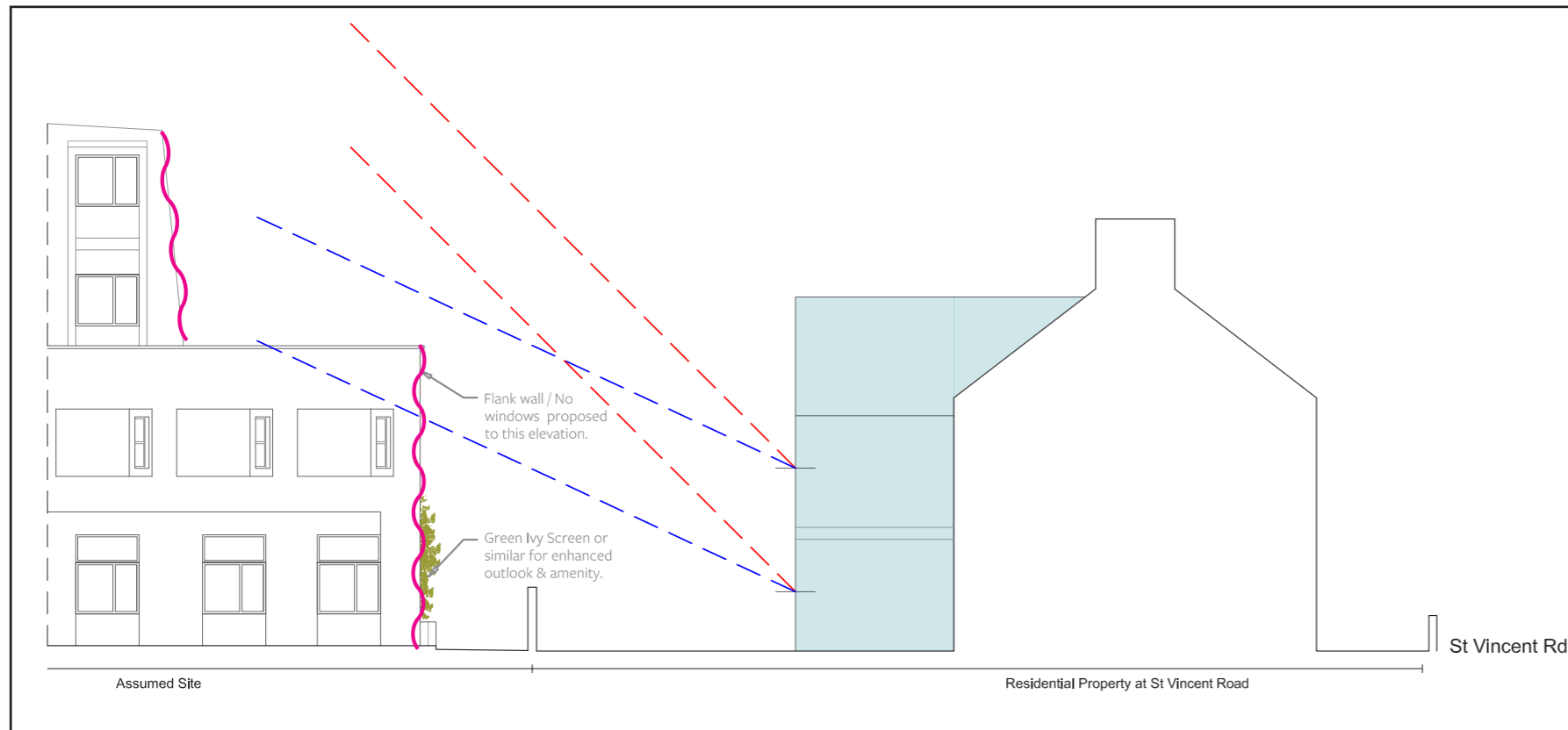
Outlook and Amenity Study

The proposed scheme has taken consideration of the dense town centre location and existing built fabric. Therefore the impact of direct overlooking and loss of privacy to adjoining properties especially to the St Vincent Road properties have been carefully studied and taken to consideration when designing the proposed massing, elevation and window openings.

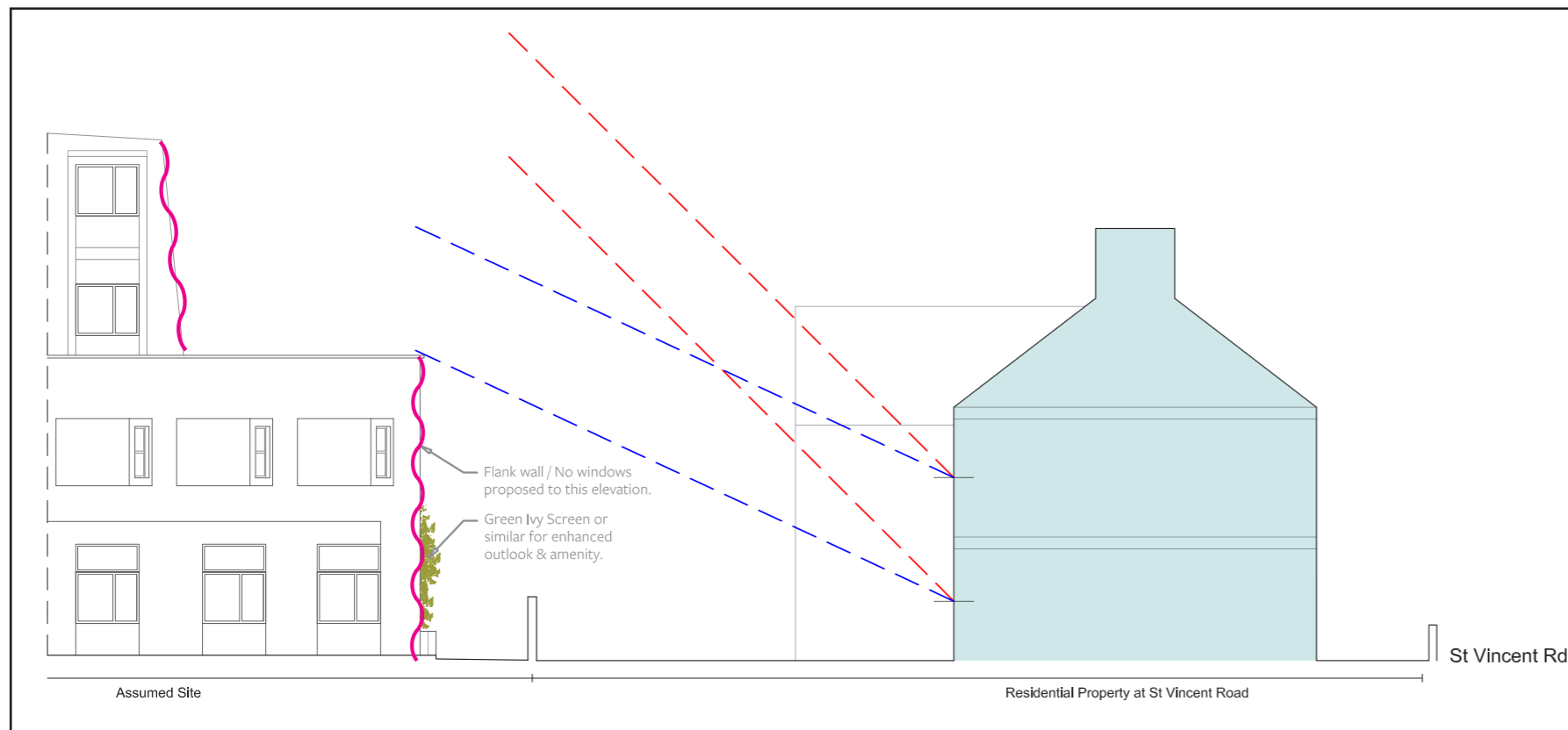
Apart from ensuring the windows have been positioned suitably the proposed scheme also looks to provide splayed windows to the first floor units to reduce direct overlooking and enhance the quality of future short term visitors.

