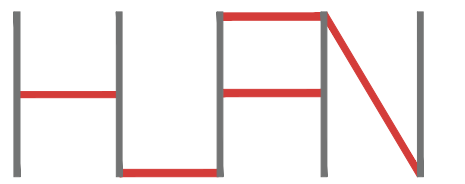


150-11 14TH AVE QUEENS, NY 11357 PROJECT



HUAN DESIGN INC.
 136-20 38TH AVE #11A,
 FLUSHING, NY, 11354
 TEL: 646.797.6980
 EMAIL: huanarchitect@gmail.com

PROJECT LOCATION:

150-11 14th Ave, Queens
 NY 11357

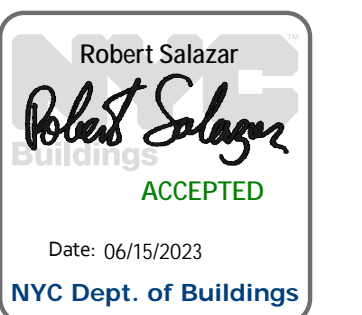
PROJECT NAME:

INTERIOR RENOVATION

| NO. | REVISION |
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B-SCAN:


NYC DOB STAMPS AND SIGNATURES:



DRAWING TITLE:

GENERAL NOTES

Q00886404-11

SEAL & SIGNATURE:  DATE: 11-22-2022
 PROJECT NO.: 22.022
 DRAWN BY: ZX
 CHECK BY: ZX
 SHEET NO.: G-001.00
 PAGE: 1 of 11

GENERAL NOTES:

- ALL DIMENSIONS ARE TO THE FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL HAVE A COMPETENT SUPERINTENDENT ON THE PREMISES AT ALL TIMES WHEN THE WORK IS IN PROGRESS.
- GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH BUILDING'S OWNER, TELEPHONE COMPANY, AND VARIOUS VENDORS DURING CONSTRUCTION AND PHASING PROCESS.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE NYC BUILDING CODES AND ALL APPLICABLE RULES AND REGULATIONS OF AUTHORITIES UNDER EACH JURISDICTION.
- ALL PLUMBING AND ELECTRICAL WORK TO BE DONE BY TRADESMEN LICENSED IN THE JURISDICTION WHO WILL OBTAIN REQUIRED INSPECTIONS AND SIGN-OFFS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT/ENGINEER. WORK DONE AFTER THE DISCOVERY OF DISCREPANCIES AND PRIOR TO THE RECEIPT OF WRITTEN APPROVAL FOR CORRECTION BY THE ARCHITECT/ENGINEER SHALL BE AT CONTRACTOR'S RISK. NO ADDITIONAL COST WILL BE ADDED TO THE PROJECT DUE TO THE CONTRACTOR'S OVERSIGHT IN VERIFICATION OF EXISTING CONDITIONS.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INCLUDED ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE BRACING AND SHORING FOR ALL STRUCTURALLY RELATED WORK. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- CHASING OR CUTTING EXISTING CORE OR EXTERIOR WALL IS NOT PERMITTED.
- THE GENERAL CONTRACTOR SHALL LAY-OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL TRADES.
- THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE ENGINEER/ARCHITECT OF RECORD SHALL BE NOTIFIED FOR ANY INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE BUILDING OWNER'S REQUIREMENTS.
- ASBESTOS: SHOULD ANY ASBESTOS OR ASBESTOS CONTAINING MATERIAL (A.C.M.) BE UNCOVERED, IT SHOULD BE REPORTED IMMEDIATELY TO THE OWNER AND ARCHITECT/ENGINEER. THESE CONTRACT DOCUMENTS DO NOT INCLUDE THE REMOVAL OF ANY ASBESTOS OR A.C.M.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE AND FAMILIARIZE HIMSELF WITH THE BUILDING RULES AND REGULATIONS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THESE UTILITIES FROM DAMAGES OR DESTRUCTION. CONTRACTOR ALSO RESPONSIBLE TO PROTECT ALL ADJOINING PROPERTIES BOTH PUBLIC AND PRIVATE AND TAKE ALL SAFETY PRECAUTIONS TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THE IMMEDIATE AREA.
- THE ENGINEER OF DESIGN SHALL NOT BE RETAINED AS SITE INSPECTOR OR SUPERVISOR DURING CONSTRUCTION.
- THE OWNER SHALL RETAIN A NYS/NYC REGISTERED SPECIAL INSPECTION AGENCY FOR ALL REQUIRED INSPECTIONS DURING CONSTRUCTION.

SMOKE DETECTOR NOTES

- SMOKE DETECTORS SHALL BE INSTALLED AS REQUIRED BY SUBCHAPTER 17 ARTICLE 6 ENTITLED, "SMOKE DETECTING DEVICES" (C26-1705.0) IN DWELLING UNITS.
- DETECTORS SHALL BE EITHER IONIZATION CHAMBER OR PHOTOELECTRIC TYPE AND TO COMPLY WITH RS17-11.
- UNITS TO BE APPROVED BY BOARD OF STANDARDS AND APPEALS, ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER OF LISTED BY AN ACCEPTABLE TESTING LABORATORY, SUCH AS UNDERWRITER'S LABORATORY.
- UNITS SHALL BE INSTALLED IN AREAS DESIGNATED ON PLANS; THEY SHALL BE LOCATED ON OR NEAR THE CEILING AND WITHIN 15'-0" OF ANY ROOMS USED FOR SLEEPING PURPOSES, FOR DWELLING UNITS WITH MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ON MEANS OF EGRESS UNITS SHALL BE PROVIDED AT ALL LEVELS.
- SMOKE DETECTORS SHALL BE INSTALLED AS FOLLOWS: (A) CEILING MOUNT - CLOSEST EDGE OF UNIT SHALL BE MINIMUM OF 4" FROM ANY WALL. (B) WALL MOUNT - CLOSEST EDGE OF UNIT SHALL BE MINIMUM OF 6" AND A MAXIMUM OF 12" FROM CEILING.

CARBON MONOXIDE DETECTOR NOTES:

- HARD WIRED CARBON MONOXIDE DETECTORS WITH BATTERY BACK-UP WILL BE PROVIDED IN EACH APARTMENT WITHIN FIFTEEN (15) EVER BEDROOM.
- SUCH CARBON MONOXIDE DETECTING DEVICE MAY BE COMBINED WITH A SMOKE DETECTING DEVICE THAT COMPLIES WITH THE PROVISIONS OF THIS TITLE AND ANY APPLICABLE RULES PROMULGATED THERE UNDER 27-9812(o)
- ALL CARBON MONOXIDE DETECTING DEVICES REQUIRED TO BE PROVIDED AND INSTALLED PURSUANT TO THIS ARTICLE SHALL BE OF A TYPE AUTHORIZED BY THE RULES PROMULGATED BY THE COMMISSIONER 27-9812(o)
- KEEP AND MAINTAIN CARBON MONOXIDE DETECTING DEVICES IN GOOD REPAIR
- REPLACE ANY CARBON MONOXIDE DETECTING DEVICES WHICH HAS BEEN STOLEN, REMOVED, FOUND, MISSING OR RENDERED INOPERABLE PRIOR TO THE OCCUPANCY OF A DWELLING UNIT.
- KEEP SUCH RECORDS AS THE COMMISSIONER SHALL PRESCRIBE RELATING TO THE INSTALLATION AND MAINTENANCE OF CARBON MONOXIDE DETECTING DEVICES IN THE BUILDING AND MAKE SUCH RECORDS AVAILABLE TO THE COMMISSIONER UPON REQUEST

BUILDING DEPARTMENT NOTES:

- ALL DOORS TO BE INCOMBUSTIBLE.
- DUCTS, PIPES AND CONDUITS PASSING THROUGH RATED CONSTRUCTION SHALL COMPLY WITH SECTION 27-343 OF THE BUILDING CODE.
- ALL WOOD TO BE FIRE-PROOF AS PER SECTION 27-328, RS 5-3 AND 5-5 OF THE BUILDING CODE L.L. 76
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENT OF SECTION 27-131 OF THE BUILDING CODE.
- NO MATERIAL OF ANY MANUFACTURE OR PRODUCER SHALL BE ACCEPTABLE FOR USE INTENDED UNLESS AND UNTIL THE MATERIAL HAS BEEN TESTED FOR COMPLIANCE WITH LOCAL CODE REQUIREMENTS.

