

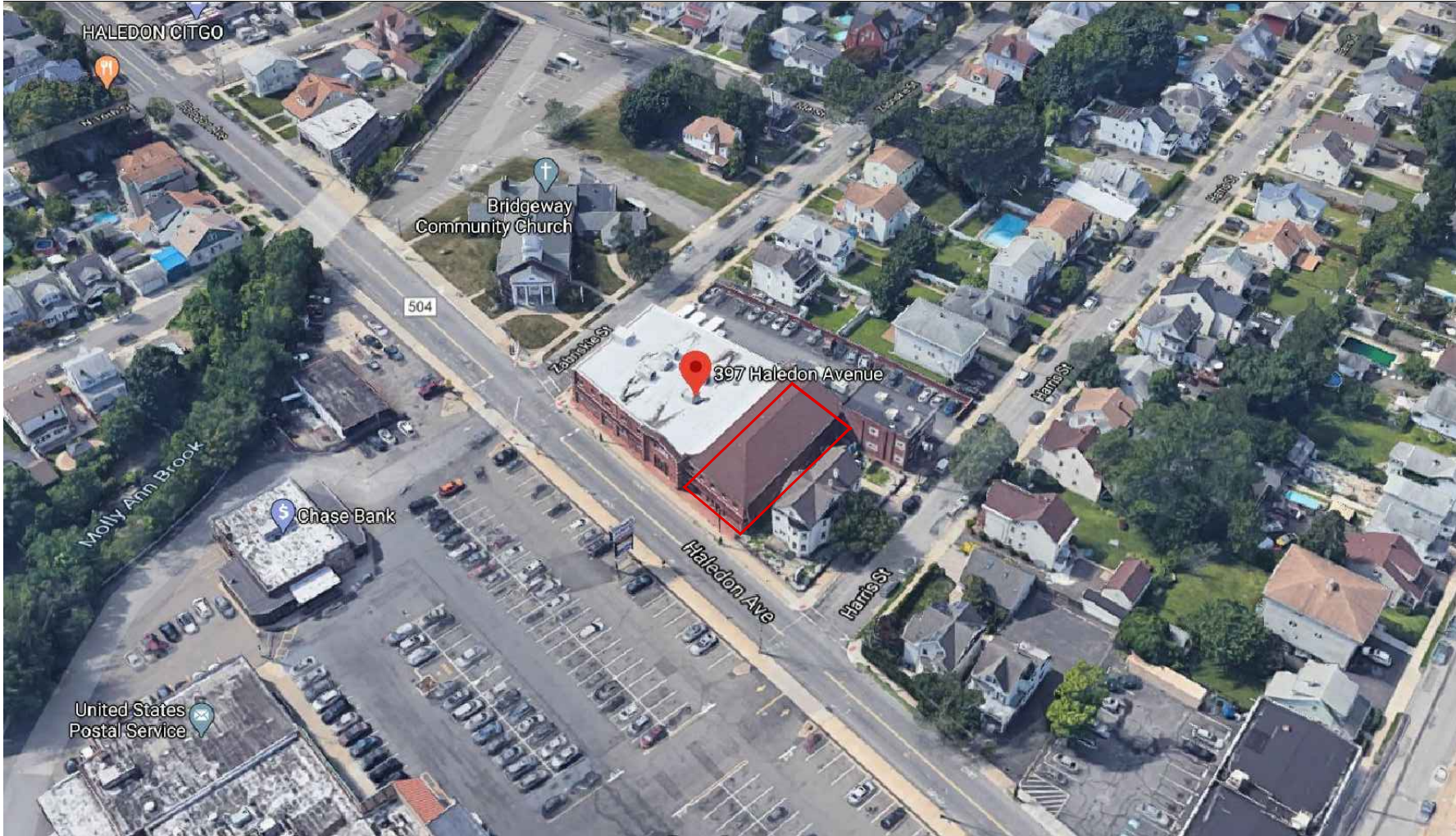
GENERAL NOTES:

- A. ALL WORK SHALL COMPLY WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE , AND THE NEW JERSEY EDITION OF THE INTERNATIONAL BUILDING CODE 2018 AS WELL AS ANY LOCAL JURISDICTIONS AND FEDERAL CODES.
- B. THE GENERAL NOTES SUPERSEDE ALL NOTES AND SPECIFICATIONS ELSEWHERE WITHIN THESE DOCUMENTS.
- C. THE GENERAL CONTRACTOR SHALL ACQUIRE PERMITS AND PROVIDE ALL LABOR, MATERIAL, TOOLS, INSURANCE, TRANSPORTATION, REMOVAL OF RUBBISH, CERTIFICATES, PROTECTION, SUPERVISION SCAFFOLDING, PERMITS, ETC. FOR THE ERECTION AND COMPLETION OF THE CONSTRUCTION AS DESCRIBED IN THESE DOCUMENTS.
- D. THE GENERAL CONTRACTOR SHALL INSPECT ALL SITE CONDITIONS IN RESPECT TO COMPLIANCE WITH THE CONTRACT DOCUMENTS AND PROPER CONDITION OF SOILS AND UTILITIES. ANY DISCREPANCIES IN DIMENSIONS, MATERIAL, OR CONDITION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR REVIEW.
- E. SAFETY, CLEANLINESS, AND SECURITY OF THE SITE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. MATERIALS AND EQUIPMENT STORED ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- F. THE CONTRACTOR MUST PROVIDE ALL LEGAL AND NECESSARY CONSTRUCTION FENCES, GUARD RAILINGS, LIGHTS, WARNING SIGNS, ETC. DURING THE PROCESS OF THE WORK. ALL MATERIAL IN CONSTRUCTION SHALL CONFORM WITH THE REQUIREMENTS OF ALL BUILDING AND SANITARY LAWS APPLICABLE IN THE MUNICIPALITY, NEW JERSEY.
- G. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL INSPECTIONS.
- H. ALL CONSTRUCTION SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AT A MINIMUM. FOLLOW MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR STORAGE, USE, AND INSTALLATION PROCEDURES. NOTIFY ARCHITECT WITH DISCREPANCIES.
- I. THE EXISTING CONSTRUCTION HAS BEEN DEPICTED ON THESE DRAWINGS ARE AS WITNESSED AND MEASURED IN PERSON. SHOULD ANY INFORMATION BE INCORRECT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT, THE INSPECTOR, AND TO UPGRADE THE EXISTING CONSTRUCTION TO COMPLY.
- J. ALL CONSTRUCTION SHALL BE COMPARABLE. WORK NOT EXPLICITLY DETAILED SHALL BE OF THE SAME STANDARD. REQUEST ARCHITECTS DETAIL FOR ANY QUESTIONABLE AREA.
- K. THE GENERAL CONTRACTOR SHALL PREPARE ALL REQUESTS FOR INFORMATION IN WRITING FOR RECORDS. THE ARCHITECT AND THE OWNER SHALL BE COPIED ON ALL ISSUES.
- L. THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES. THIS INCLUDES THE OVERLAPPING OF TRADES AND BUILDING COMPONENTS SUCH AS DOOR SWINGS OR MILLWORK WITH LIGHT SWITCHES AND RECEPTACLES. ANY PUNCH LIST WORK REQUESTED TO CORRECT THE SUCH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND AT NO ADDITIONAL COST TO THE OWNER.
- M. DIMENSIONS ARE FROM FACE OF WALL UNLESS OTHERWISE NOTED.
- N. THE GENERAL CONTRACTOR SHALL FILL BLOCKS WITH GROUT, PROVIDE BLOCKING, ETC. AT ALL REQUIRED LOCATIONS AND/OR AS DIRECTED BY THE ARCHITECT AND/OR INSPECTOR ON SITE.
- O. TIGHTLY SEAL ALL THROUGH WALL PENETRATIONS. PROVIDE FIRE STOPPING AND FIRE SEALANT AT ANY RATED PARTITIONS.
- P. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RAILINGS AND DOORS PRIOR TO PURCHASE OR FABRICATION. INCLUDING STAIRS, RAILINGS, LINTELS, ETC.
- Q. THE GENERAL CONTRACTOR SHALL COOPERATE WITH WORKERS, DELIVERIES, AND HOME OWNER'S SCHEDULE. PERMITS SHALL BE OBTAINED FOR WORK DURING EXTENDED HOURS.
- R. THE SITE SHALL BE BROOM SWEEPED DAILY. FINAL CLEANING IS BY THE CONTRACTOR.
- S. LOCATION AND SECURITY OF A DUMPSTER IS BY THE GENERAL CONTRACTOR. DUMPING SHALL NOT BE ALLOWED. DIRT REMOVAL SHALL CONFORM TO ALL REGULATORY AGENCIES INCLUDING SOIL CONSERVATION.
- T. WORKERS SHALL CONDUCT THEMSELVES IN AN ORDERLY FASHION. WORKERS SHALL HAVE PROPER ATTIRE. THERE SHALL BE NO SMOKING INSIDE THE BUILDING. THERE SHALL BE NO CONSUMPTION OF ALCOHOLIC BEVERAGES. WORK SHALL BE CONDUCTED WITH CONSIDERATION TO NEIGHBORS AND LOCAL ORDINANCES.
- U. FINISHES AND/SITE CONDITIONS NOT WITHIN SCOPE OF WORK SHALL BE PROTECTED. EXCESSIVE DAMAGE SHALL BE REPAIRED BY THE GENERAL CONTRACTOR TO MATCH THE EXISTING. AREAS USED BY THE GC SHALL BE PROTECTED AND KEPT CLEAN. THIS INCLUDES SEWER AND TOILET FACILITIES. CONTRACTOR SHALL NOT ENTER ADJOINING PROPERTIES WITHOUT WRITTEN CONSENT.
- V. BUILDING DIMENSIONS SHALL ADHERE TO APPROVALS. THE ARCHITECT IS NOT RESPONSIBLE FOR FIELD MEASURING COMPLETED WORK. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONSISTENCY WITH ORDINANCE AND APPROVED DIMENSIONS.
- W. LUMBER AND ITS FASTENINGS TO CONFORM TO THE NATIONAL DESIGN SPECS FORM STRESS GRADE LUMBER AND ITS FASTENINGS BY NATIONAL FOREST PRODUCTS ASSOCIATION.
- X. THE CONTRACTOR SHALL PREP ALL FINISHES TO RECEIVE NEW MATERIAL. LEVELING AND OR LAMINATING EXISTING SURFACES WHERE NECESSARY FOR A SMOOTH, LEVEL, AND CONSISTANT FINISH.
- Y. GC SHALL RETURN TO JOB SITE IN 6 MONTHS AND AGAIN IN 12 MONTHS FOR TOUCH UP OF PLASTER AND PAINT AREAS DUE TO MINOR CRACKING.