Furthermore for the amenity of the St Vincent Road residents the scheme proposes a green ivy screen to soften the proposed elevation which is a drastic improvement from the existing site condition.

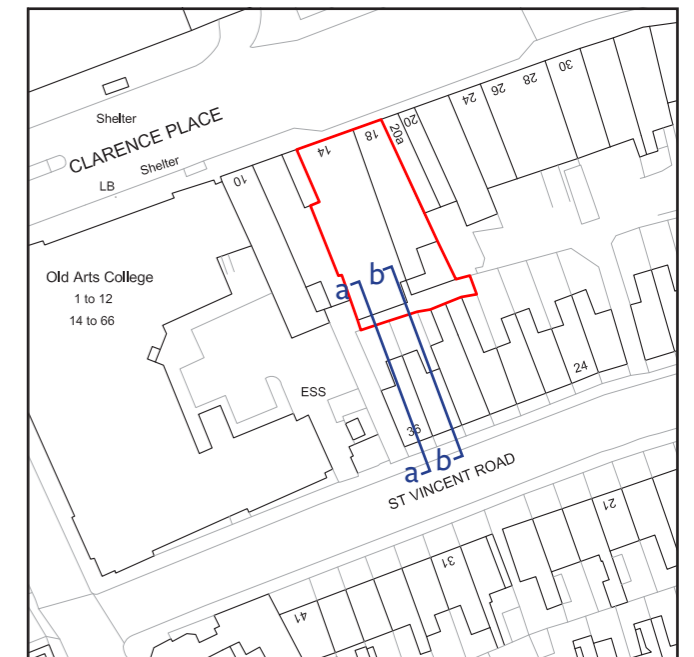
Please refer to the adjacent diagrams for more information



Proposed Outlook Scenario A



Proposed Outlook Scenario B



Site Location Plan

Key:

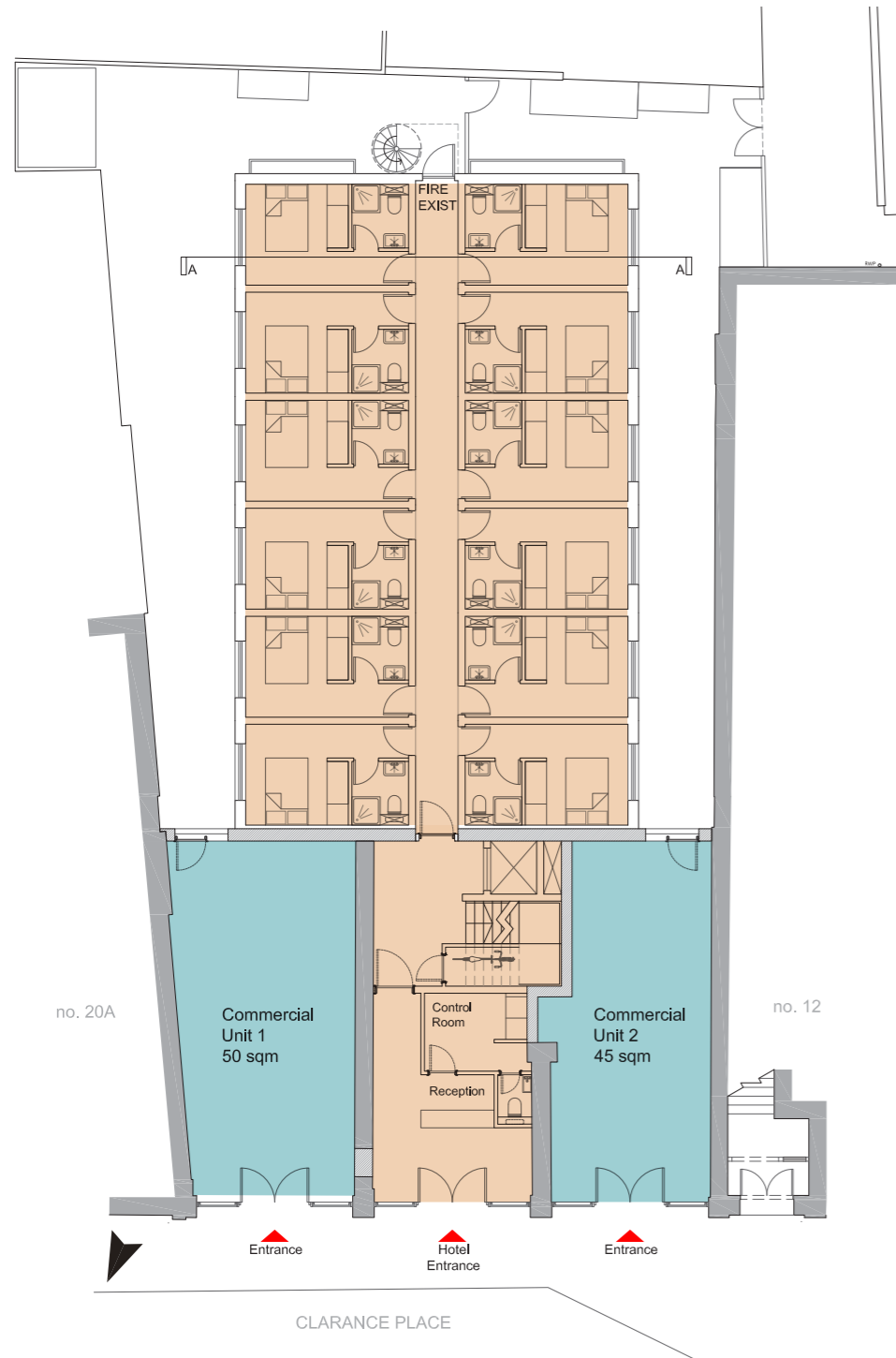
- 45 degree at 1.5m height
- 25 degree at 1.5m height
- █ Residential Mass
- ~ Flank Wall / Roof