SCOPE OF WORK:

HORIZONTAL EXTENSION OF EXISTING COMMERCIAL SPACE ON 1ST FLOOR. NO CHANGE IN USE, EGRESS OR OCCUPANCY.

INDEX OF DRAWING

| DWG # | TITLE |
|------------|-------------------------------------|
| G-001.00 | GENERAL NOTES |
| EN-001.00 | ENERGY CODE ANALYSIS, DOOR SCHEDULE |
| DM-001.00 | PARTIAL DEMO. PLANS |
| DM-002.00 | PARTIAL DEMO ELEVATIONS |
| A-001.00 | PROPOSED PLANS |
| A-002.00 | PROPOSED ELEVATIONS |
| A-003.00 | ROOF PLAN |
| A-004.00 | SECTION AND FRAMING PLAN |
| A-005.00 | ROOF PLAN |
| | |
| SOE-001.00 | EXAVATION PLAN AND FOUNDATION |
| A-006.00 | DETAILS |

LIST OF SPECIAL INSPECTIONS

| SPECIAL INSPECTIONS | CODE / SECTION |
|--|----------------|
| CONCRETE - CAST-IN-PLACE | BC 1704.4 |
| MASONRY | BC 1705.4 |
| FIRE-RESISTANT PENETRATIONS AND JOINTS | BC 1704.27 |

| PROGRESS INSPECTIONS | CODE / SECTION |
|------------------------------------|--|
| FIRE-RESISTANCE RATED CONSTRUCTION | BC 110.3.4 |
| FINAL | 28-116.2.4.2, BC 110.5, and 1 RCNY §101-10 |
| STRUCTURAL WOOD FRAME | BC 110.3.3 |
| FOOTING AND FOUNDATION | BC 110.3.1 |
| ENERGY CODE COMPLIANCE INSPECTIONS | BC 110.3.5 |

| | |
|---|--------------|
| INSULATION REPLACEMENT AND R-VALUES | (IA2),(IIA2) |
| FENESTRATION AND DOOR U-FACTOR, PRODUCT RATINGS | (IA3),(IIA3) |
| FENESTRATION RATINGS FOR AIR LEAKAGE | (IA4),(IIA4) |
| FENESTRATION AREAS | (IA5),(IIA5) |
| AIR BARRIER - VISUAL INSPECTION | (IA6),(IIA6) |



Tax Block: 4518
 Tax Lot: 56
 BIN: 4573539
 Zoning: R3-2 & C1-2 overlay
 Zoning Map: 7D

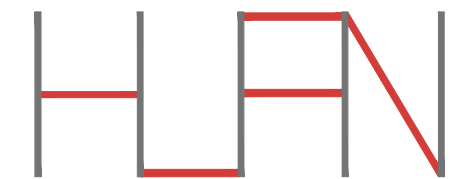
SITE PLAN
 N.T.S.

ABBREVIATIONS:

AFF BLDG ABOVE FINISH FLOOR BUILDING
 CONC CONCRETE
 DRY DRYER
 D/W DISH WASHER
 FD FLOOR DRAIN
 GWB GYPSUM BOARD
 HT HEIGHT
 HWH HOT WATER HEATER
 MAX. MAXIMUM
 MIN. MINIMUM
 NTS NOT TO SCALE
 OC ON CENTER
 REF REFRIGERATOR
 RM ROOM
 SD SMOKE DETECTOR
 TYP. TYPICAL
 U.O.N UNLESS OTHERWISE NOTED
 WAM WASHING MACHINE
 FL FLOOR
 EX. EXISTING

DRAWING SYMBOLS:

REVISION SYMBOL
 ELEVATION REFERENCE
 SECTION REFERENCE
 PARTITION TYPE
 WINDOW NUMBER
 DOOR NUMBER



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B-SCAN:

NYC DOB STAMPS AND SIGNATURES:



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ENERGY CODE ANALYSIS,
 DOOR SCHEDULE

Q00886404-11

SEAL & SIGNATURE: DATE: 11-22-2022
 PROJECT NO.: 22.022
 DRAWN BY: ZX
 CHECK BY: ZX
 SHEET NO:
EN-001.00
 PAGE: 2 of 11



E.C.C. OF NYC COMPLIANCE STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT,
 ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE WITH 2020
 ENERGY CONSERVATION CODE OF NEW YORK CITY, USE CHAPTER C4 FOR
 RESIDENTIAL BUILDING.

CLIMATE ZONE TABLE:

| COUNTY | CLIMATE ZONE |
|--------|--------------|
| QUEENS | 4A |

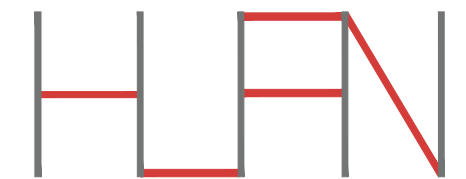
TABLE I – PROGRESS INSPECTIONS FOR 2020 ENERGY CODE COMPLIANCE – RESIDENTIAL BUILDINGS

| | INSPECTION/TEST | PERIODIC (MINIMUM) | REFERENCE STANDARD (SEE ECC CHAPTER 6) OR OTHER CRITERIA | ECC OR OTHER CITATION |
|-----|---|--|--|--|
| IA | ENVELOPE INSPECTIONS | | | |
| IA2 | INSULATION PLACEMENT AND R-VALUES: INSTALLED INSULATION FOR EACH COMPONENT OF THE CONDITIONED SPACE ENVELOPE AND AT JUNCTIONS BETWEEN COMPONENTS SHALL BE VISUALLY INSPECTED TO ENSURE THAT THE R-VALUES ARE MARKED, THAT SUCH R-VALUES CONFORM TO THE R-VALUES IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND THAT THE INSULATION IS PROPERLY INSTALLED. CERTIFICATIONS FOR UNMARKED INSULATION SHALL BE SIMILARLY VISUALLY INSPECTED. | AS REQUIRED TO VERIFY CONTINUOUS ENCLOSURE WHILE WALLS, CEILINGS AND FLOORS ARE OPEN | APPROVED CONSTRUCTION DOCUMENTS | C303.1, C303.1.1, C303.1.2, C402.1, C402.2, Table C402.4.1.1, C402.4.4, C402.6 |
| IA3 | FENESTRATION U-FACTOR AND PRODUCT RATINGS: U-FACTORS OF INSTALLED FENESTRATION SHALL BE VERIFIED BY VISUAL INSPECTION FOR CONFORMANCE WITH THE U-FACTORS IDENTIFIED IN THE CONSTRUCTION DRAWINGS, EITHER BY VERIFYING THE MANUFACTURER'S NFRC LABELS OR, OR, WHERE NOT LABELED, USING THE RATINGS IN ECC TABLES 303.1.3(1), (2) AND (2). | AS REQUIRED DURING INSTALLATION | APPROVED CONSTRUCTION DRAWINGS; NFRC 100 | C303.1, C303.1.3, C402.1, C402.3, C402.5 |
| IA4 | FENESTRATION AIR LEAKAGE: WINDOWS SKYLIGHT AND SLIDING GLASS DOORS, EXCEPT SITE-BUILT WINDOWS SKYLIGHTS AND DOORS, SHALL BE VISUALLY INSPECTED TO VERIFY THAT INSTALLED ASSEMBLIES ARE LISTED AND LABELED TO THE REFERENCED STANDARD. | AS REQUIRED DURING INSTALLATION | NFRC 400, AAMA/WDMA/CSA 101/.S.2/A440 | C402.4.3 |
| IA5 | FENESTRATION AREAS: DIMENSIONS OF WINDOWS, DOORS AND SKYLIGHTS SHALL BE VERIFIED BY VISUAL INSPECTION. | PRIOR TO FINAL CONSTRUCTION INSPECTION | APPROVED CONSTRUCTION DOCUMENTS | C402.3 |
| IA6 | AIR SEALING AND INSULATION – VISUAL INSPECTION: OPENINGS AND PENETRATIONS IN THE BUILDING ENVELOPE, INCLUDING SITE-BUILT FENESTRATION AND DOORS, SHALL BE VISUALLY INSPECTED TO VERIFY THAT THEY ARE PROPERLY SEALED, IN ACCORDANCE WITH TABLE 402.4.1.1. | AS REQUIRED DURING ENVELOPE CONSTRUCTION | APPROVED CONSTRUCTION DOCUMENTS; ASTM E283; | C402.4.1, C402.4.4, C402.4.5, C4.2.4.6 |

