

SYMBOLS

-  RECEPTACLE 110V
-  RECEPTACLE 110V W/
GROUND FAULT CIRCUIT INTERRUPTER
-  RECEPTACLE 110V W/
USB CHARGING PORT
-  RECEPTACLE 220V
-  QUAD RECEPTACLE 110V
-  RECEPTACLE 110V - FLOOR MOUNTED
-  JUNCTION BOX
-  SWITCH
-  3-WAY SWITCH
-  4-WAY SWITCH
-  OCCUPANCY SENSOR SWITCH
-  ELECTRIC PANEL
-  ELECTRIC METER
-  TELEPHONE
-  TELE / DATA
-  DATA
-  CABLE TELEVISION
-  THERMOSTAT
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  CARBON DIOXIDE DETECTOR
-  HEAT DETECTOR
-  EXIT SIGN - CEILING MOUNTED
-  EXIT SIGN W/ EMERGENCY LIGHT
-  EXIT SIGN - LOW MOUNTED
-  FIRE EXTINGUISHER
-  PULL STATION
-  HORN & STROBE
-  STROBE
-  BELL
-  SPEAKER
-  SPRINKLER HEAD
-  EMERGENCY LIGHT W/
BATTERY BACK-UP
-  REMOTE HEAD
-  TWO-HEAD REMOTE FIXTURE
-  RECESSED CEILING FIXTURE
-  RECESSED CEILING FIXTURE W/
EMERGENCY BALLAST
-  CEILING MOUNTED FIXTURE
-  WALL MOUNTED FIXTURE
-  WALL MOUNTED FIXTURE W/
EMERGENCY BALLAST
-  2x2 FLUORESCENT
-  2x2 FLUORESCENT W/
EMERGENCY BALLAST
-  2x4 FLUORESCENT
-  2x4 FLUORESCENT W/
EMERGENCY BALLAST
-  1x FLUORESCENT
(SEE REFLECTED CEILING
PLAN FOR LENGTH)
-  TRACK LIGHT
-  FLOOR DRAIN
-  TRENCH DRAIN
-  FLOOR SINK
-  EXHAUST FAN
-  SUPPLY DIFFUSER
-  RETURN GRILLE
-  CEILING FAN
-  (1) HR PARTITION
-  (2) HR PARTITION

EXISTING CONDITIONS NOTES:

1. CONTRACTOR TO VERIFY FOR ARCHITECT'S REVIEW THE DEPTH & SIZE OF EXISTING FOUNDATIONS, BEARING WALLS, BEAMS, HEADERS OR OTHER STRUCTURAL MEMBERS BEFORE ALTERATION AND/OR MODIFICATION.

FOUNDATION NOTES:

1. FILL CMU CORES SOLID AT REINFORCING.
2. SILL ANCHORS MUST BE IN SAME BLOCK AS VERT. REIN. BARS & NOT IN SAME CORE.
3. CONCRETE FOOTING MUST BE 3,000 PSI MIN. CONCRETE SLABS SHALL BE 2,500 PSI MIN.
4. CONCRETE MASONRY UNITS (CMU) SHALL BE NORMAL OR MEDIUM WEIGHT.
5. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL OR MAXIMUM 12" SOIL COMPACTED TO 90%.
6. ALSO REFER TO GENERAL NOTES.

GENERAL NOTES:

1. NO WOOD FRAMING SHALL BE IN DIRECT CONTACT W/ SLAB ON GRADE CONCRETE OR MASONRY & SHALL NOT BE IN DIRECT CONTACT W/ CONCRETE & MASONRY SUBJECT TO MOISTURE.
2. ALL WOOD FRAMING IN CONTACT W/ CONCRETE OR MASONRY MUST BE PRESSURE TREATED.
3. ALL METAL HANGERS, PLATES, FASTENERS ETC. IN CONTACT W/ CONCRETE, MASONRY OR PRESSURE TREATED LUMBER MUST BE MIN. HOT DIP GALVANIZED.
4. FINISH MATERIALS, STYLES, COLORS & FIXTURES SHALL BE SELECTED BY OWNER. CONTRACTOR SHALL VERIFY ALL SELECTIONS W/ OWNER PRIOR TO INSTALLATION. ALL FINISHES MUST BE IN COMPLIANCE W/ MAXIMUM FLAME SPREAD RATINGS & SMOKE DEVELOPMENT INDEX.
5. ALL MATERIALS, WINDOWS, DOORS, EQUIPMENT & FIXTURES MUST BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
6. FLANGED WINDOWS MUST BE CAULKED & SEALED W/ FLASHING TAPE PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
7. ALL WINDOWS MUST BE MIN. DOUBLE PANE, LOW-E, INSULATED & HAVE MAX U-FACTOR 0.30.
8. EXTERIOR DOORS TO CONDITIONED SPACE MUST HAVE MAX U-FACTOR 0.61.
9. ALL MANUFACTURER'S & CONTRACTOR'S GUARANTEES AND/OR WARRANTIES MUST BE SUPPLIED TO THE OWNER AT TIME OF SUBSTANTIAL COMPLETION.

STRUCTURAL NOTES:

1. ALL STRUCTURAL WOOD FRAMING MUST BE 5PF #2 OR BETTER, OR HEM-FIR #2 OR BETTER.
2. PRE-ENGINEERED ROOF TRUSS MUST BE DESIGNED BY QUALIFIED LICENSED PROFESSIONAL. DESIGN DOCUMENTS MUST BE SUBMITTED TO THE MUNICIPALITY FOR REVIEW PRIOR TO INSTALLATION. CERTIFIED TRUSS PLANS MUST BE SUBMITTED TO LH INSPECTOR AT TIME OF FRAMING.

MECHANICAL NOTES:

1. ALL MECHANICAL SYSTEMS, EQUIPMENT, FIXTURES, DEVICES, MATERIALS, ETC. MUST BE IN ACCORDANCE W/ ALL CURRENT & APPLICABLE BUILDING & MECHANICAL CODES, & SHALL BE DESIGNED BY QUALIFIED LICENSED PROFESSIONAL. DESIGN DOCUMENTS MUST BE SUBMITTED TO MUNICIPALITY FOR REVIEW AS REQUIRED, PRIOR TO INSTALLATION.

ELECTRICAL NOTES:

1. ALL ELECTRICAL SYSTEMS, EQUIPMENT, FIXTURES, DEVICES, MATERIALS, ETC. MUST BE IN ACCORDANCE W/ ALL CURRENT & APPLICABLE BUILDING & ELECTRICAL CODES, & SHALL BE DESIGNED BY QUALIFIED LICENSED PROFESSIONAL. DESIGN DOCUMENTS MUST BE SUBMITTED TO MUNICIPALITY FOR REVIEW AS REQUIRED, PRIOR TO INSTALLATION.
2. GRID MOUNTED LIGHT FIXTURES MUST BE INDEPENDENTLY SUPPORTED FROM THE PRIMARY BUILDING STRUCTURE. SUPPORT FROM THE CEILING GRID IS NOT PERMITTED.

PLUMBING NOTES:

1. ALL PLUMBING SYSTEMS, EQUIPMENT, FIXTURES, DEVICES, MATERIALS, ETC. MUST BE IN ACCORDANCE W/ ALL CURRENT & APPLICABLE BUILDING & PLUMBING CODES, & SHALL BE DESIGNED BY QUALIFIED LICENSED PROFESSIONAL. DESIGN DOCUMENTS MUST BE SUBMITTED TO MUNICIPALITY FOR REVIEW AS REQUIRED, PRIOR TO INSTALLATION.