| Proposed Development

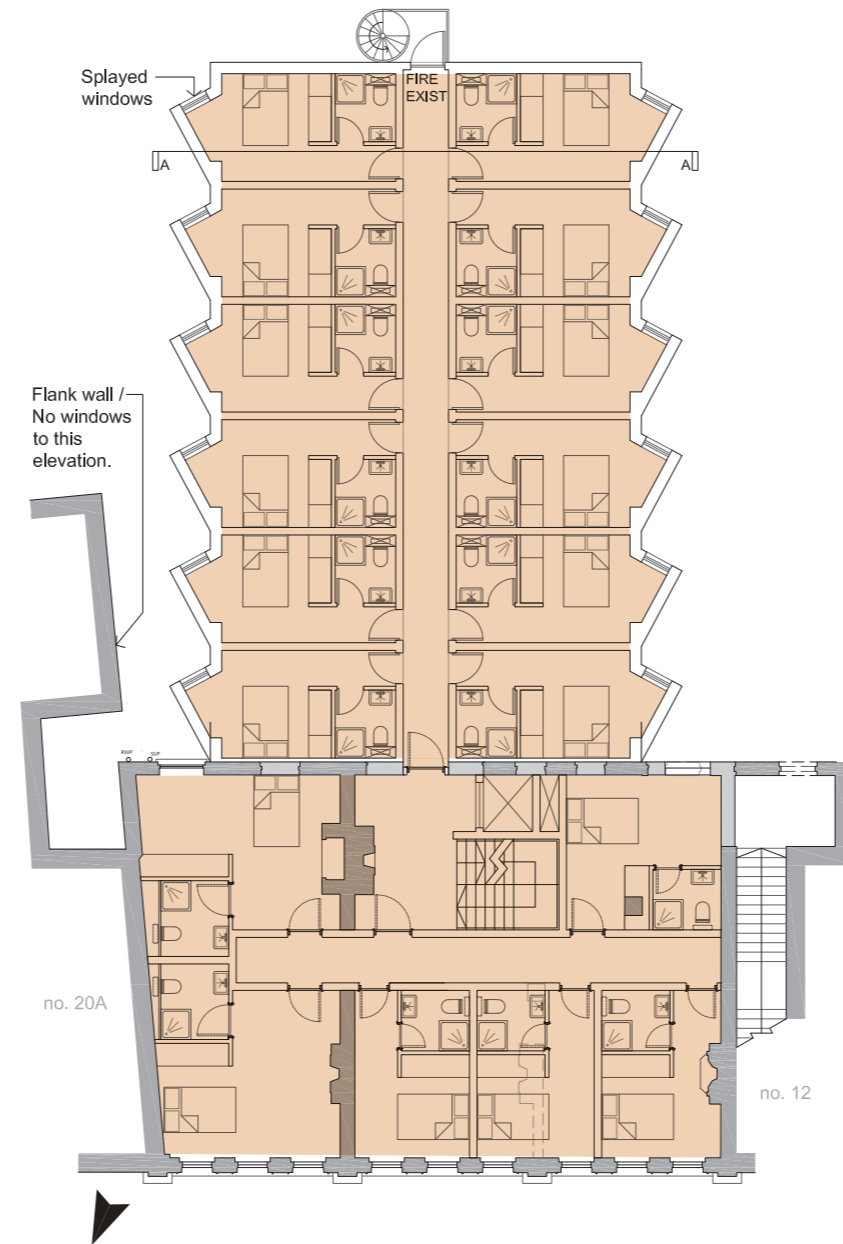
NOTE:
 - All Areas Subject to Site Survey & Detail Design

The measured areas and drawings within the scheme relate to the current state of design and are reliant upon the information available at the time. Any decisions to be made on the basis of these predictions should allow for variations in the design development and construction process.