ENERGY TABULAR ANALYSIS FOR ALTERATION-CLIMATE ZONE 4A

| ELEMENT(ITEM DESCRIPTION) | PROPOSED DESIGN VALUE | CODE PRESCRIPTIVE VALUE | SUPPORTING DOCUMENTATION |
|---------------------------|-----------------------|--|--------------------------|
| NEW ADDITION ROOF | R-33 CI | R-33 CI(TABLE R402.1.3) | EN-001.00 & A-004.00 |
| NEW MASS WALL | R-11.2 CI | R-11.2 CI (TABLE R402.1.3) | EN-001.00 & A-004.00 |
| NEW WOOD DOOR(SOLID) | EXEMPT | ONE SIDE-HINGED OPAQUE DOOR ASSEMBLY UP TO 24 SQUARE FEET IN AREA IS EXEMPTED FROM THE U-FACTOR REQUIREMENT (TABLE R402.1.4) | EN-001.00 & A-004.00 |

| NEW DOOR SCHEDULE | | | | | | | | | | U-FACTOR |
|-------------------|---------------|-------|--------|--------|-----------|--------|--------------|--------------|------------|----------|
| NO. | DOOR NAME | SIZE | | | FIRE CODE | CONST. | FRAME CONST. | FRAME FINISH | REMARKS | |
| | | WIDTH | HEIGHT | THK. | | | | | | |
| ① | SINGLE HINGED | 3'-0" | 6'-8" | 1 3/8" | NFPA 80 | WOOD | WOOD | PAINT | ENTRY DOOR | - |



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B-SCAN:

NYC DOB STAMPS AND SIGNATURES:



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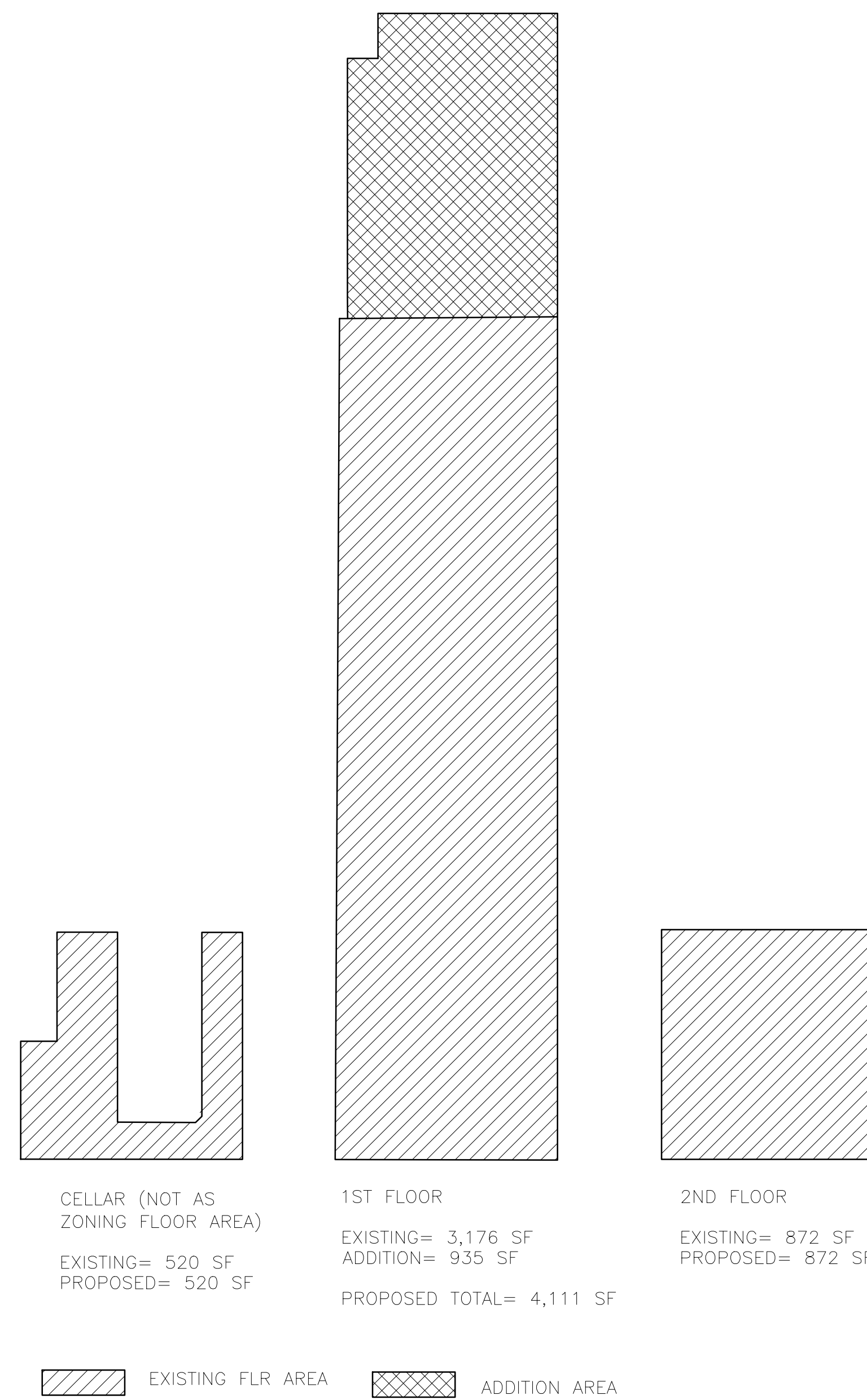
SITE PLAN, ZONING
 ANALYSIS