FIRE PROTECTION:

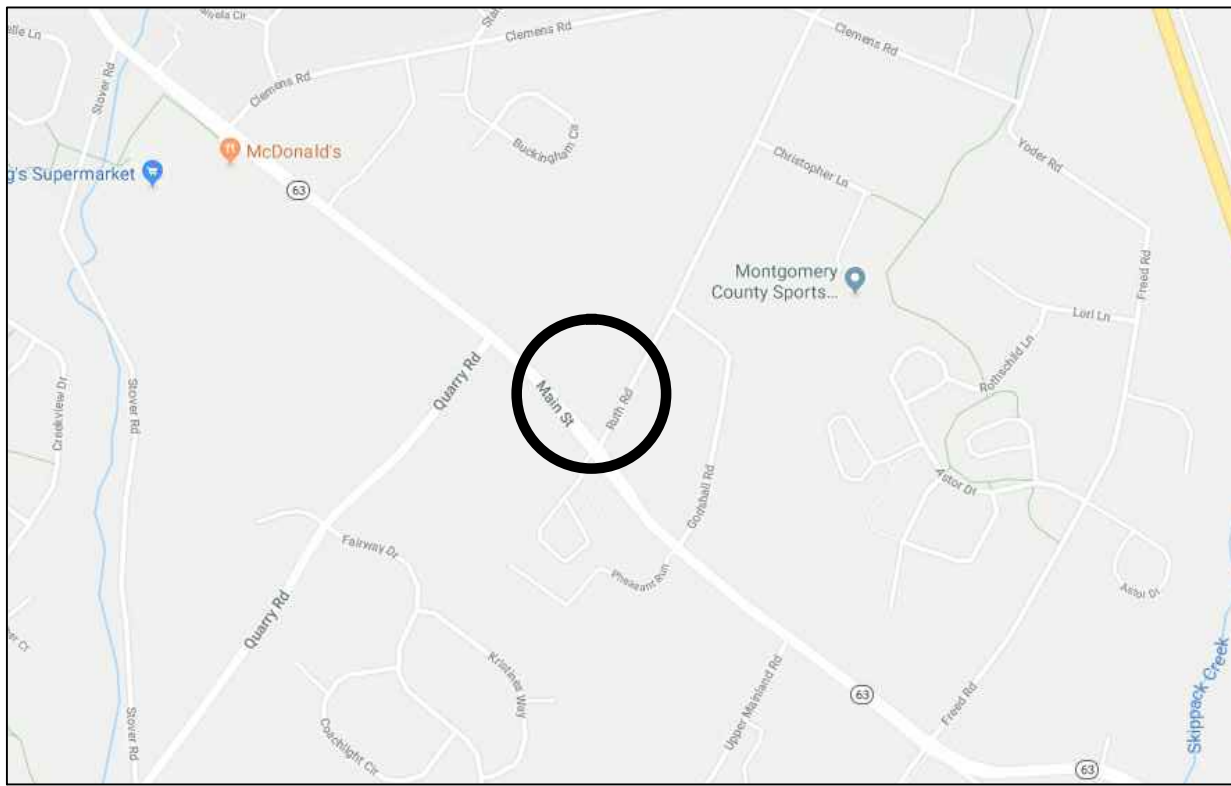
1. ALTERATIONS TO THE EXISTING FIRE PROTECTION SYSTEM SHALL BE DESIGNED & INSTALLED BY QUALIFIED LICENSED PROFESSIONAL & IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE CODE.
2. THE EXISTING FIRE PROTECTION SYSTEM MUST REMAIN IN PROPER OPERATING CONDITION DURING CONSTRUCTION TO MAXIMUM EXTEND PRACTICABLE IN ACCORDANCE WITH APPLICABLE CODE.
3. FIRE DETECTION, ACTIVATION & ALARM DEVICES & SYSTEMS SHALL BE DESIGNED & INSTALLED BY A QUALIFIED LICENSED PROFESSIONAL IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE CODE.

ACCESSIBILITY COMMUNICATION ELEMENTS & SIGNAGE:

1. ACCESSIBLE AUDIBLE & VISUAL ALARM & NOTIFICATION DEVICES SHALL BE INSTALLED IN ACCORDANCE W/ NFPA 72.
2. ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE FOLLOWING LOCATIONS:
- A. ACCESSIBLE PARKING SPACES
B. ACCESSIBLE PASSENGER LOADING ZONES
C. ACCESSIBLE ROOMS WHERE MULTIPLE SINGLE-USER TOILET OR BATHING ROOMS ARE CLUSTERED AT A SINGLE LOCATION.
D. ACCESSIBLE ENTRANCES WHERE NOT ALL ENTRANCES ARE ACCESSIBLE.
E. ACCESSIBLE CHECK-OUT AISLES.
F. UNISEX TOILET & BATHING ROOMS.
G. ACCESSIBLE DRESSING, FITTING, & LOCKER ROOMS WHERE NOT ALL SUCH ROOMS ARE ACCESSIBLE.
H. ACCESSIBLE AREAS OF REFUGE.
I. EXTERIOR AREAS FOR ASSISTED RESCUE.
3. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
- A. INACCESSIBLE BUILDING ENTRANCES.
B. INACCESSIBLE PUBLIC TOILET & BATHING FACILITIES.
C. ELEVATORS NOT SERVING AN ACCESSIBLE ROUTE.
D. AT EACH SEPARATE-SEX TOILET & BATHING ROOM INDICATING THE LOCATION OF NEAREST FAMILY OR ASSISTED-USE TOILET OR BATHING ROOM.
E. AT EXIT & EXIT STAIRWAYS SERVING & REQUIRED ACCESSIBLE SPACE, BUT NOT PROVIDING AN APPROVED ACCESSIBLE MEANS OF EGRESS.
4. SIGNAGE INDICATING SPECIAL ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
- A. ASSEMBLY AREAS REQUIRED TO HAVE ASSISTIVE LISTENING SYSTEMS.
B. EACH DOOR TO AN AREA OF REFUGE, EXTERIOR AREA FOR ASSISTED RESCUE, EGRESS STAIRWAYS, EXIST RAMPS, EXIT PASSAGEWAY & EXIT DISCHARGE.
SIGN SHALL BE TACTILE, STATING EXIT, & COMPLYING W/ THE LATEST ADOPTED VERSION OF ANSI A117.1.
C. TWO-WAY COMMUNICATION SYSTEMS.
D. FLOOR LANDINGS IN EXIT ENCLOSURES IN BUILDINGS MORE THAN 3 STORIES IDENTIFYING FLOOR LEVEL.
5. VISUAL & TACTILE CHARACTERS, BRAILLE, PICTOGRAMS, & ACCESSIBLE SYMBOLS SHALL COMPLY W/ THE LATEST ADOPTED VERSION OF ANSI A117.1.

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND & OVERHEAD UTILITIES TO SAFEGUARD AGAINST INTERRUPTION OF SERVICES TO THE BUILDING AND/OR OTHER TENANTS.
2. THE EXISTING EMERGENCY LIGHTING, FIRE DETECTION / ALARM & AUTOMATIC SPRINKLER SYSTEM SHALL BE MAINTAINED IN PROPER WORKING ORDER DURING ALL DEMOLITION & CONSTRUCTION IN ACCORDANCE W/ ALL APPLICABLE CODES.
3. REMOVE ONLY NON-LOAD BEARING PARTITIONS & CONSTRUCTION. CONTRACTOR SHALL VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL ELEMENTS, WALLS, BEAMS, HEADERS, ETC. ARE DESIGNATED FOR DEMOLITION.
4. CONTRACTOR SHALL CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATION FROM THE PLANS.
5. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TO THE PLANS.
6. REMOVE ALL ABANDONED WIRING, PIPING, DUCTS & OTHER MECHANICAL, ELECTRICAL & PLUMBING ELEMENTS BACK TO SOURCE TO EXTENT POSSIBLE & CAPPED / TERMINATE IN ACCORDANCE TO THE CODE.
7. OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS.
8. DEMOLITION CONTRACTOR SHALL NOT USE ANY METHODS THAT WILL DAMAGE CONSTRUCTION TO REMAIN IN PLACE.
9. SAW-CUT ALL CONCRETE SLAB FLOORS TO BE REMOVED. CONTRACTOR SHALL COORDINATE W/ PLUMBING PLANS FOR ALL NEW UNDERGROUND PLUMBING PIPING.
10. ALL DEMOLISHED MATERIALS SHALL BE PROPERLY REMOVED FROM SITE.
11. HAZARDOUS MATERIALS INCLUDING LEAD PAINT & ASBESTOS SHALL BE REMOVED BY LICENSED / CERTIFIED CONTRACTOR(S).
12. ALSO REFER TO REFLECTED CEILING DEMOLITION PLANS.