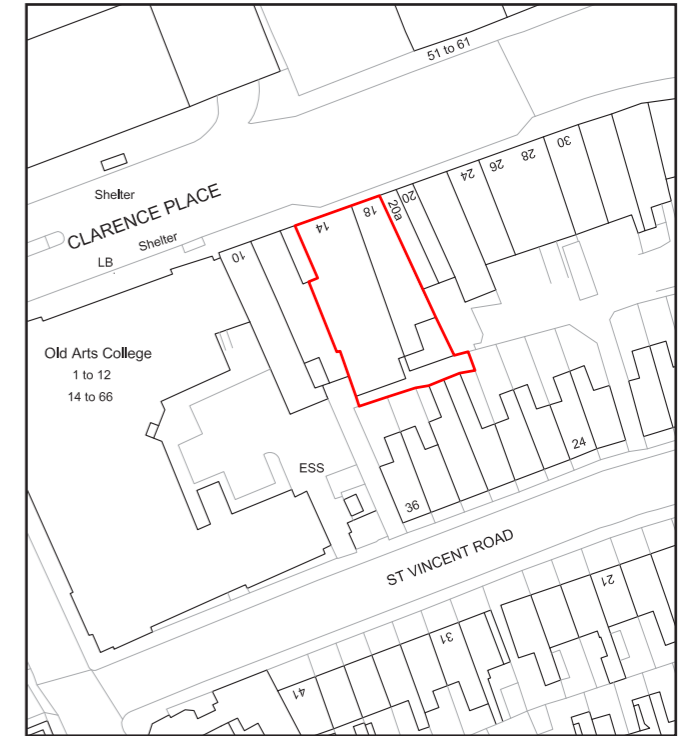
Proposed Floor Plans



Proposed Ground Floor Plan

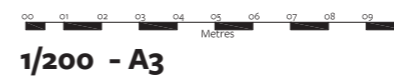


Proposed First Floor Plan



Site Location Plan

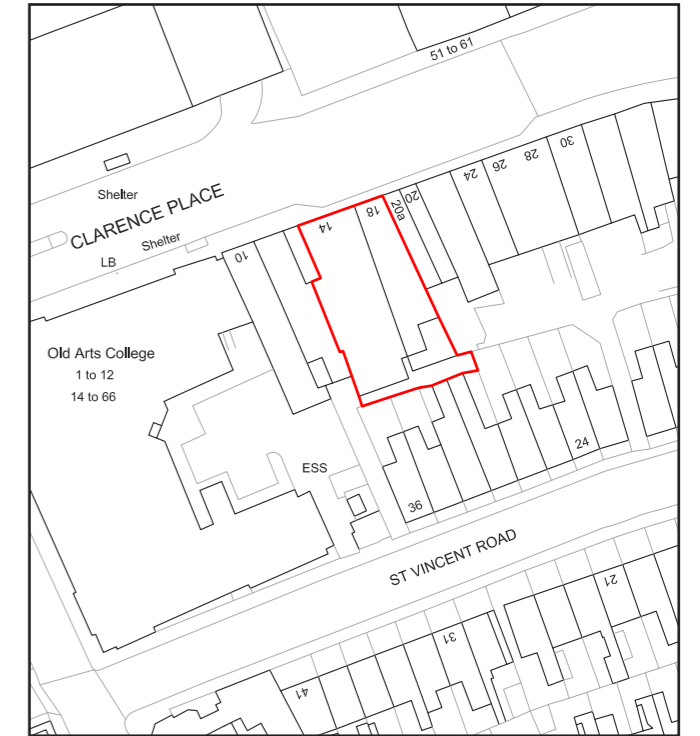
- Hotel Use - circa 58 rooms
- Commercial Use - circa (1020sqf)
- Assumed Site Boundary



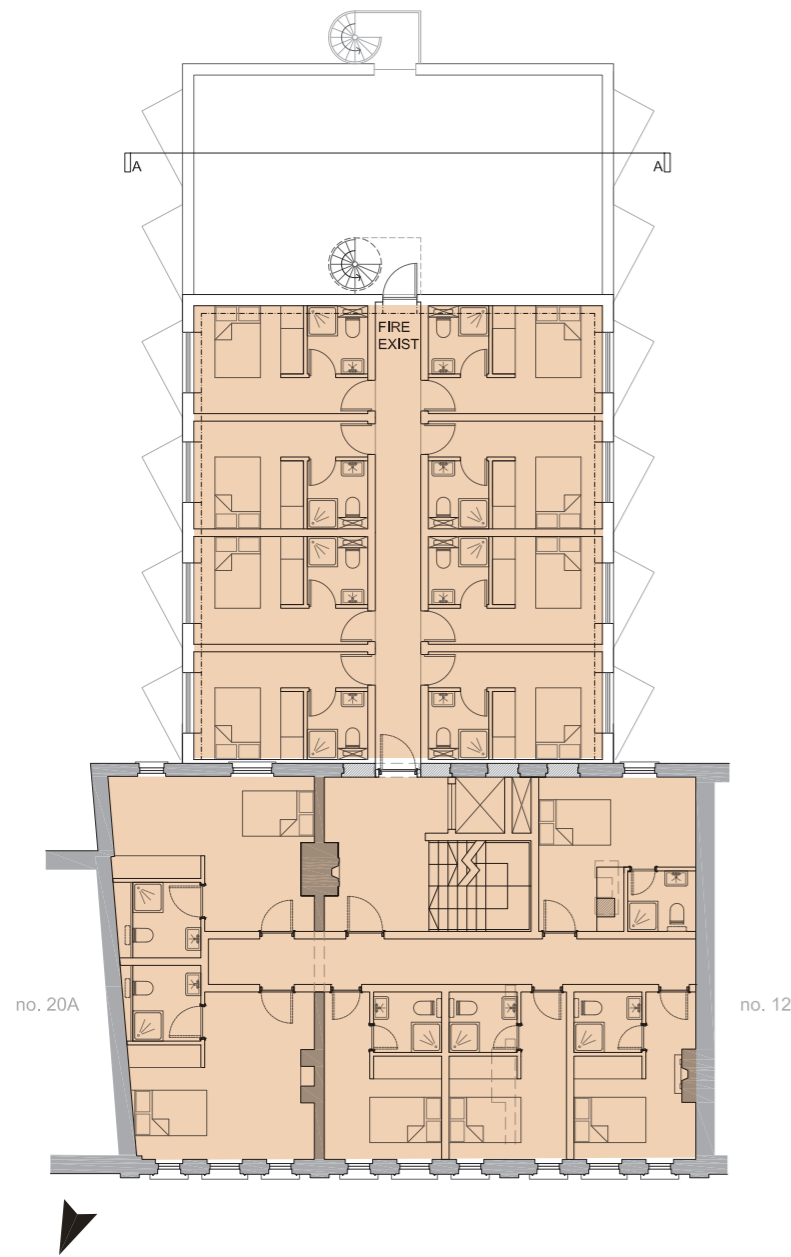
NOTE:
 - All Areas Subject to Site Survey & Detail Design

The measured areas and drawings within the scheme relate to the current state of design and are reliant upon the information available at the time. Any decisions to be made on the basis of these predictions should allow for variations in the design development and construction process.