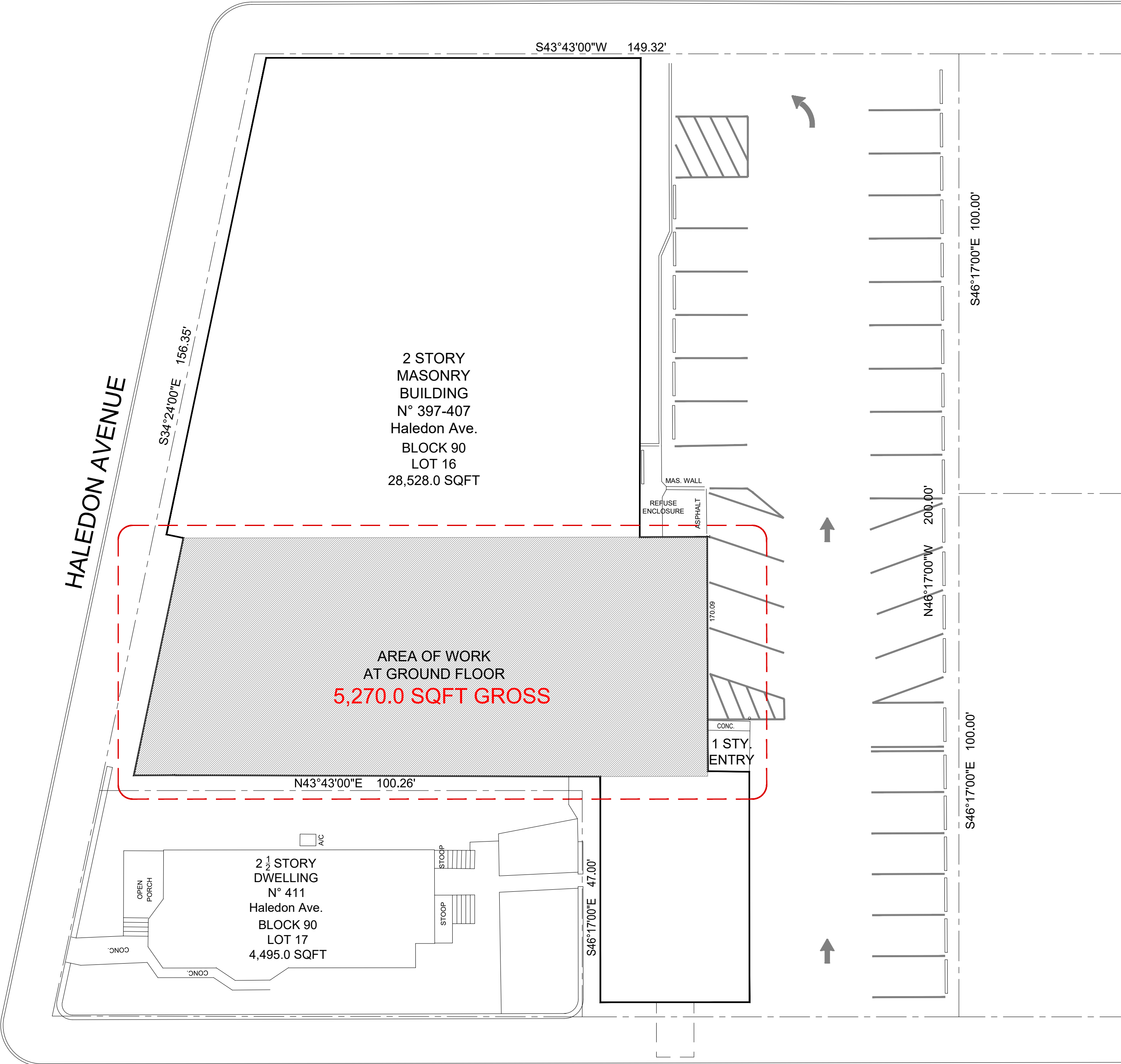
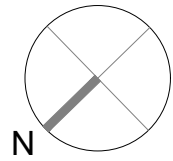