LOCATION MAP

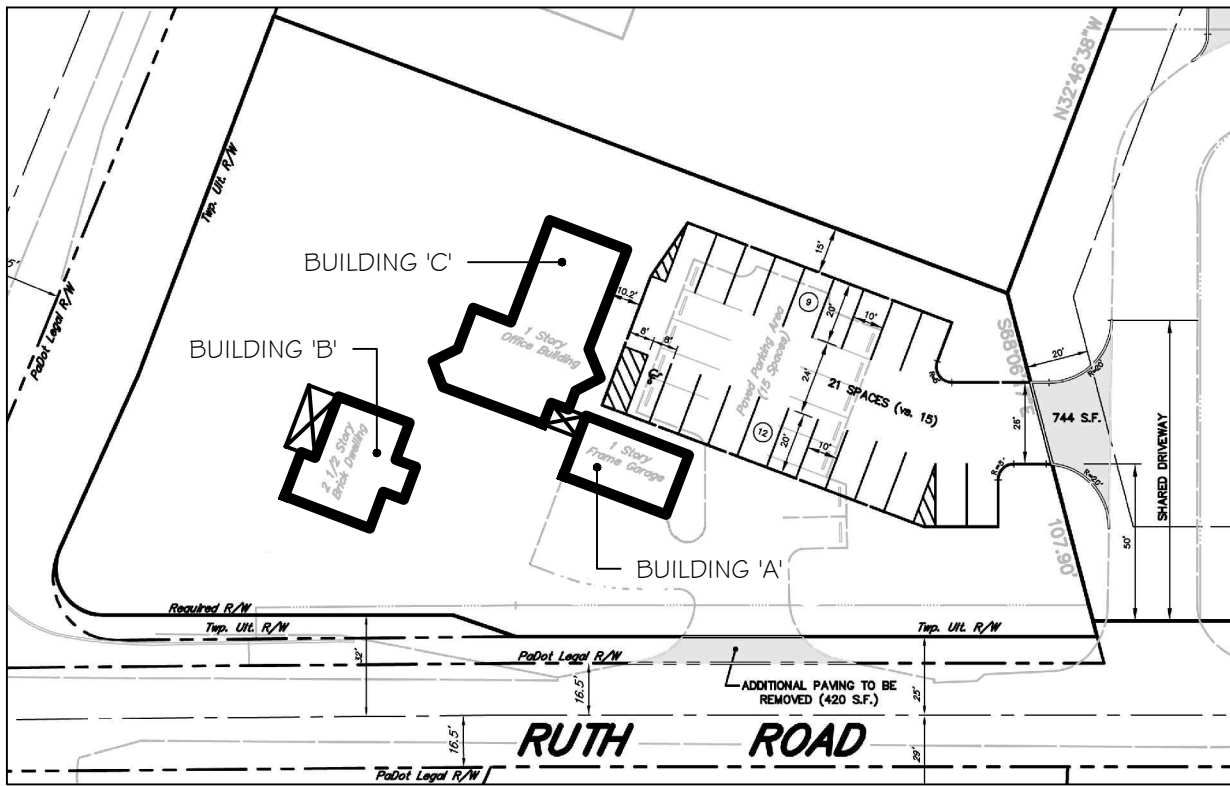
NOT TO SCALE

BUILDING DATA / CODE ANALYSIS: BUILDING A (EXISTING GARAGE TO CONFERENCE ROOM)	
CONSTRUCTION TYPE:	EXISTING BUILDING = 5B EXTERIOR WALLS = WOOD FRAMED INTERIOR PARTITIONS = WOOD OR METAL STUDS & GWB
BUILDING DIMENSIONS:	BUILDING AREA: 585 SF PERIMETER: 110 FT
BUILDING ELEMENT FIRE RATING:	5B PRIMARY STRUCTURAL FRAME 0 HR BEARING WALLS 0 HR EXTERIOR 0 HR INTERIOR 0 HR NONBEARING WALLS 0 HR FLOOR & SECONDARY MEMBERS 0 HR ROOF & SECONDARY MEMBERS 0 HR
OCCUPANCY CLASSIFICATION:	PROPOSED OCCUPANCY: B - BUSINESS
AREA LIMITATIONS:	PERMITTED AREA: 5B CONSTRUCTION: 9,000 SF (ACTUAL = 585 SF)
HEIGHT LIMITATIONS:	PERMITTED HEIGHT: 5B CONSTRUCTION: 2 STORIES / 40' (ACTUAL = 1 STORY / 15')
BUILDING AREA & HEIGHT MODIFICATIONS:	NOT REQUIRED FOR CONSTRUCTION TYPE OR OCCUPANCY CLASSIFICATION
FIRE PROTECTION:	SMOKE DETECTION & ALARM SYSTEM: NOT REQUIRED MANUAL FIRE ALARM SYSTEM: NOT REQUIRED AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED
MEANS OF EGRESS:	OCCUPANCY LOAD: 30 NUMBER OF REQUIRED EXITS: 1 EGRESS WIDTH: 30 x 0.2 = 6.0 INCHES STAIRS: N/A EXIT DOORS = 34 INCHES x 2 = 68 INCHES EXIT ACCESS TRAVEL DISTANCE: NON-SPRINKLERED = 200' MAX (ACTUAL = 22 FT) AREAS OF REFUGE: N/A
PLUMBING FIXTURE REQUIREMENTS:	PLUMBING FACILITIES ARE PROVIDED IN EXISTING OWNER OCCUPIED OFFICE BUILDING WITH THE MAXIMUM PERMITTED TRAVEL DISTANCE OF 500 FT. PROPOSED TOILET ROOM IS IN EXCESS OR MINIMUM REQUIRED & SHALL BE AVAILABLE FOR USE BY EITHER SEX.
ACCESSIBILITY:	MUST COMPLY W/ INTERNATIONAL BUILDING CODE 2012 CH. 11 & ANSI A117.1 2009.

DEFERRED REVIEW:

THIS PROJECT CONTAINS PRE-ENGINEERED ROOF TRUSSES. DESIGN DRAWINGS FROM A QUALIFIED PROFESSIONAL ENGINEER MUST BE SUBMITTED TO THE PENNSYLVANIA DEPARTMENT OF LABOR & INDUSTRY FOR REVIEW PRIOR TO INSTALLATION.

NOTE: ALL METAL PLATE CONNECTED WOOD TRUSSES SHALL BE HANDLED, INSTALLED, TEMPORARILY RESTRAINED & PERMANENTLY BRACED IN ACCORDANCE WITH THE LATEST TRUSS PLATE INSTITUTE & SBCA (STRUCTURAL BUILDING COMPONENTS ASSOCIATION) GUIDELINES.



BUILDING KEY PLAN

NOT TO SCALE

BUILDING DATA / CODE ANALYSIS: BUILDING B (EXISTING DWELLING TO OFFICE USE)	
CONSTRUCTION TYPE:	EXISTING BUILDING = 3B EXTERIOR WALLS = BRICK INTERIOR PARTITIONS = WOOD FRAMED
BUILDING DIMENSIONS:	BUILDING AREA: FIRST FLOOR = 885 SF, SECOND FLOOR = 835 SF PERIMETER: 146 FT
BUILDING ELEMENT FIRE RATING:	3B PRIMARY STRUCTURAL FRAME 0 HR BEARING WALLS 0 HR EXTERIOR 2 HR INTERIOR 0 HR NONBEARING WALLS 0 HR FLOOR & SECONDARY MEMBERS 0 HR ROOF & SECONDARY MEMBERS 0 HR
OCCUPANCY CLASSIFICATION:	PROPOSED OCCUPANCY: B - BUSINESS
AREA LIMITATIONS:	PERMITTED AREA: 3B CONSTRUCTION: 19,000 SF (ACTUAL = 885 SF)
HEIGHT LIMITATIONS:	PERMITTED HEIGHT: 3B CONSTRUCTION: 3 STORIES / 55' (ACTUAL = 2 STORY / 27')
BUILDING AREA & HEIGHT MODIFICATIONS:	NOT REQUIRED FOR CONSTRUCTION TYPE OR OCCUPANCY CLASSIFICATION
FIRE PROTECTION:	SMOKE DETECTION & ALARM SYSTEM: NOT REQUIRED MANUAL FIRE ALARM SYSTEM: NOT REQUIRED AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED
MEANS OF EGRESS:	OCCUPANCY LOAD: 17 NUMBER OF REQUIRED EXITS: 1 FROM EACH FLOOR (2 PROVIDED) EGRESS WIDTH: 17 x 0.2 = 3.4 INCHES STAIRS = 36" MIN. EXIT DOORS = 34 INCHES x 2 = 68 INCHES EXIT ACCESS TRAVEL DISTANCE: NON-SPRINKLERED = 200' MAX (ACTUAL = 55 FT) AREAS OF REFUGE: N/A
PLUMBING FIXTURE REQUIREMENTS:	ACTUAL OCCUPANT LOAD < 15 TOILETS: 1 REQUIRED LAVATORIES: 1 REQUIRED
ACCESSIBILITY:	MUST COMPLY W/ INTERNATIONAL BUILDING CODE 2012 CH. 11 & ANSI A117.1 2009.