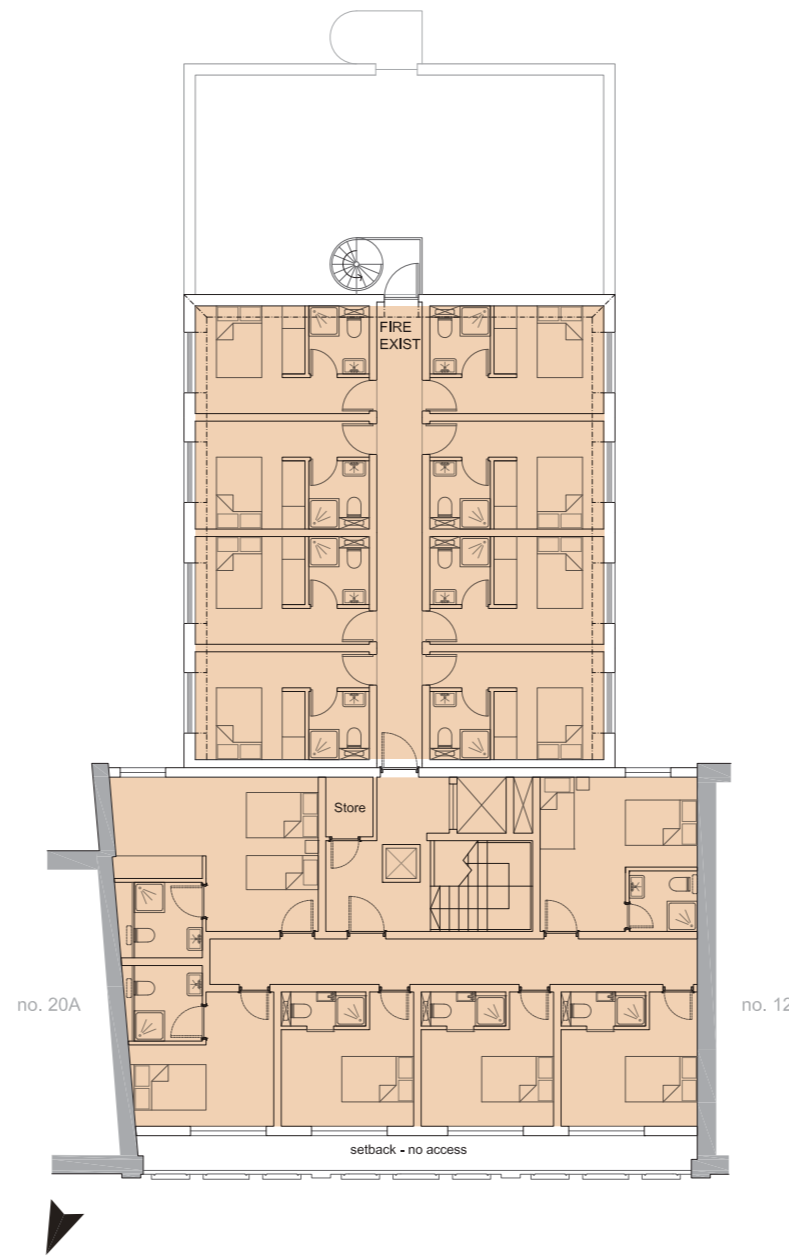
Proposed Floor Plans



Site Location Plan

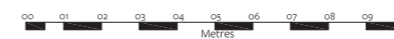


Proposed Second Floor Plan



Proposed Third Floor Plan

- Hotel Use - circa 58 rooms
- Commercial Use - circa (10200qf)
- Assumed Site Boundary



1/200 - A3

Typical Hotel Room

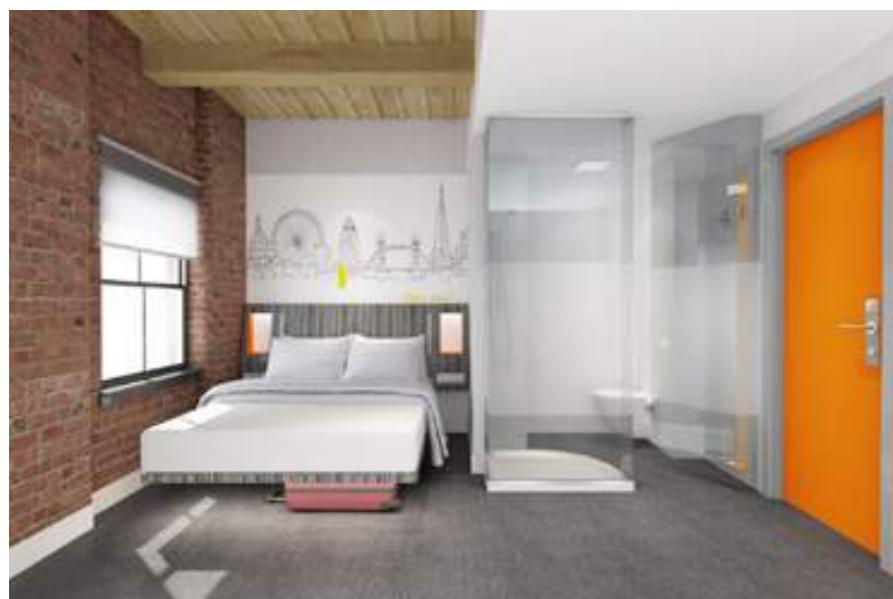
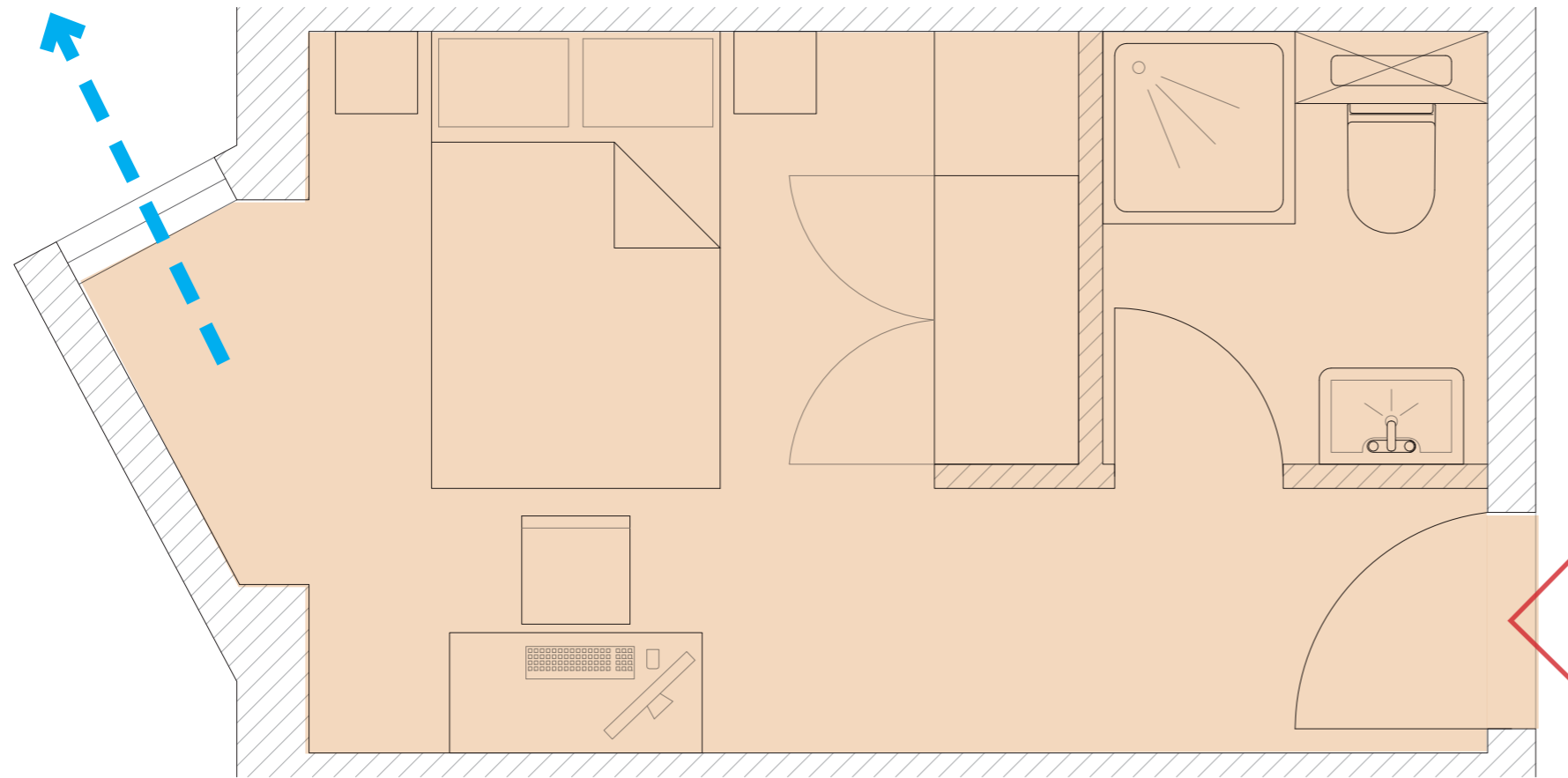
Schedule of Accommodation