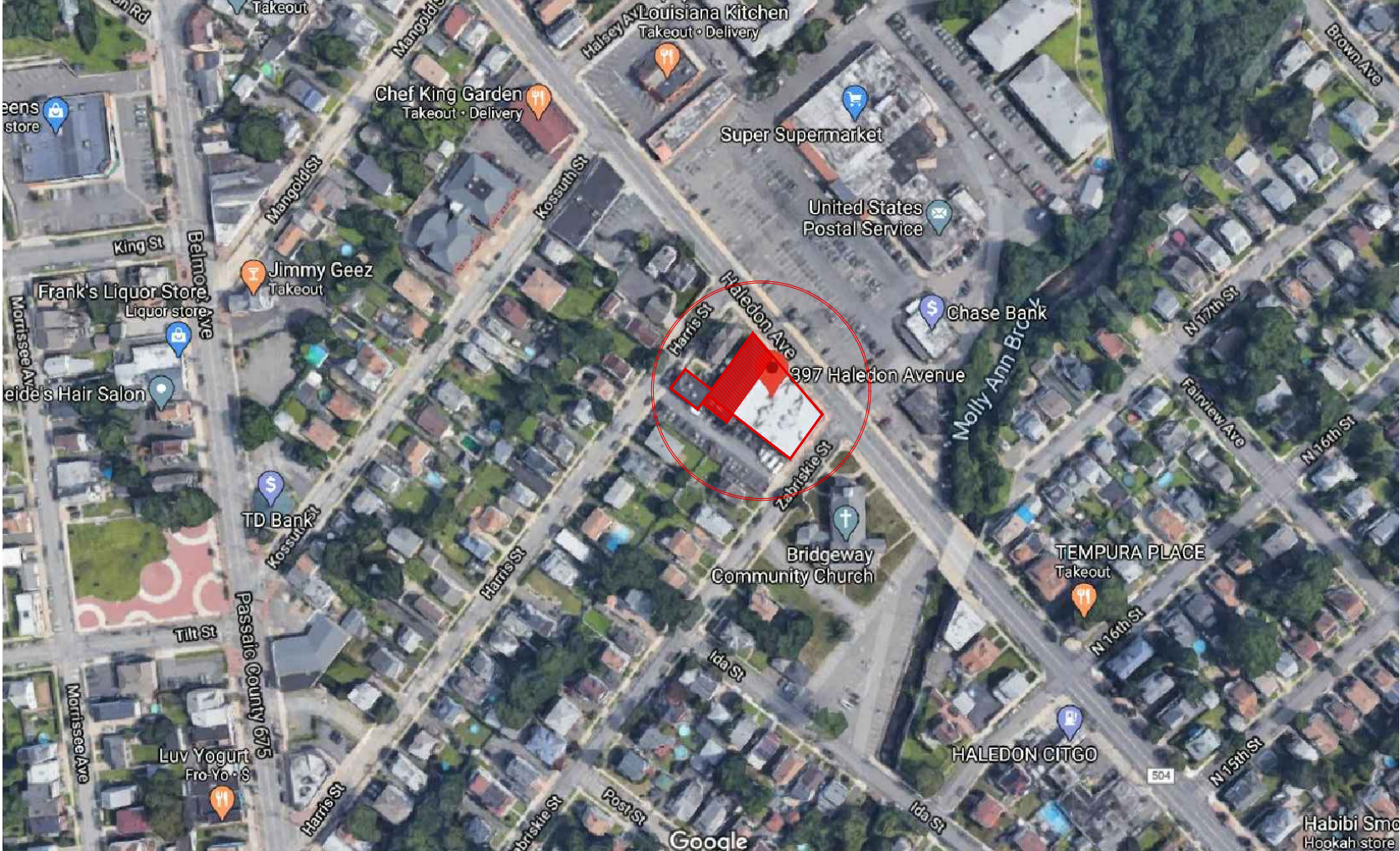
SCHEDULE OF DRAWINGS