CONSTRUCTION CODES:

INTERNATIONAL BUILDING CODE 2009
INTERNATIONAL BUILDING CODE 2012 CHAPTER 11 & APPENDIX E
INTERNATIONAL ENERGY CONSERVATION CODE 2009
NFPA 70 - NATIONAL ELECTRIC CODE 2008
NFPA 72 - NATION FIRE ALARM & SIGNALING CODE 2009
INTERNATIONAL FIRE CODE 2009
INTERNATIONAL FUEL GAS CODE 2009
INTERNATIONAL MECHANICAL CODE 2009
INTERNATIONAL PLUMBING CODE 2009
ICC / ANSI A117.1 2009

DRAWING LIST (ARCHITECTURAL):	
BUILDING A:	CS-100A COVER SHEET - BUILDING DATA, SYMBOLS & NOTES, KEY PLAN A-100A EXISTING & DEMOLITION FLOOR PLANS A-101A NEW FLOOR PLANS A-200A EXISTING ELEVATIONS A-201A NEW ELEVATIONS A-300A BUILDING SECTIONS
BUILDING B:	CS-100B COVER SHEET - BUILDING DATA, SYMBOLS & NOTES, KEY PLAN A-100B EXISTING FLOOR PLANS A-101B DEMOLITION FLOOR PLANS A-102B NEW FLOOR PLANS A-103B NEW FLOOR PLANS A-200B EXISTING ELEVATIONS A-201B NEW ELEVATIONS
BUILDING C:	CS-100C COVER SHEET - BUILDING DATA, SYMBOLS & NOTES, KEY PLAN A-100C EXISTING & DEMOLITION FLOOR PLANS A-101C NEW FLOOR PLANS A-200C EXISTING ELEVATIONS A-201C NEW ELEVATIONS

BUILDING DATA / CODE ANALYSIS: BUILDING C (EXISTING OFFICE)	
CONSTRUCTION TYPE:	EXISTING BUILDING = 5B EXTERIOR WALLS = WOOD FRAMED INTERIOR PARTITIONS = WOOD FRAMED
BUILDING DIMENSIONS:	BUILDING AREA: 1,815 SF PERIMETER: 218 FT
BUILDING ELEMENT FIRE RATING:	5B PRIMARY STRUCTURAL FRAME 0 HR BEARING WALLS 0 HR EXTERIOR 0 HR INTERIOR 0 HR NONBEARING WALLS 0 HR FLOOR & SECONDARY MEMBERS 0 HR ROOF & SECONDARY MEMBERS 0 HR
OCCUPANCY CLASSIFICATION:	PROPOSED OCCUPANCY: B - BUSINESS
AREA LIMITATIONS:	PERMITTED AREA: 3B CONSTRUCTION: 9,000 SF (ACTUAL = 1,815 SF)
HEIGHT LIMITATIONS:	PERMITTED HEIGHT: 3B CONSTRUCTION: 2 STORIES / 40' (ACTUAL = 1 STORY / 15')
BUILDING AREA & HEIGHT MODIFICATIONS:	NOT REQUIRED FOR CONSTRUCTION TYPE OR OCCUPANCY CLASSIFICATION
FIRE PROTECTION:	SMOKE DETECTION & ALARM SYSTEM: NOT REQUIRED MANUAL FIRE ALARM SYSTEM: NOT REQUIRED AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED
MEANS OF EGRESS:	OCCUPANCY LOAD: 18 NUMBER OF REQUIRED EXITS: 1 (2 PROVIDED) EGRESS WIDTH: 17 x 0.2 = 3.4 INCHES STAIRS: N/A EXIT DOORS = 34 INCHES x 2 = 68 INCHES EXIT ACCESS TRAVEL DISTANCE: NON-SPRINKLERED = 200' MAX (ACTUAL = 72 FT) AREAS OF REFUGE: N/A
PLUMBING FIXTURE REQUIREMENTS:	N/A
ACCESSIBILITY:	MUST COMPLY W/ INTERNATIONAL BUILDING CODE 2012 CH. 11 & ANSI A117.1 2009.