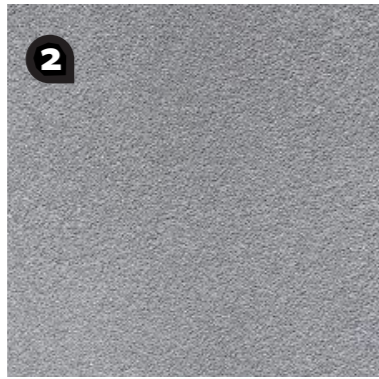
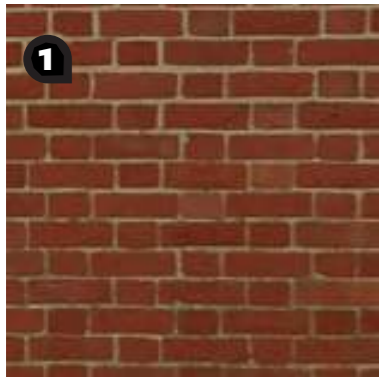
Hotel Use

Ground Floor	circa 12 Units
First Floor	circa 18 Units
Second Floor	circa 14 Units
Third Floor	circa 14 Units
TOTAL	circa 58 Units

NOTE:
- All Areas Subject to Site Survey & Detail Design

The measured areas and drawings within the scheme relate to the current state of design and are reliant upon the information available at the time. Any decisions to be made on the basis of these predictions should allow for variations in the design development and construction process.





Character & Description

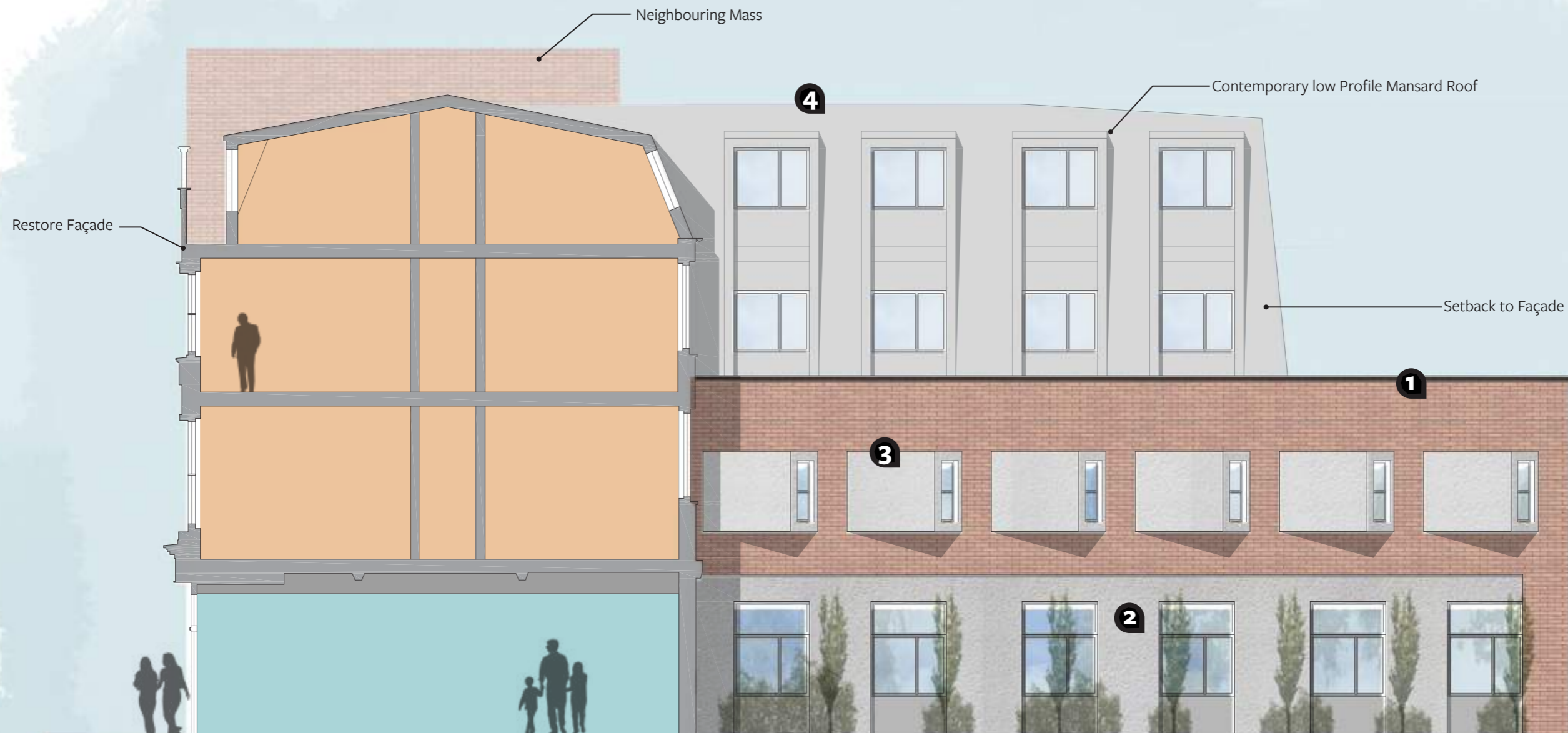
Proposed Elevation & Materials

Key:

- [1] Brick to match existing Building
- [2] Dark Grey Render to match stone work
- [3] Splayed windows to enhance the outlook
- [4] Slate Roof Tiles

Hotel Use - circa 58 rooms

Commercial Use - circa (1020sqf)



CLARANCE PLACE

REAR ACCESS

00 01 02 03 04 05
Metres
1/100 - A3

Character & Description

Street Elevation

The front elevation of the building is a very important part of the design as it fronts onto Clarence Place which is a busy road leading onto the Town centre and most importantly is a vital architectural contributor to the grade II listing. A lot of consideration has gone into the proposed design and restoration works. Due to this the front elevation has been divided into 3 design categories A) Roof element B) Masonry façade and C) Shopfront.

A) The existing slate roof is in a much depilated condition and is proposed to be replaced by a set-back mansard roof element as seen on the left drawing. The roof element is to be clad in grey slate roof tiles with four minimal dormer window openings which have been carefully centralised with the existing window alignment.