Q00886404-11

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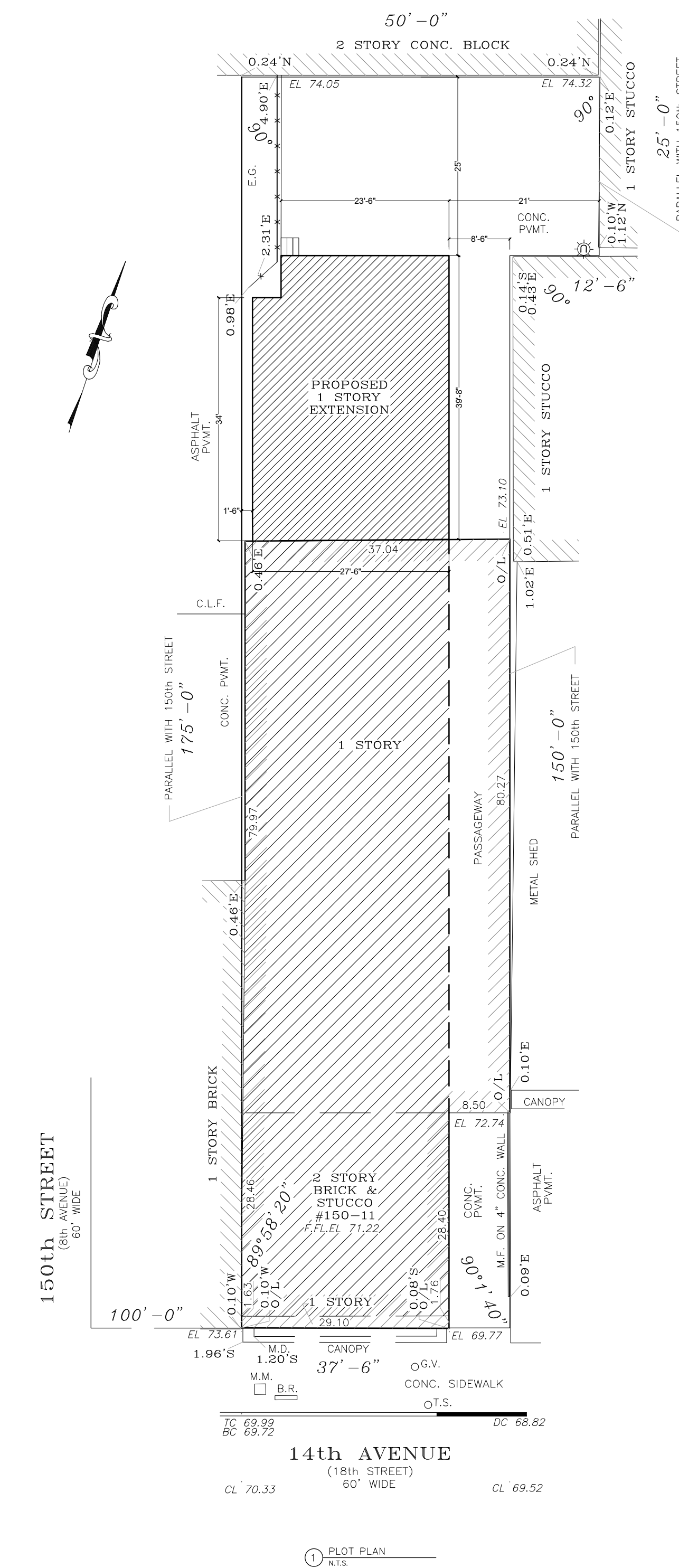


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|-----------------------|--|----------|
| | ZONING CALCULATION: 1 ZONING LOT, 1 TAX LOT ZONING DISTRICT: R3-2;C1-2 BLOCK: 4518 LOT: 56 USER GROUP: 6 ZONING MAP: 7d DEPTH OF COMMERCIAL OVERLAY: 150' | |
| | BULK REGULATION(COMPLIANCE WITH ZR ARTICAL III, CHAPTER 3): | |
| | EXISTING LOT AREA=6874 SF | |
| ZR 12-10 ZR 33-121 | FLOOR AREA (SEE AREA CACULATION) PROPOSED CELLAR FLOOR AREA: 520 SF. (NOT COUNT AS FLOOR AREA) PROPOSED FIRST FLOOR AREA: 4111 SF. PROPOSED SECOND FLOOR AREA: 872 SF. TOTAL ZONING FLOOR AREA= 4983 SF. TOTAL GROSS FLOOR AREA= 5503 SF. TOTAL MAXFAR = 1 FAR= 4983/ 6874 = 72.49% = 73% | ----- OK |
| ZR 33-20 | N/A GOVERNED BY YARD REQUIRMENTS | |
| ZR 23-20 ZR 23-22 | MAXIMUM NUMBER OF DWELLING UNITS OR ROOMING UNITS FACTOR FOR D.U. IN R4A =1280 2324 / 1280 = 1.82 =1 UNIT EXIST = PROPOSED = 1 UNIT | -----OK. |
| ZR 35-50 | FRONT YEARD NOT REQUIRED | |
| ZR 33-291 | REQUIRED MIN. REAR YARD = 8' PROPOSED REAR YARD = 25' | -----OK. |
| ZR 33-291 | SIDE YARD REQUIRED 8' PROPOSED =8'-6" | -----OK |
| ZR 33-431 | STREET WALL HEIGHT = 30', INITIAL SET BACK IN NARROW STREET=20' SLOPE ANGLE: 1:1=45 DEGREE EXIST.=PROPOSED = 25' < 30' | -----OK |
| ZR 36-21 ZR 36-23 | USE IN PRC-B USE GROUP 6 1 PER 300SF FOR C1-2 TOTAL REQUIRED PARKING = 4111SF/300SF = 13.7 =14 PARKING 15 PARKING WAIVER FOR C1-2 0 PARKING IS REQUIRED 1 OSP PARKING IS PROVIDED FOR EXISTING 2ND FLOOR 1 FAMILY | -----OK |

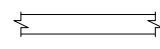
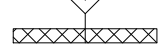
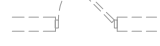