CONFERENCE ROOM & OFFICE
RENOVATION / CONVERSION
project no. 20817

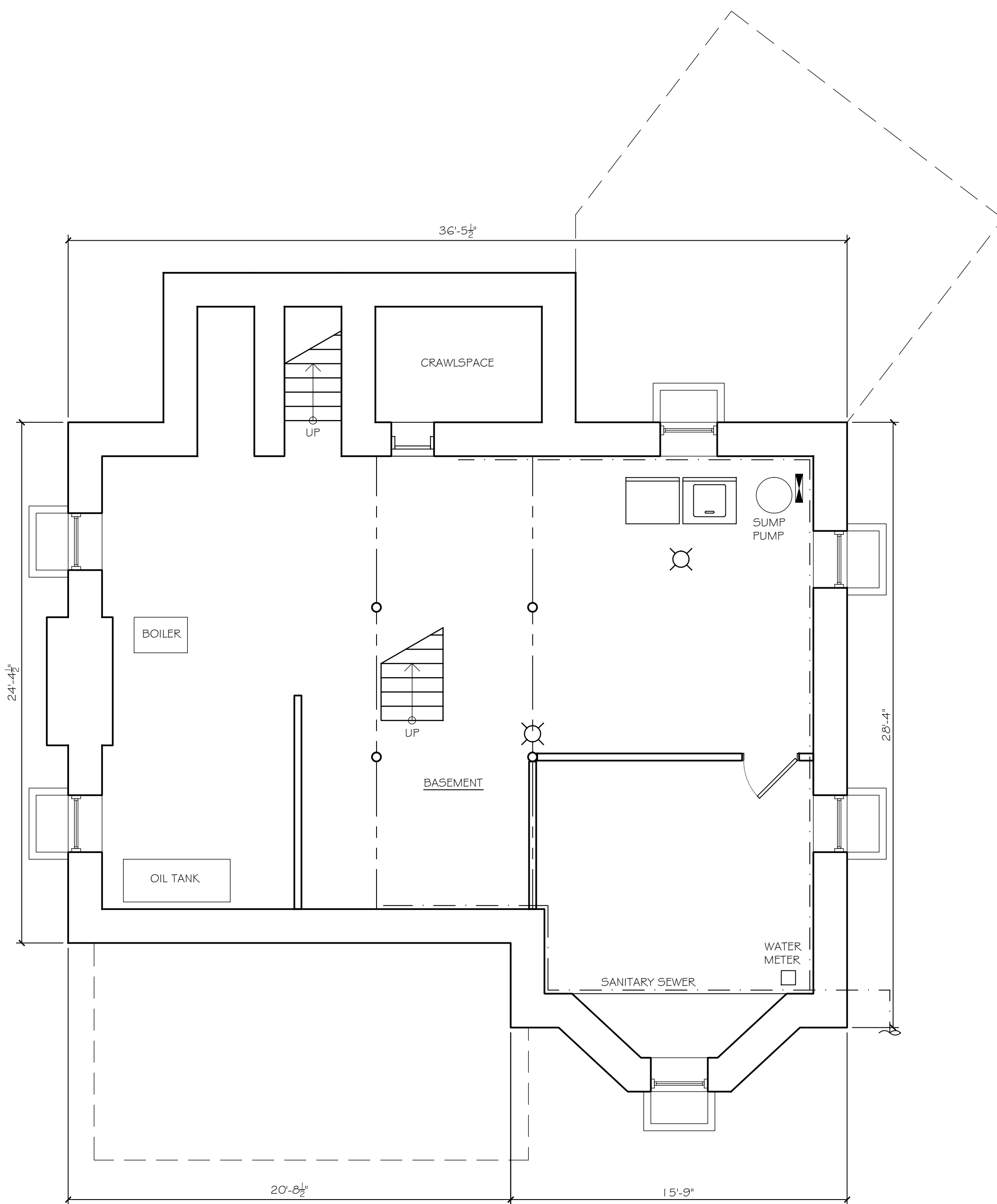
Michael J. Panachyda
Architect

drawing: COVER SHEET
date: 08/03/2018

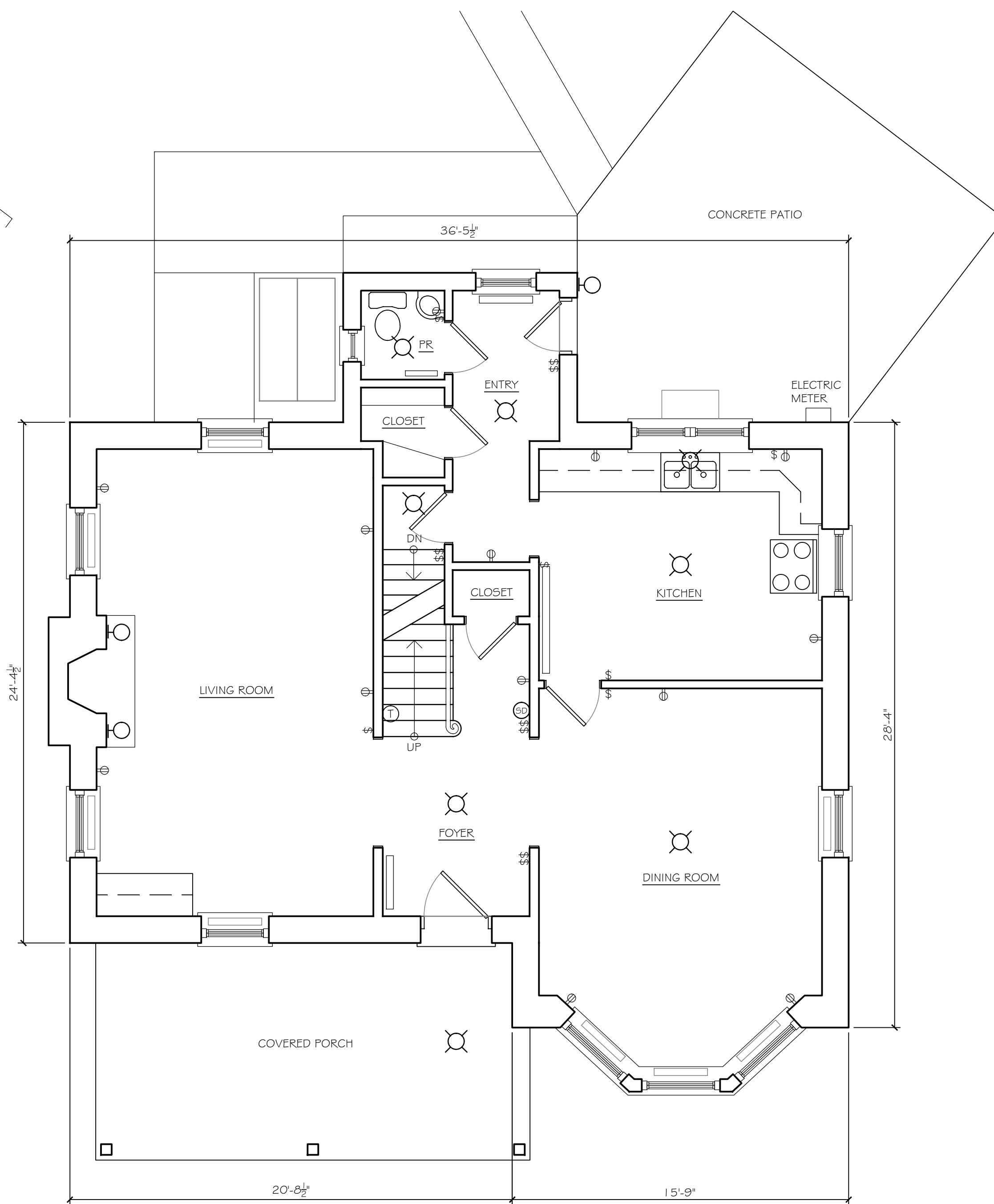
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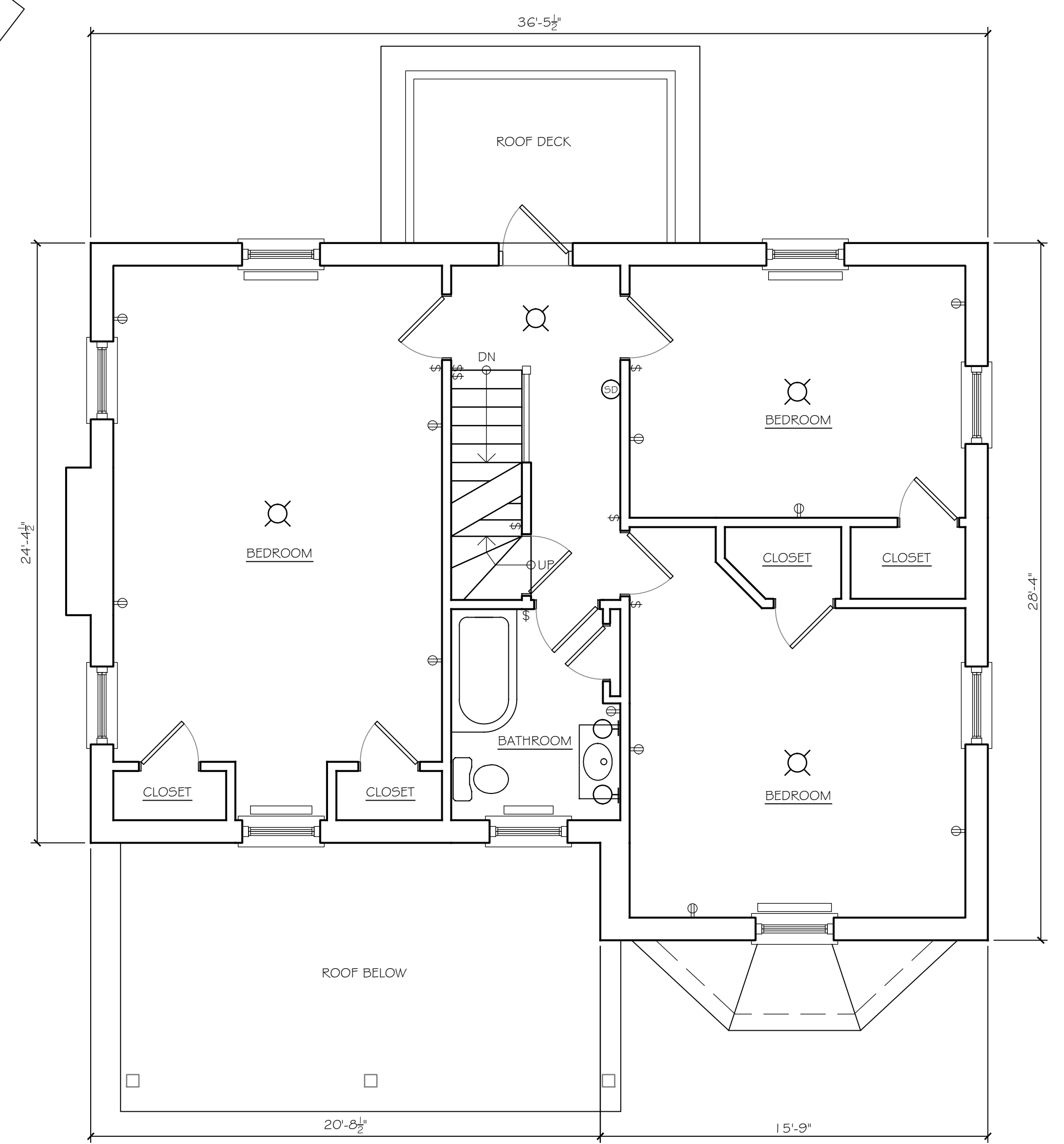
CS-100B



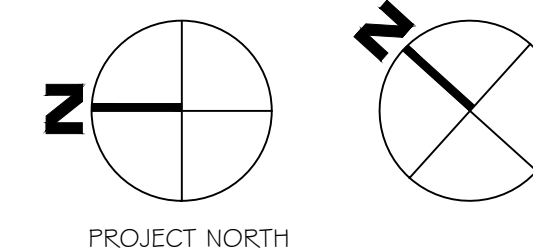
EXISTING BASEMENT LEVEL FLOOR PLAN
1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