B) The existing building façade consists of large traditional sash windows; uses red brickwork and stone banding with traditional stone façade decoration. At present these elements have been neglected over the years and resulted in broken windows and badly weathered façade which is in a urged need for restoration. The brickwork will be carefully cleaned and re-pointed where necessary. The stone work too will be cleaned in a similar manner to the recent neighbouring faced works.

C) The ground floor shopfront will be replaced with a more traditional looking design which will complement the existing façade proportions but also cater for the future commercial tenants and users.

In summary all of the materials and design elements throughout this development are to be of a high quality and complimentary of the existing and neighbouring buildings.



Design precedent of roof top extension on a listed building.



Existing facade condition (L), proposed works to match neighbouring works (R)



Indicative design precedent for the street level shopfront

Key:

- Cycle Storage
- Refuse Storage
- Circulation
- Timber fence 1.8m
- Existing Boundary wall / Fence
- Entrance

Please refer to TPPs Transport Statement for more information.

Refuse

The proposed development provides refuse storage as per national policy standards in a covered and secured refuse store. The refuse store has been located in the existing and convenient location.

The required provision is met by providing:

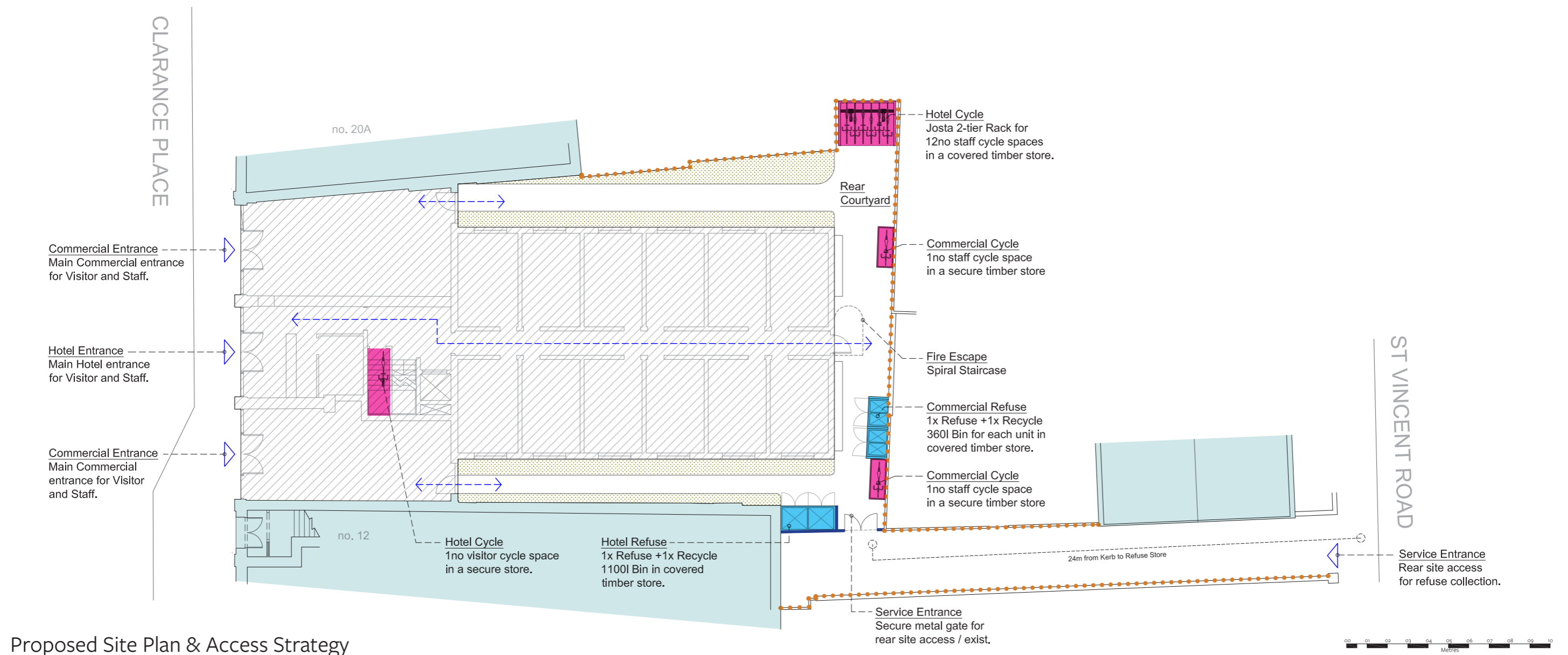
- 2x 1100l for Hotel Use
 - General Waste 1x 1100l
 - Recycle Waste 1x 1100l
- 4x 360l for Commercial Units
 - General Waste 2x 360l
 - Recycle Waste 2x 360l

Cycle Storage

The development also ensures to provide sufficient cycle storage in order to promote sustainable transport.

The required provision is met by providing:

- 13x Cycle Spaces for Hotel Use
 - 12 spaces in the Cycle storage shelter for the hotel staff
 - 1 cycle space for hotel visitor
- 2x Cycle Spaces for Commercial Units
 - 1 space in a secure timber Cycle shelter for staff use Unit 1
 - 1 space in a secure timber Cycle shelter for staff use Unit 2