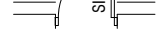





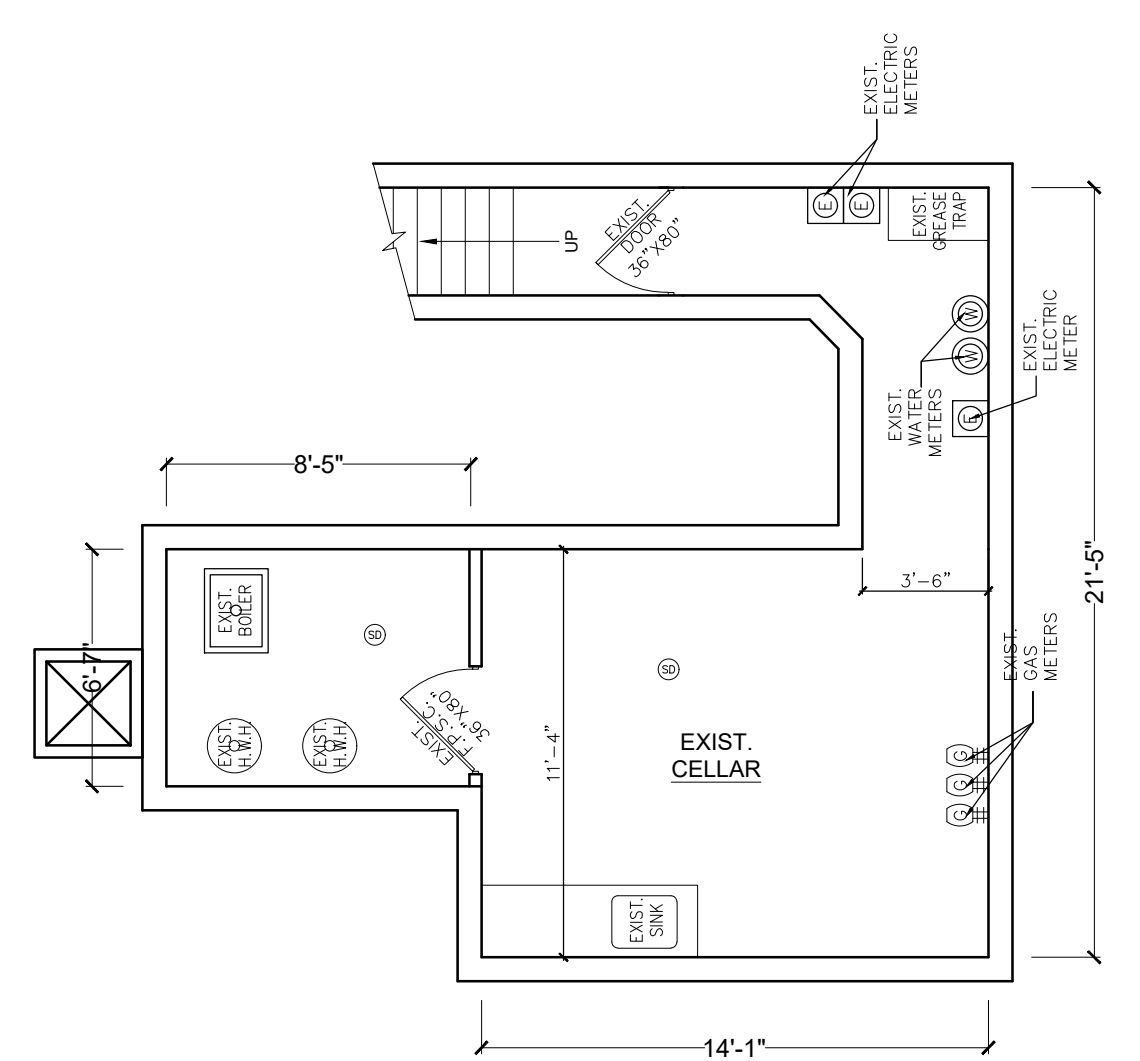
CALCULATION OF FLOOR SURFACE AREA:
 TOTAL GROSS FLOOR AREA = 520+4111+872 = 5503 SF
 TOTAL ZONING FLOOR AREA = 4111+872 = 4983 SF

CALCULATION OF INCREASE IN FLOOR SURFACE AREA:
 ((PROPOSED - EXISTING TO REMAIN) / (EXISTING TO REMAIN)) =
 935 / 4568 = 20.5 % < 110%
 THUS THIS APPLICATION IS NOT REQUIRED TO MEET NEW BUILDING REQUIREMENT AS PER §28-101.4.5 & BUILDINGS BULLETIN 2016-012