T01	SITE PLAN, CODE DATA, PICTURES & NOTES
D01	DEMOLITION_FLOOR PLAN AND NOTES
A01	ARCHITECTURAL_FLOOR PLAN

AERIAL VIEW (Area of Work)



SATELLITE IMAGE



EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"

PROJECT DESCRIPTION

DOCTOR OFFICE RENOVATION.

CODE DATA IDENTIFICATION

WORK SITE ADDRESS:	397 HALEDON AVE
BLOCK:	90
LOT:	16
OWNER :	397401 HLDN PROPERTIES LLC RAMON SANCHEZ

PROPOSED WORK: ALTERATION

BUILDING CHARACTERISTICS

NUMBER OF STORIES:	2 STORIES
HEIGHT OF STRUCTURE:	±40'-0" TO HIGHEST POINT
AREA OF LARGEST FLOOR:	N/A
NEW BUILDING AREA:	N/A
NEW VOLUME:	N/A
MAXIMUM LIVE LOAD:	70LBS/SQ FT
MAXIMUM OCCUPANCY:	Business 150 Gross as per IBC 1004.5 5,270.0 sqft/150= 35 occupants

DESCRIPTION OF BUILDING USE

	PRESENT	PROPOSED
BUILDING USE GROUP:	E BUSINESS (DOCTOR OFFICE)	SAME
CONSTRUCTION CLASSIFICATION:	TYPE III - A	SAME

FIRE RESISTANCE RATING REQUIREMENTS
FOR BUILDING ELEMENTS AS PER TABLE 601 IBC NJ 2018

BUILDING ELEMENT	REQUIRED	PROVIDED	REMARK
STRUCTURAL FRAME	1 HOUR	1 HOUR	
BEARING EXTERIOR WALLS	2 HOUR	2 HOUR	
BEARING INTERIOR WALLS	1 HOUR	1 HOUR	
NON-BEARING EXTERIOR WALLS	1 HOUR	1 HOUR	AS PER TABLE 602
NON-BEARING INTERIOR WALLS	0 HOURS	0 HOURS	
FLOOR CONSTRUCTION	1 HOUR	1 HOUR	
ROOF CONSTRUCTION	1 HOUR	1 HOUR	

APPLICABLE CODES

- INTERNATIONAL BUILDING CODE (IBC), 2018, NJ EDITION
- NATIONAL ELECTRICAL CODE (NFPA 70), 2017
- NATIONAL STANDARD PLUMBING CODE, 2018
- INTERNATIONAL ENERGY CONSERVATION CODE, 2018, NJ EDITION
- INTERNATIONAL MECHANICAL CODE, 2018
- AMERICAN NATIONAL STANDARD, ICC/ANSI A117.1- 2009
- INTERNATIONAL FIRE CODE, 2015
- REHABILITATION SUBCODE (NJAC 5:23-3.22) 2018

SPACE FOR BUILDING DEPARTMENT

JALarchitect LLC

JOSE A. IZQUIERDO, AIA

N.J.L.C.#00143 NY L.C.#017014-1 N.J.P.L.#03385

391 Nelson Avenue

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Date Sealed: / /

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REVISIONS		
NO.	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE
SUBMISSIONS		

MEDICAL OFFICE
397 Haledon Ave
Block 1801 Lot 14
Haledon-New Jersey

OWNER

397401 HLDN PROPERTIES LLC
RAMON SANCHEZ

CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING. REPORT ALL DISCREPANCIES TO ARCHITECT. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF FIELD CONDITIONS AND DIMENSIONS.