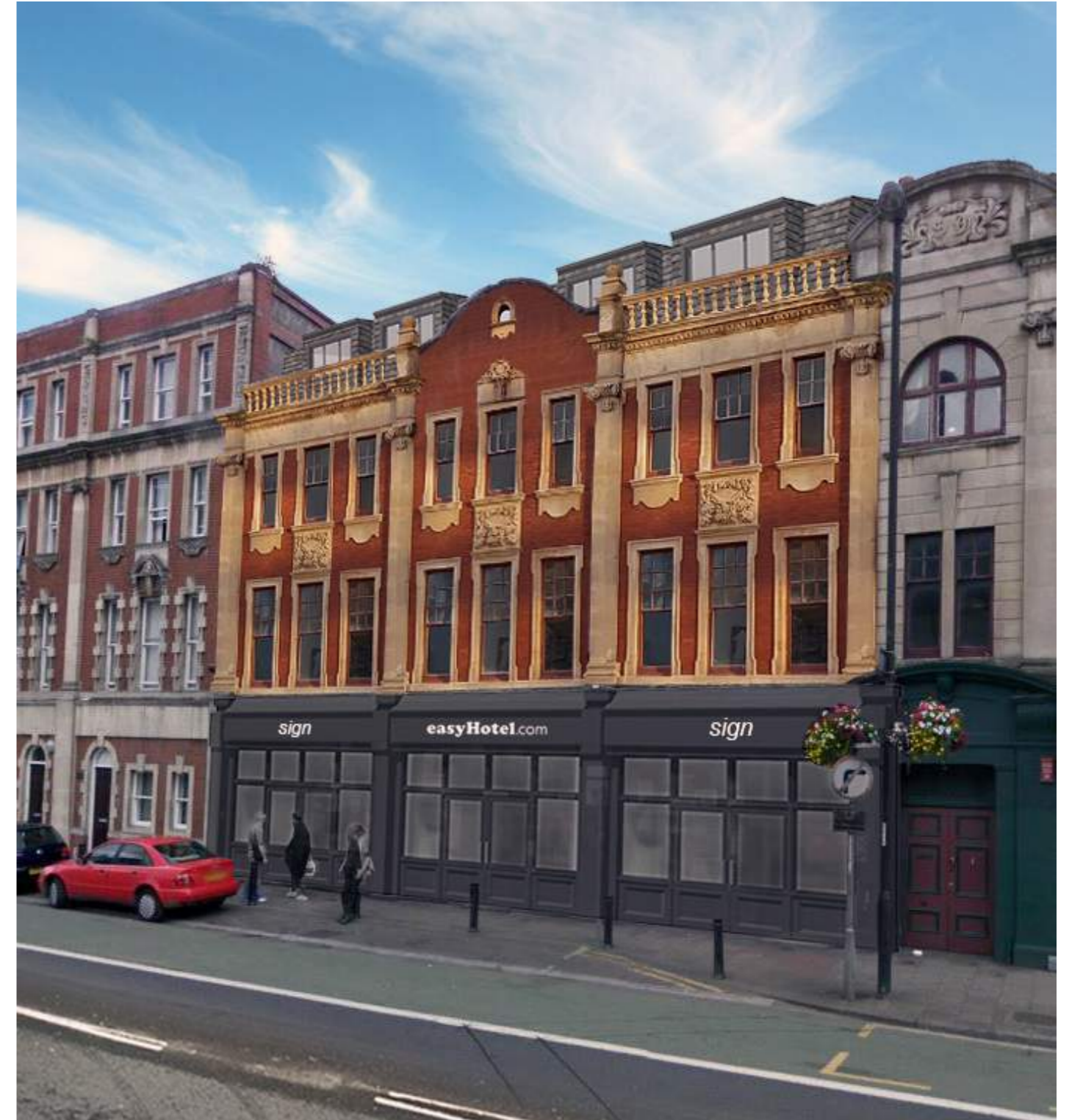
Proposed Site Plan & Access Strategy

| Summary and Conclusion

Before & After - Street View



Existing Street View - Clarence Place



Proposed Street View - Clarence Place

illustrative purposes only

Summary

Conclusion

The proposed scheme intends to play a positive role in the redevelopment of the Clarence Place locale and grade 2 listed building.

The design of the scheme has evolved through discussions with consultants and local authority services. We believe the proposal will create a much enhanced public realm by removing the hoarding at ground level; re-store the dilapidated front facade and replacing of the ad hoc rear extension.

The proposal will result in a positive policy compliant sustainable development of significant benefit to the local area. The social and economic benefits associated with the comprehensive redevelopment of the site weigh in favour of the granting of planning permission.

It has been demonstrated through comprehensive evidence based analysis that these benefits will not be significantly and demonstrably outweighed by any significant adverse impacts.

It is considered that there are robust planning grounds on which to promote the proposed mixed-use development at the site. It has been demonstrated that the proposal complies with prevailing development plan policy.

The scheme will deliver sustainable development in the forms bespoke and purpose built hotel rooms and re-establishing an active shopfront on ground floor. The scheme is immediately deliverable, suitable and available for development. It will act as a benchmark for high quality mixed use restoration and redevelopment works that may be provided at a later date within the surrounding area

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RIBA 



Note: This brochure is for design discussion only. Sketches and diagrams are preliminary and based on the information available at the current state of design. Factors such as accuracy of site levels are subject to survey, detailed design development may have an effect on the final design and this should be taken into consideration when using them. Nothing in this report shall confer any liability, duty or benefit to any other party unless agreed beforehand in writing. All copyright and intellectual material remain the property of Hebaseem Limited unless expressly agreed otherwise in writing.



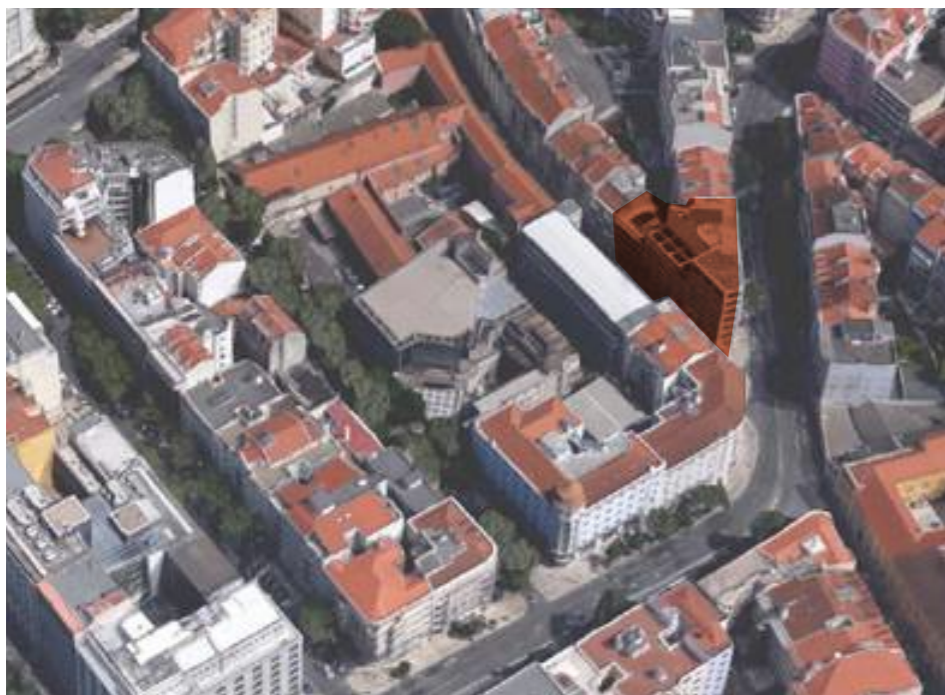
Nandos HQ | London
Restoration + Extension



Student Accommodation | Cardiff
Regeneration



Private Residence | London
Listed Restoration



Easy Hotel | Lisbon
Restoration + Extension



Metropolitan Police Stations | London
Listed Restoration

Relevant Experience

The proposed scheme intends to play a positive role in the redevelopment of the Clarence Place locale and grade 2 listed building.

The design of the scheme has evolved through discussions with consultants and local authority services. We believe the proposal will create a much enhanced public realm by removing the hoarding at ground level; re-store the dilapidated front facade and replacing of the ad hoc rear extension.