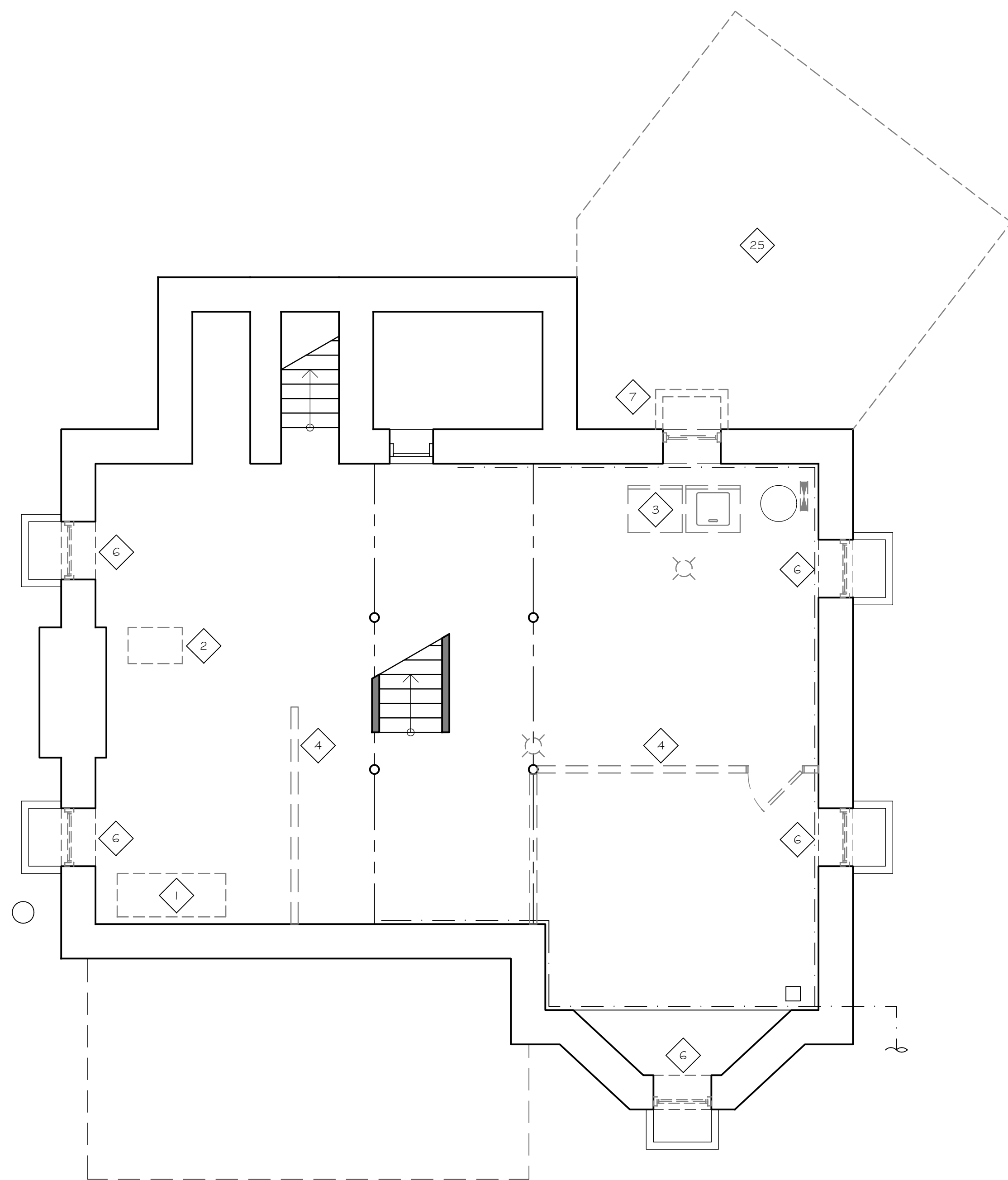


EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

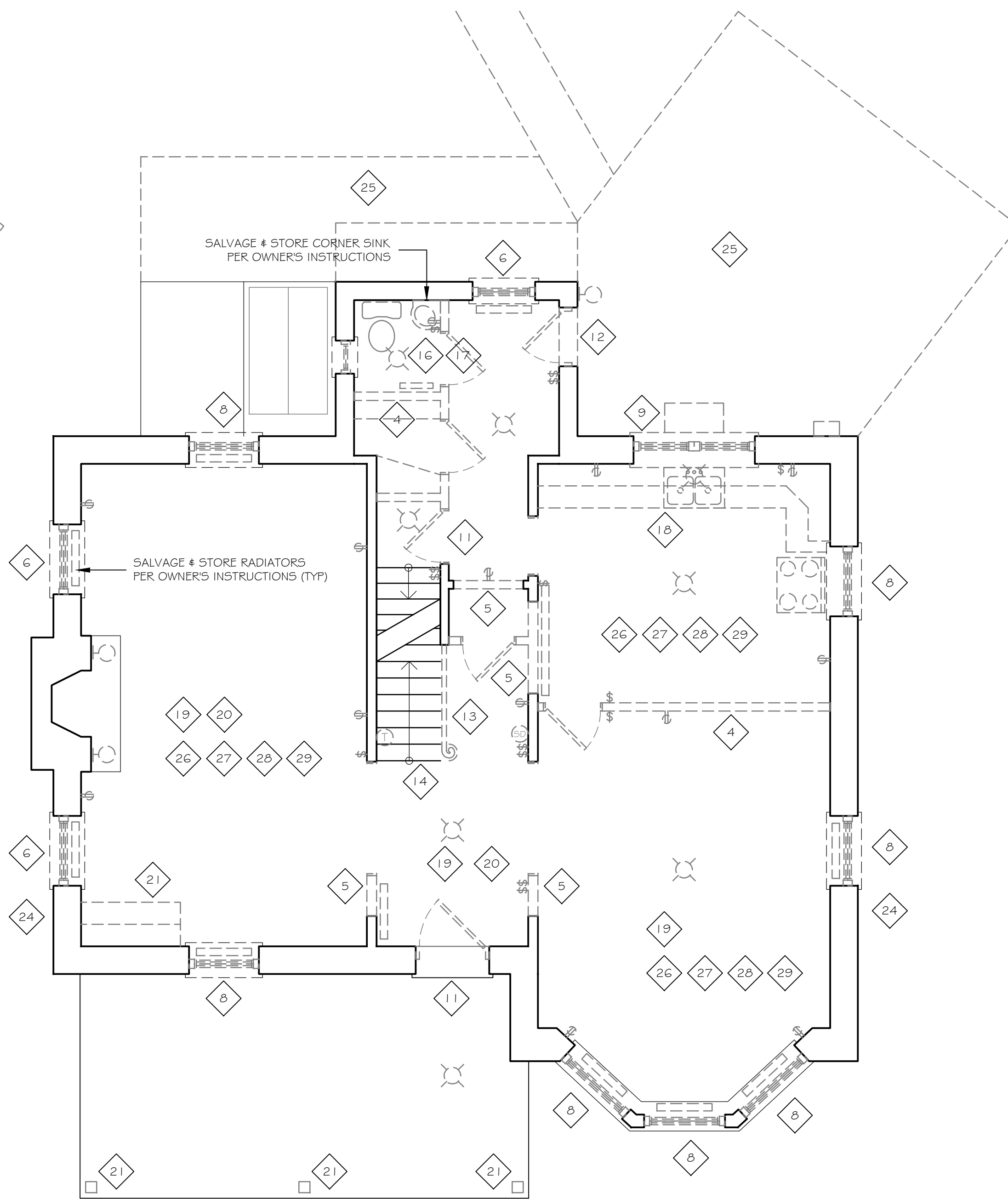


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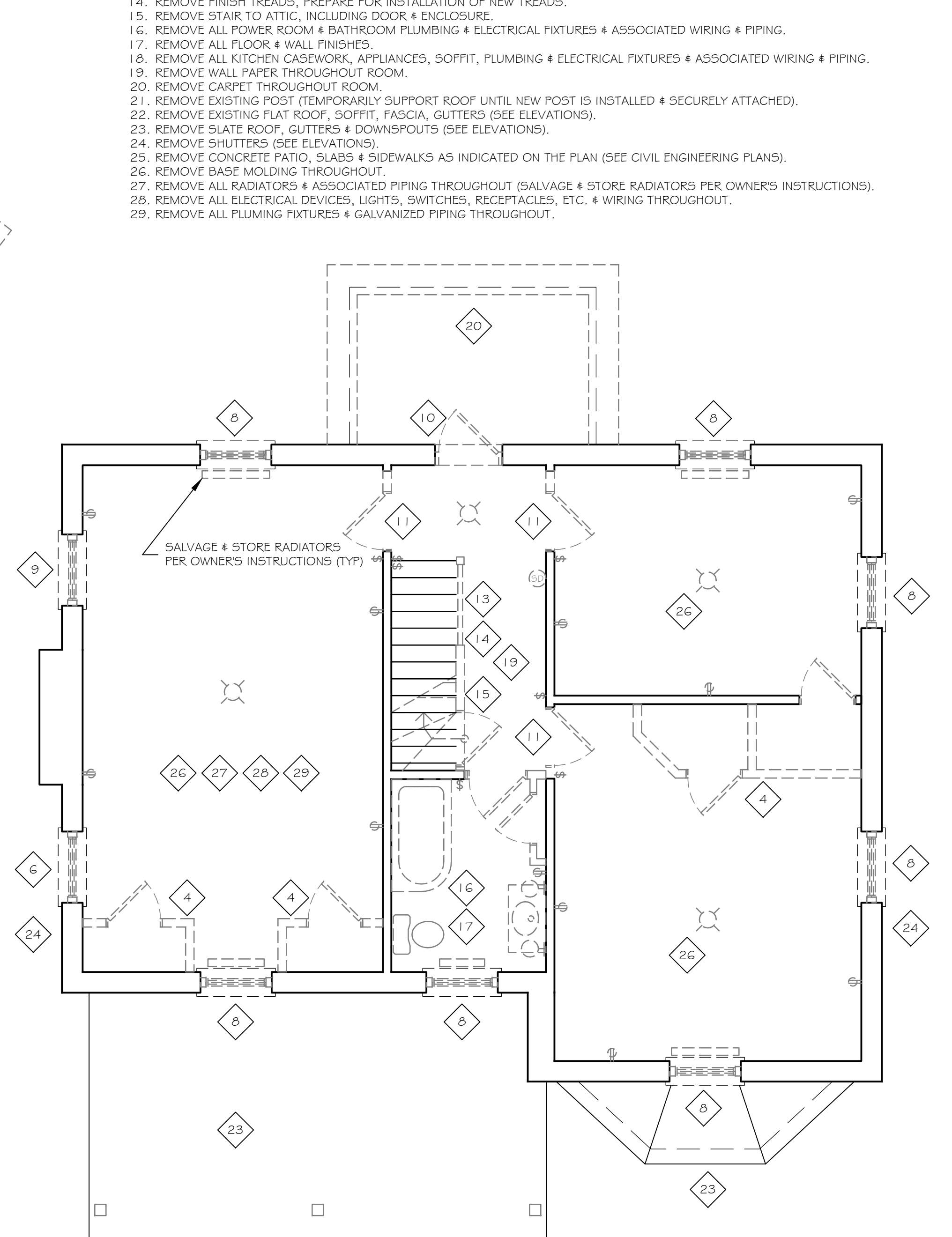
	CONFERENCE ROOM & OFFICE RENOVATION / CONVERSION project no. 20817	KEMP HARVEST FINANCIAL GROUP 331 RUTH ROAD HARLEYSVILLE, PA 19438
	Michael J. Panachyda Architect	527 W. Mt. Vernon St. Lansdale, PA 19446 p: 267-467-2551 www.mjp-architect.com
drawing: EXISTING FLOOR PLANS date: 08/03/2018	sheet: A-100.B	