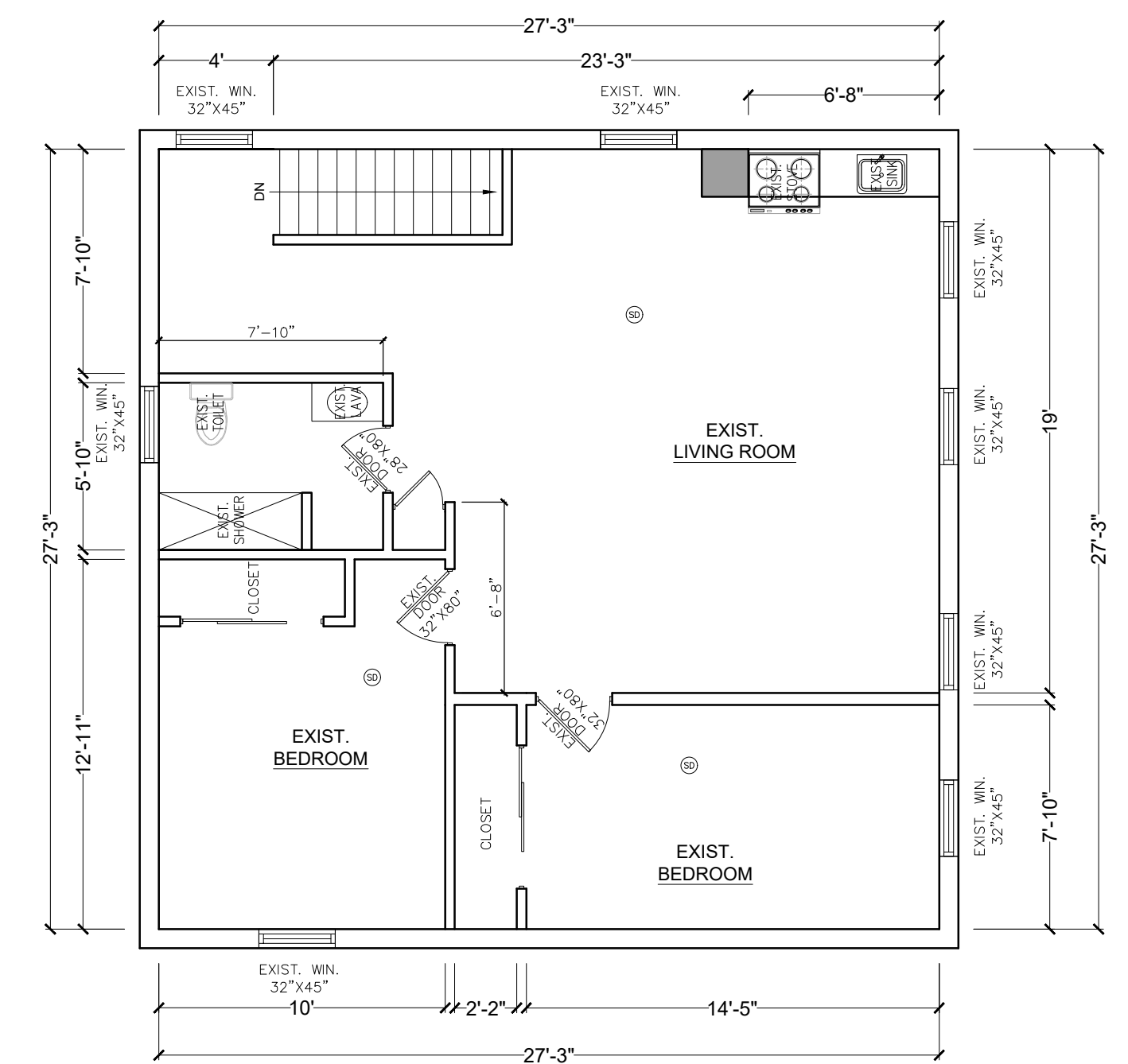


LEGEND

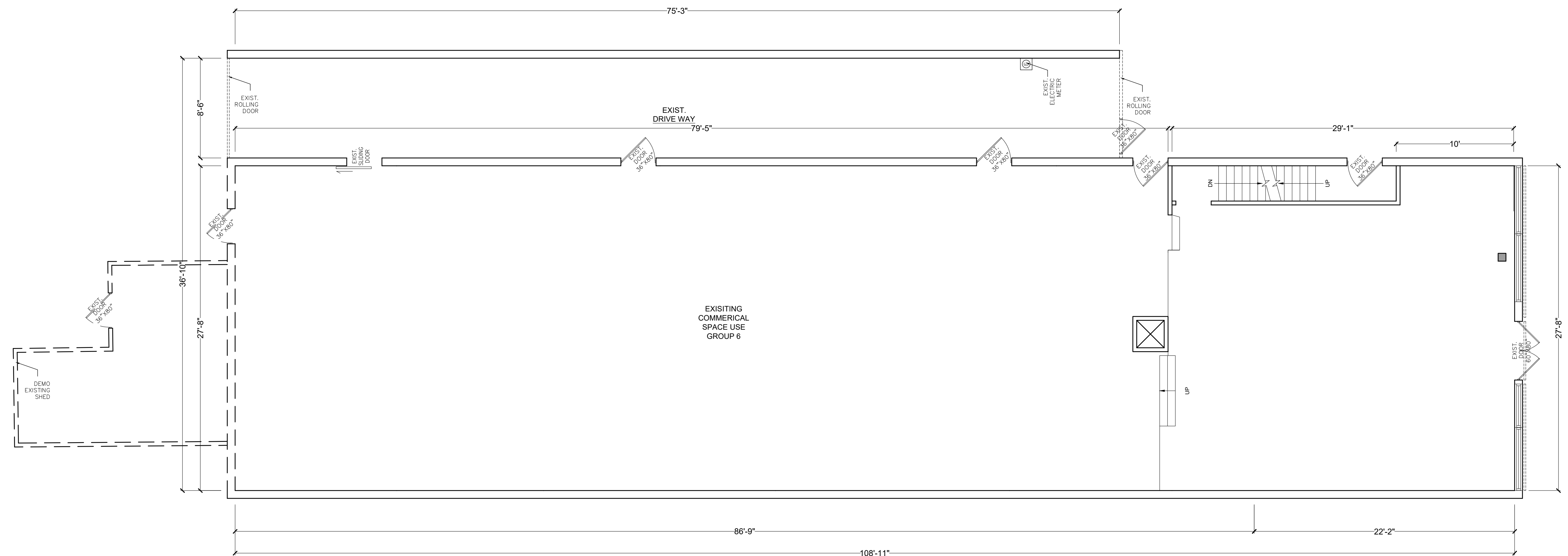
-  EXISTING CONSTRUCTION TO REMAIN
-  CMU EXTERIOR WALL WITH INSULATION AND STUCCO FINISH
-  EXIST'G WALL & DOOR TO BE REMOVED, PATCH CEILING, FLOOR AS REQ'D
-  EXIST'G DOOR TO REMAIN
-  NEW DOOR
-  NEW WINDOW
-  VENTILATOR
-  SMOKE & CARBON MONOXIDE DETECTOR COMBO, HARDWIRED AS PER CODE WITH BATTERY BACKUP (BC: 907.2.10.1.1 & 908.7.1.1.1)



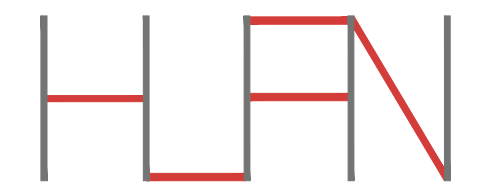
3 EXISTING CELLAR FL.PLAN
SCALE: 3/16" = 1'-0"



2 EXISTING 2ND FL.PLAN
SCALE: 3/16" = 1'-0"



1 EXISTING 1ST FL.PLAN
SCALE: 3/16" = 1'-0"



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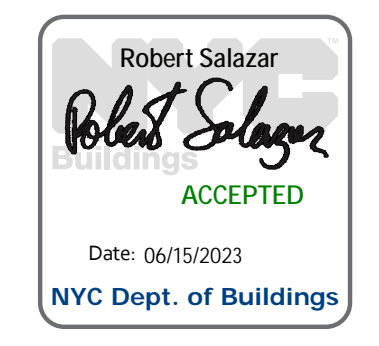
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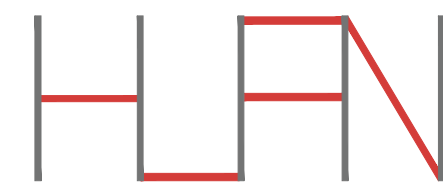


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PARTIAL DEMO. PLANS

Q00886404-11

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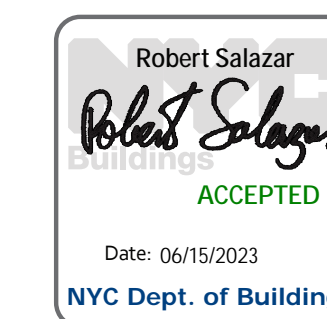
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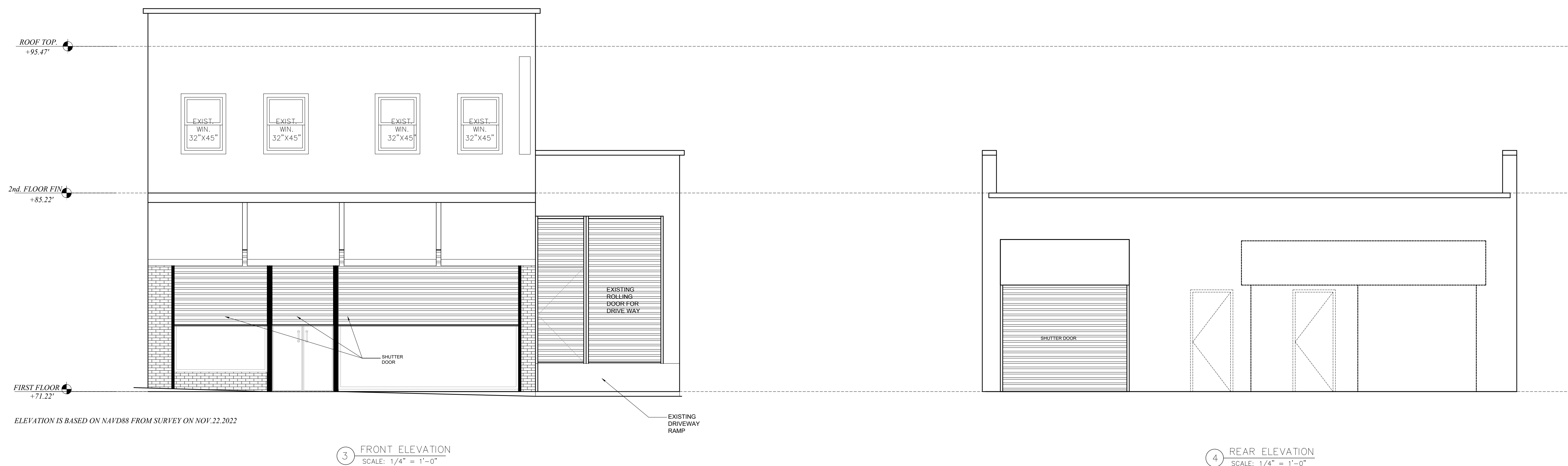


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EXISTING ELEVATIONS

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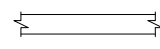
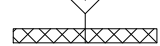
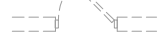