PROJECT

MEDICAL OFFICE
CONSTRUCTION DRAWINGS

SHEET TITLE

SITE PLAN-CODE DATA-
PICTURES & NOTES

SCALE AS NOTED	T01
DATE 07-29-20	
JOB NO 2020.12	

A. GC SHALL PROVIDE IMMEDIATE BRACING SHORING OF THE STRUCTURE.

B. GC SHALL PROCEED WITH CAUTION TO REMOVE ALL DEBRIS

C. GC SHALL PROCEED WITH CAUTION TO INSPECT AND REPLACE ALL DAMAGED FRAMING IN KIND. AREAS OF QUESTION SHALL BE POINTED OUT TO THE ARCHITECT AND THE BUILDING INSPECTOR.

F. PROVIDE TEMPORARY AND REMOVABLE PANELS TO COVER OPENINGS WHERE NECESSARY DURING DEMOLITION.

G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE PORTIONS OF THE STRUCTURE NOT INVOLVED IN THE SCOPE OF WORK.

H. THE CONTRACTOR SHALL DEMOLISH AND REMOVE IN A PRECISE MANNER IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. OBSERVE AND VERIFY ALL DIMENSIONS WHERE NOTED.

J. THE CONTRACTOR SHALL MAINTAIN ADEQUATE PRECAUTION TO SECURE THE CONTRACTOR'S STRUCTURAL INTEGRITY.

K. THE CONTRACTOR SHALL BRACE ALL MASONRY AND WOOD FRAMING WITH TEMPORARY BRACING AS REQUIRED. SUCH BRACING SHALL BE CAPABLE OF RESISTING ALL LOADS APPLIED THERE ON TO.

L. ALL ITEMS OF A SALVAGEABLE VALUE OR ITEMS DEEMED FOR REUSE SHALL BE STORED IN A SAFE MANNER IN THE BASEMENT.

M. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, RESIDENTS, HALLWAYS, STAIRWELLS, ETC.

N. ALL ELEMENTS FOR REUSE SHALL BE CLEANED AND FREE OF NAILS OR ROUGH EDGES.

O. TRANSPORT MATERIALS REMOVED FROM DEMOLITION TO LEGALLY DISPOSE OF AT ANOTHER DUMP SITE. LEAVE SITE IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.

P. ALL SANITATION CONTAINERS SHALL BE LOCATED ON THE SIDE OF THE STREET AS THE JOB SITE. SECURE ALL NECESSARY PERMITS. COVER THE CONTAINER WHEN NOT IN USE. DO NOT LEAVE CONTAINERS ON SITE OVER THE WEEKENDS.

Q. ALL DEMOLITION SHALL BE EXECUTED IN CONTROLLED AREA ONE APARTMENT UNIT AT A TIME. COVER AND SEAL ALL THRESHOLDS BETWEEN PROPOSED DEMOLITION AREAS AND EXISTING STRUCTURE NOT SCHEDULED FOR DEMOLITION. MAINTAIN ALL HALLS AND STAIRS CLEAN AND FREE OF DEBRIS AND DUST.