BASEMENT LEVEL DEMOLITION PLAN
1/4" = 1'-0"

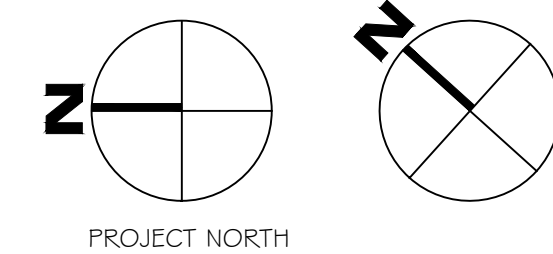


FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

- DEMOLITION NOTES (ALSO SEE GENERAL DEMOLITION NOTES ON SHEET C5-1.00):
1. REMOVE OIL TANK & ALL ASSOCIATED PIPING.
 2. REMOVE BOILER & ALL ASSOCIATED PIPING.
 3. REMOVE LAUNDRY EQUIPMENT & ALL ASSOCIATED ELECTRICAL & PLUMBING.
 4. REMOVE ENTIRE PARTITION AS INDICATED ON THE PLAN.
 5. REMOVE PORTION OF PARTITION FOR NEW DOOR OPENING (SEE NEW PLANS).
 6. REMOVE WINDOW & FRAME JAMB & HEAD & PREPARE OPENING FOR NEW WINDOW INSTALLATION IN MASONRY OPENING.
 7. REMOVE WINDOW & WINDOW WELL (OPENING TO BE CLOSED, SEE NEW PLANS).
 8. REMOVE WINDOW SASHES FOR INSTALLATION OF NEW WINDOW INSERT.
 9. REMOVE WINDOW & CASING, ENLARGE OPENING & PREPARE MASONRY FOR INSTALLATION OF NEW DOOR, INSTALL NEW STL UNTEL AS REQUIRED TO ACCOMMODATE NEW DOOR & FRAME AS REQUIRED (SEE NEW PLANS).
 10. REMOVE DOOR & CASING, PREPARE MASONRY OPENING FOR INSTALLATION OF NEW WINDOW (SEE NEW PLANS).
 11. REMOVE DOOR & CASING, ENLARGE & PREPARE OPENING AS INDICATED ON THE PLANS FOR NEW DOOR (SEE NEW PLANS).
 12. REMOVE DOOR & CASING, OPENING TO BE CLOSED.
 13. REMOVE HANDRAIL & GUARD RAIL.
 14. REMOVE FINISH TREADS, PREPARE FOR INSTALLATION OF NEW TREADS.
 15. REMOVE STAIR TO ATTIC, INCLUDING DOOR & ENCLOSURE.
 16. REMOVE ALL POWER ROOM & BATHROOM PLUMBING & ELECTRICAL FIXTURES & ASSOCIATED WIRING & PIPING.
 17. REMOVE ALL FLOOR & WALL FINISHES.
 18. REMOVE ALL KITCHEN CASEWORK, APPLIANCES, SOFFIT, PLUMBING & ELECTRICAL FIXTURES & ASSOCIATED WIRING & PIPING.
 19. REMOVE WALL PAPER THROUGHOUT ROOM.
 20. REMOVE CARPET THROUGHOUT ROOM.
 21. REMOVE EXISTING POST (TEMPORARILY SUPPORT ROOF UNTIL NEW POST IS INSTALLED & SECURELY ATTACHED).
 22. REMOVE EXISTING FLAT ROOF, SOFFIT, FASCIA, GUTTERS (SEE ELEVATIONS).
 23. REMOVE SLATE ROOF, GUTTERS & DOWNSPOUTS (SEE ELEVATIONS).
 24. REMOVE SHUTTERS (SEE ELEVATIONS).
 25. REMOVE CONCRETE PATIO, SLABS & SIDEWALKS AS INDICATED ON THE PLAN (SEE CIVIL ENGINEERING PLANS).
 26. REMOVE BASE MOLDING THROUGHOUT.
 27. REMOVE ALL RADIATORS & ASSOCIATED PIPING THROUGHOUT (SALVAGE & STORE RADIATORS PER OWNER'S INSTRUCTIONS).
 28. REMOVE ALL ELECTRICAL DEVICES, LIGHTS, SWITCHES, RECEPTACLES, ETC. & WIRING THROUGHOUT.
 29. REMOVE ALL PLUMBING FIXTURES & GALVANIZED PIPING THROUGHOUT.



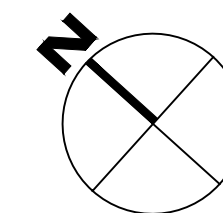
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project no. 20817			
Michael J. Panachyda Architect		527 W. Mt. Vernon St. Lansdale, PA 19446 p: 267-467-2551 www.mjp-architect.com	
drawing: DEMOLITION PLANS		date: 08/03/2018	sheet: A-101.B

REVIEW ONLY - NOT FOR CONSTRUCTION: 08/03/2018



- 
- PROJECT NORTH



drawing:	NEW FLOOR PLANS	sheet: A-103.B
date:	08/03/2018	

REVIEW ONLY - NOT FOR CONSTRUCTION: 08/03/2018

- EXISTING EXTERIOR MATERIAL SCHEDULE
1. BRICK - RUNNING BOND
 2. WOOD CLAPBOARD SIDING - PAINTED
 3. WOOD TRIM BOARD & CROWN MOLD - PAINTED
 4. WOOD FASCIA, CROWN MOLD & SOFFIT - PAINTED
 5. WOOD WINDOW, CASING & SILL - PAINTED
 6. WOOD POST - PAINTED
 7. WOOD BEAD BOARD CEILING - PAINTED
 8. ENTRY DOOR W/ SCREEN DOOR
 9. SHUTTER (1ST FLOOR = WOOD, 2ND FLOOR = VINYL)
 10. WOOD RAILING
 11. SLATE SHINGLES
 12. BUILT-UP MEMBRANE ROOF
 13. ATTIC VENTILATION FAN
 14. GALVANIZED GUTTER & DOWNSPOUT - PAINTED



EXISTING WEST (SUMNEYTOWN PIKE) ELEVATION
1/4" = 1'-0"



EXISTING NORTH ELEVATION
1/4" = 1'-0"



EXISTING SOUTH (RUTH ROAD) ELEVATION
1/4" = 1'-0"



EXISTING EAST ELEVATION
1/4" = 1'-0"