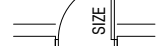

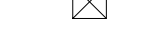

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 SHEET NO: **DM-002.00**
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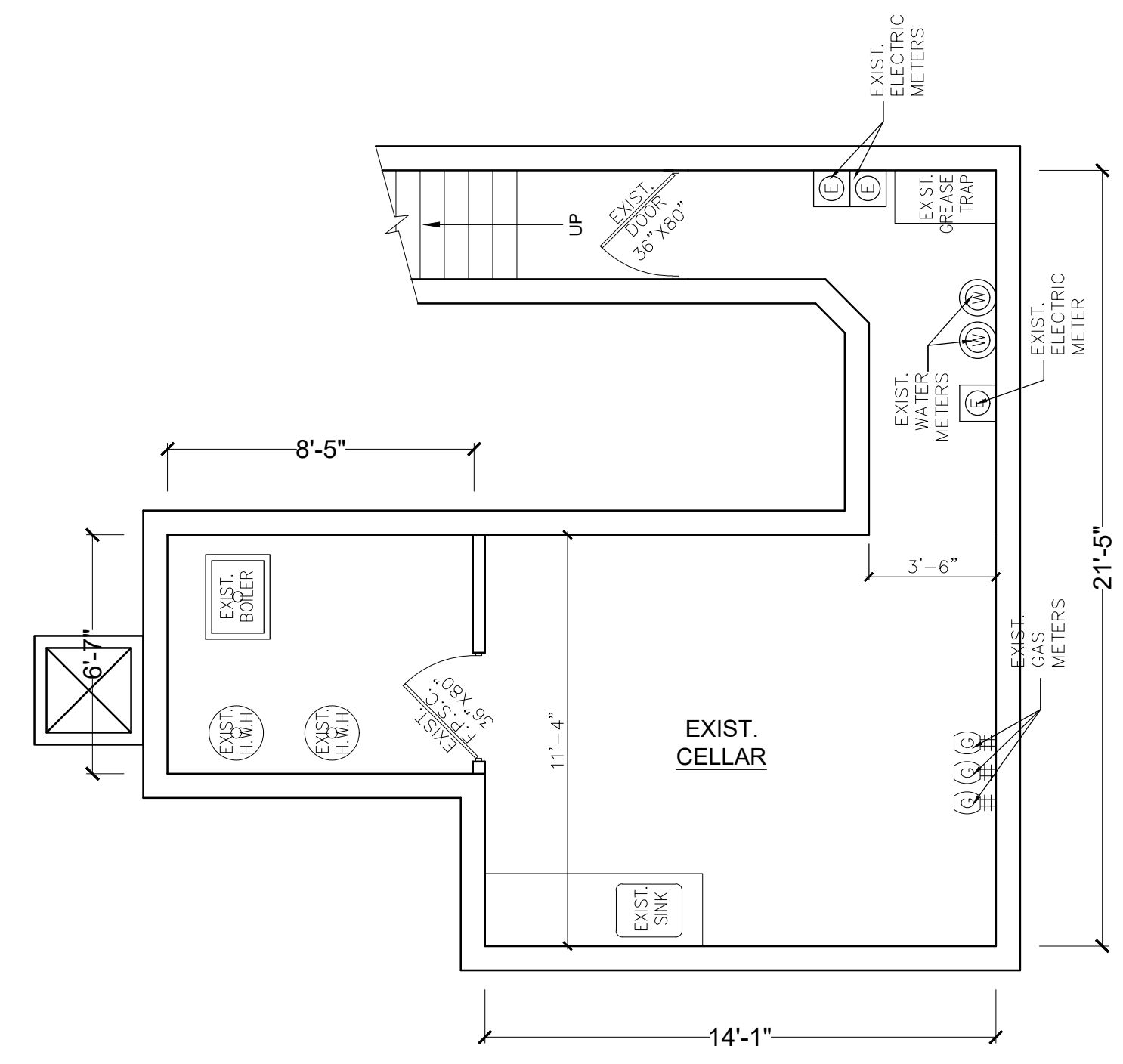


3 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

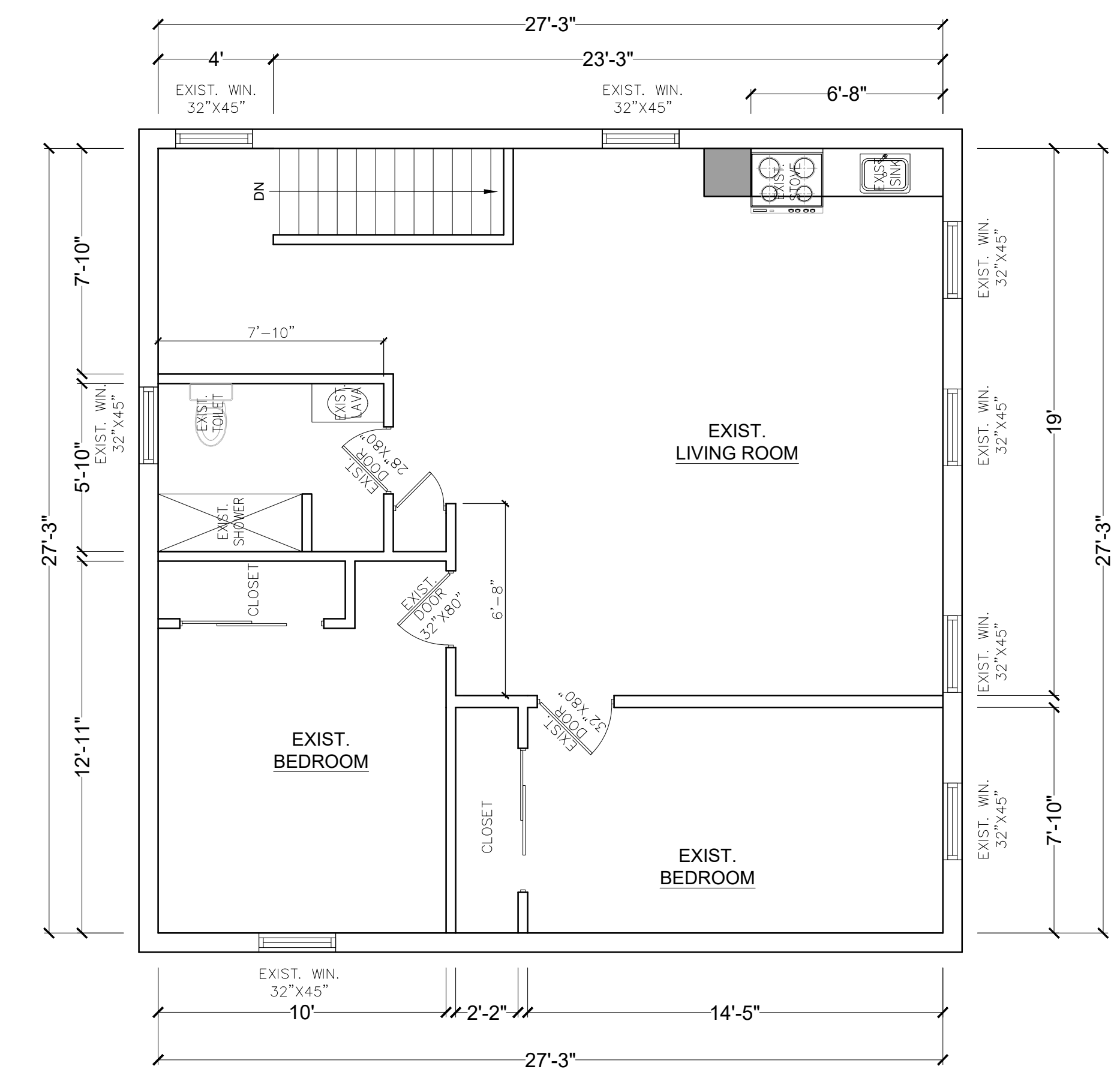
4 REAR ELEVATION
 SCALE: 1/4" = 1'-0"