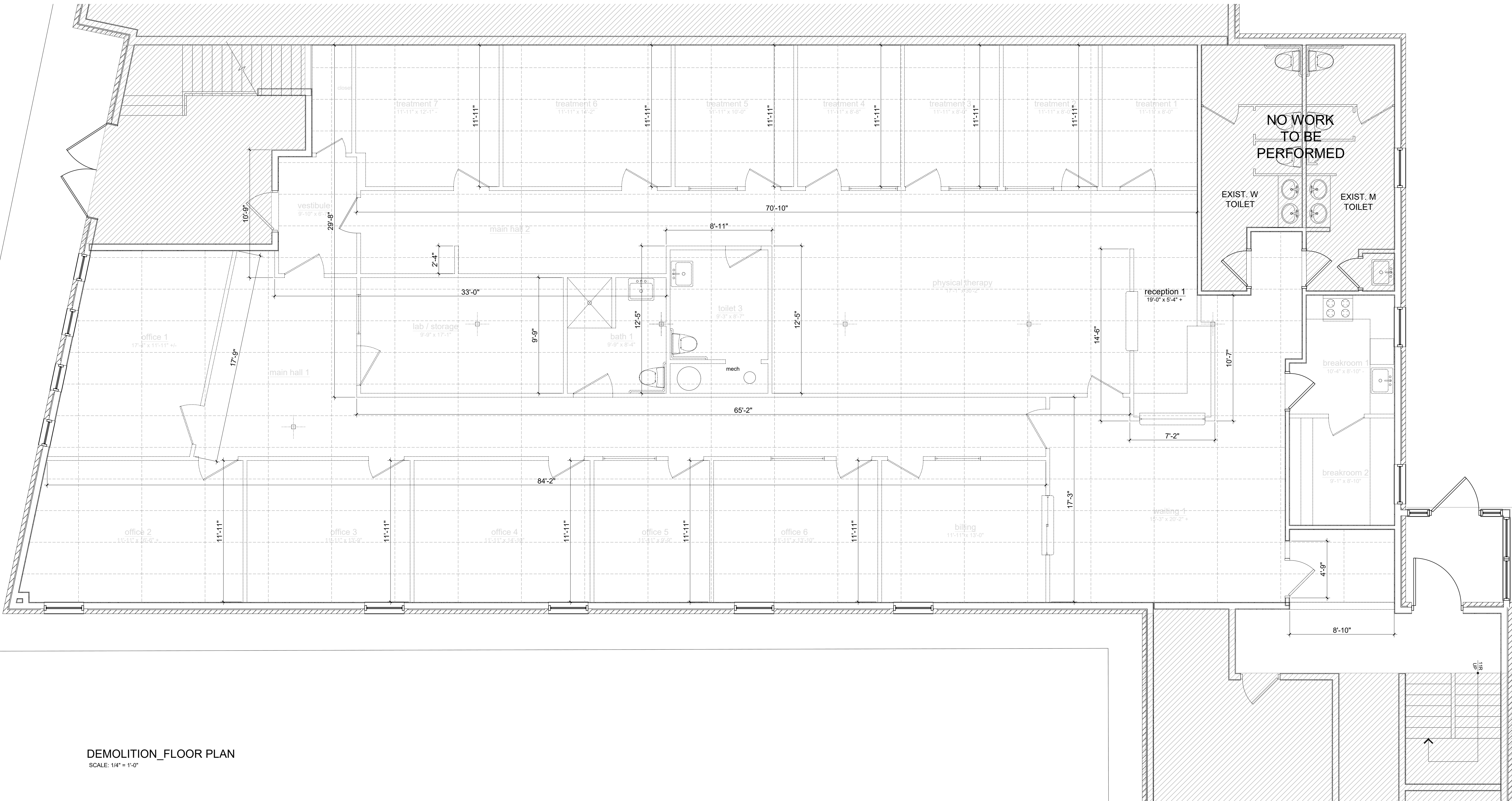
R. MAINTAIN A SAFE EGRESS AT ALL TIMES. MAINTAIN LIFE SAFE DEVICES

S. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE AND THE STREET CLEAN.

T. THE BUILDING SHALL BE SECURELY ENCLOSED AND LOCKED.

1. SELECTIVELY DEMOLISH DASHED WALLS, WINDOWS AND DOORS AS SHOWN.
2. RENOVATE EXISTING BATHROOMS.
3. PREP. WALLS TO RECEIVE NEW FINISH, AS INDICATE.
4. REMOVE SUSPENDED CEILING, COORDINATE WITH NEW CEILING PLAN, (AREA OF WORK)
5. EXPOSE FRAMING FOR ARCHITECT'S REVIEW AND MODIFICATION (AREA OF WORK).

 EXISTING PARTITION
 EXISTING PARTITION/DOOR/WINDOW TO BE DEMOLISHED OR REPLACE
 NO WORK TO BE PERFORMED



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architect / planner
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PROJECT

MEDICAL OFFICE
CONSTRUCTION DRAWINGS

SHEET TITLE

DEMOLITION_FLOOR
PLAN & NOTES

SCALE AS NOTED	D01
DATE 07-29-20	
JOB NO 2020.12	

D01