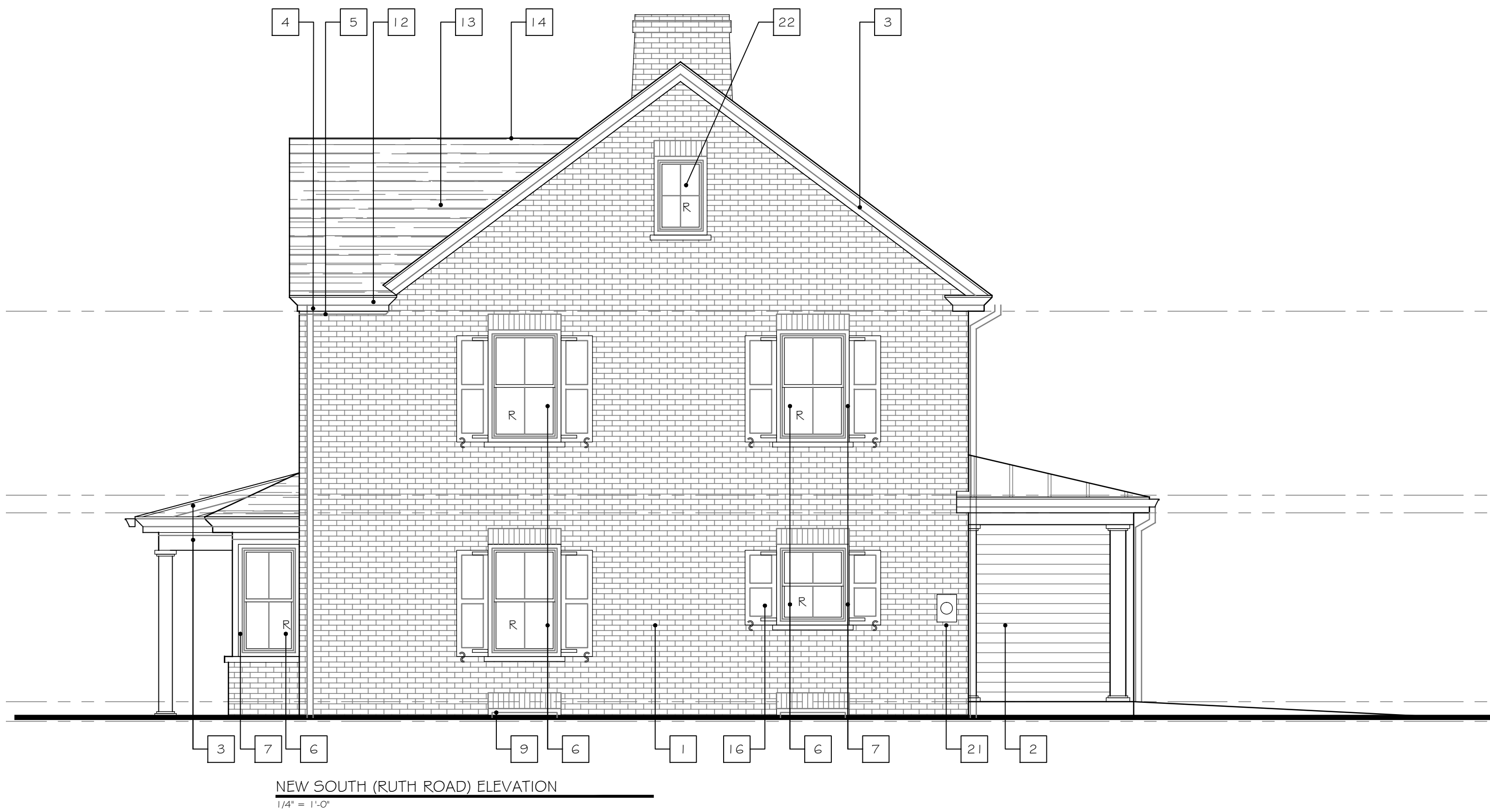
REVIEW ONLY - NOT FOR CONSTRUCTION: 08/03/2018

CONFERENCE ROOM & OFFICE RENOVATION / CONVERSION project no. 20817	KEMP HARVEST FINANCIAL GROUP 331 RUTH ROAD HARLEYSVILLE, PA 19438
Michael J. Panachyda Architect	527 W. Mt. Vernon St. Lansdale, PA 19446 p: 267-467-2551 www.mjp-architect.com
drawing: EXISTING ELEVATIONS date: 08/03/2018	sheet: A-200.B



EXTERIOR MATERIAL SCHEDULE	
1.	EXISTING BRICK - RUNNING BOND
2.	FIBER CEMENT CLAPBOARD SIDING (JAMES HARDIE, COLOR 'KHAKI BROWN')
3.	ALUMINUM CAPPING OVER EXISTING WOOD TRIM BOARDS & CROWN MOLD (COLOR: WHITE) (OPTION: REPLACE W/ PVC TRIM BOARDS & MOLDING, PAINT COLOR: SHERWIN WILLIAMS #2423 'POLAR WHITE')
4.	ALUMINUM CAPPING OVER EXISTING FASCIA & CROWN MOLD (COLOR: WHITE) (OPTION: REPLACE W/ PVC TRIM BOARDS & MOLDING, PAINT COLOR: SHERWIN WILLIAMS #2423 'POLAR WHITE')
5.	REMOVE EXISTING SOFFIT & REPLACE W/ VENTED VINYL SOFFIT (COLOR: WHITE)
6.	CLAD WOOD REPLACEMENT WINDOW INSERT (ANDERSEN 400 SERIES, COLOR: WHITE)
7.	ALUMINUM CAPPING OVER EXISTING WINDOW CASING & SILL (COLOR: WHITE)
8.	45 MIN. FIRE RATED WINDOW, STYLE TO MATCH OTHERS, CLEAR CERAMIC INSULATED GLASS (COLOR: WHITE TO MATCH ANDERSEN WINDOWS)
9.	VINYL BASEMENT WINDOW (COLOR: WHITE)
10.	FIBERGLASS ENTRY DOOR, SEE DOOR SCHEDULE (COLOR: TBD)
11.	PVC SURROUND OR PILASTER (MATCH EXISTING KEMP HARVEST BUILDING, COLOR: SW 2423 'POLAR WHITE')
12.	5" ALUMINUM 'K' GUTTER & 3" x 4" DOWNSPOUT (COLOR: WHITE)
13.	EXISTING SLATE SHINGLES TO REMAIN, PATCH & REPAIR AS NECESSARY (OPTION: REPLACE W/ ARCHITECTURAL ASPHALT SHINGLE (CERTAINTED, LANDMARK, COLOR: DRIFTWOOD))
14.	CONTINUOUS RIDGE VENT IF REPLACING ROOF W/ NEW ASPHALT SHINGLES
15.	METAL ROOF (ATAS INTERNATIONAL, 1" FIELD LOK, SMOOTH, 19-1/2" PANELS, COLOR: (03) MEDIUM BRONZE)
16.	NEW VINYL SHUTTER (MID AMERICA, SOLID PANEL, COLOR: (008) 'CLAY') W/ HINGE & SHUTTER DOG KIT PURCHASED BY OWNER
17.	STEEL ENTRY DOOR (60 MINUTE FIRE RATED)(COLOR: TBD)
18.	STEEL STAIR - PAINTED (COLOR: BRONZE TO MATCH METAL ROOF) (OPTION: POWDER-COATED)
19.	INSPECT ALL FLASHING & SEAL, REPAIR OR REPLACE AS NECESSARY (COLOR: DARK BRONZE)
20.	INSPECT & REPAIR OR REPLACE CHIMNEY WASH & SEAL CHIMNEY W/ NEW 'SS CAP
21.	RELOCATED ELECTRIC METER
22.	NEW CLAD WOOD WINDOW TO FIT EXISTING MASONRY OPENING (ANDERSEN 400 SERIES, WHITE)
23.	NEW ALUMINUM WRAPPED FASCIA (COLOR: WHITE)
24.	VINYL SOFFIT, NON-VENTED @ PORCH CEILING (COLOR: WHITE)
25.	ADHERED TYPE SNOW GUARD (COLOR: MATCH METAL ROOF)
26.	1x4 CEMENT FIBER TRIM BOARD (JAMES HARDIE, COLOR TO MATCH WINDOW OR DOOR)
27.	ATTIC EXHAUST FAN: INSPECT EXISTING, REPAIR / REPLACE AS NECESSARY

- EX = EXISTING TO REMAIN
N = NEW (IN NEW OR MODIFIED OPENING)
R = REPLACEMENT (IN EXISTING OPENING)
- NOTES
1. FINAL STYLES & COLOR TBD, BY THE OWNER.
2. MANUFACTURES LISTED ABOVE ARE FOR DESIGN INTENT & BIDDING PURPOSES ONLY.
FINAL SELECTIONS SHALL BE MADE BY THE OWNER & COORDINATED BY THE CONTRACTOR.



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