LEGEND

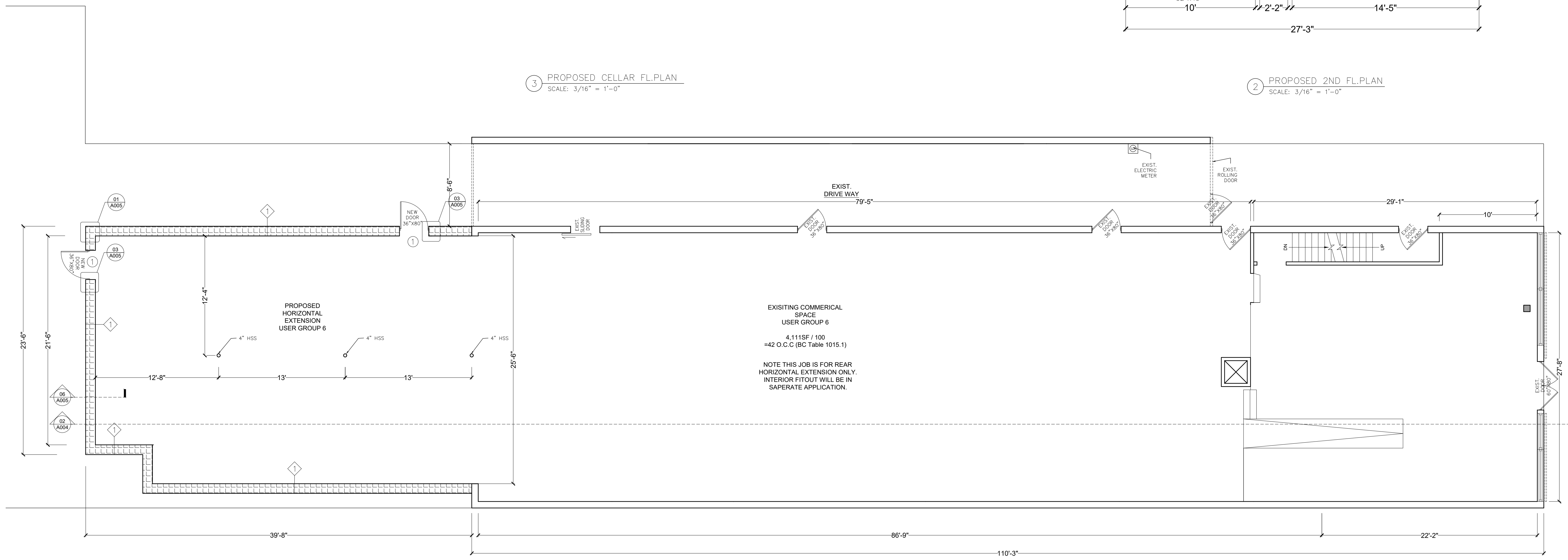
-  EXISTING CONSTRUCTION TO REMAIN
-  CMU EXTERIOR WALL WITH INSULATION AND STUCCO FINISH
-  EXIST'G WALL & DOOR TO BE REMOVED, PATCH CEILING, FLOOR AS REQ'D
-  EXIST'G DOOR TO REMAIN
-  NEW DOOR
-  NEW WINDOW
-  VENTILATOR
-  SMOKE & CARBON MONOXIDE DETECTOR COMBO, HARDWIRED AS PER CODE WITH BATTERY BACKUP (BC: 907.2.10.1.1 & 908.7.1.1.1)



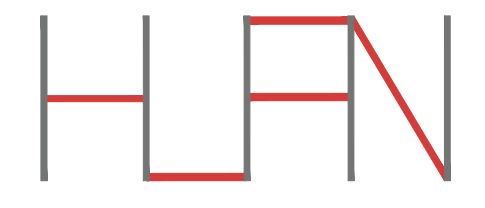
3 PROPOSED CELLAR FL.PLAN
SCALE: 3/16" = 1'-0"



2 PROPOSED 2ND FL.PLAN
SCALE: 3/16" = 1'-0"



1 PROPOSED 1ST FL.PLAN
SCALE: 3/16" = 1'-0"



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FLUSHING, NY, 11354
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EMAIL: huanarchitect@gmail.com

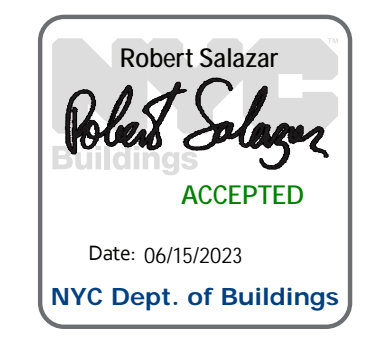
PROJECT LOCATION:
150-11 14th Ave, Queens
NY 11357

PROJECT NAME:
INTERIOR RENOVATION

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B-SCAN:

NYC DOB STAMPS AND SIGNATURES:



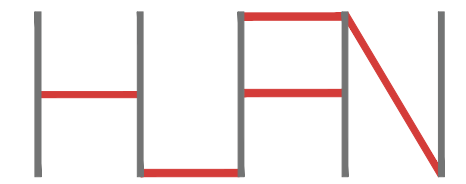
DRAWING TITLE:

PROPOSED PLANS

Q00886404-11

SEAL & SIGNATURE: DATE: 11-22-2022
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B-SCAN:


NYC DOB STAMPS AND SIGNATURES:

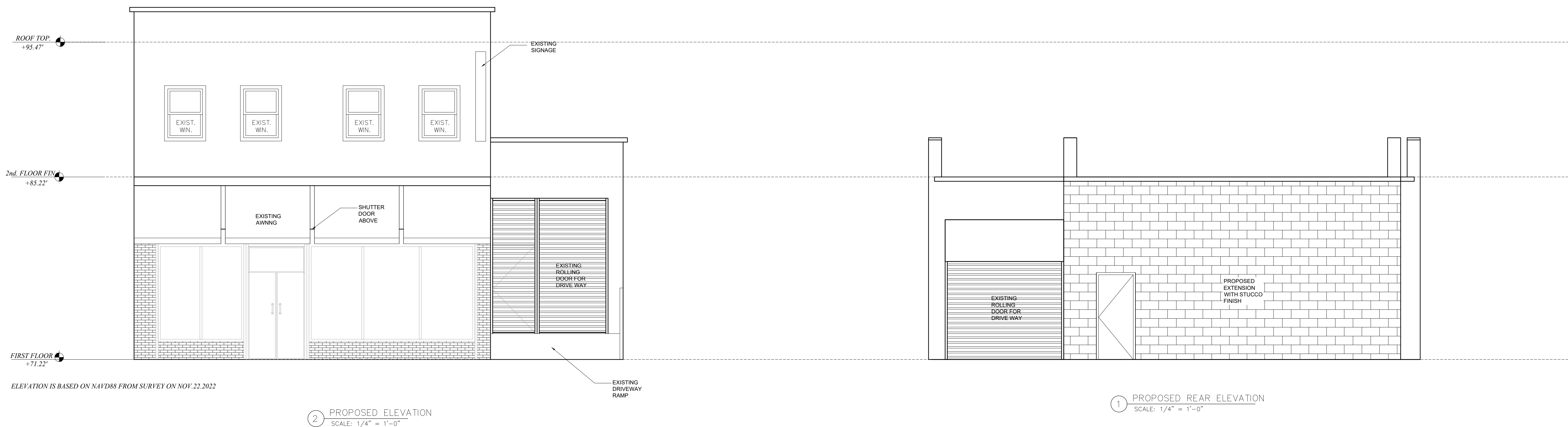


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PROPOSED ELEVATIONS

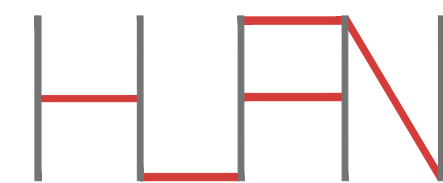
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2 PROPOSED ELEVATION
 SCALE: 1/4" = 1'-0"

1 PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"



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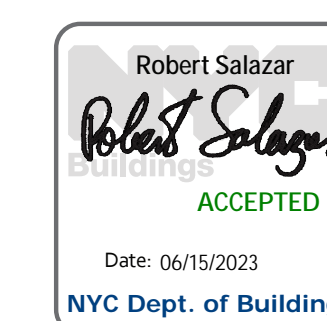
PROJECT NAME:

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B-SCAN:


NYC DOB STAMPS AND SIGNATURES:

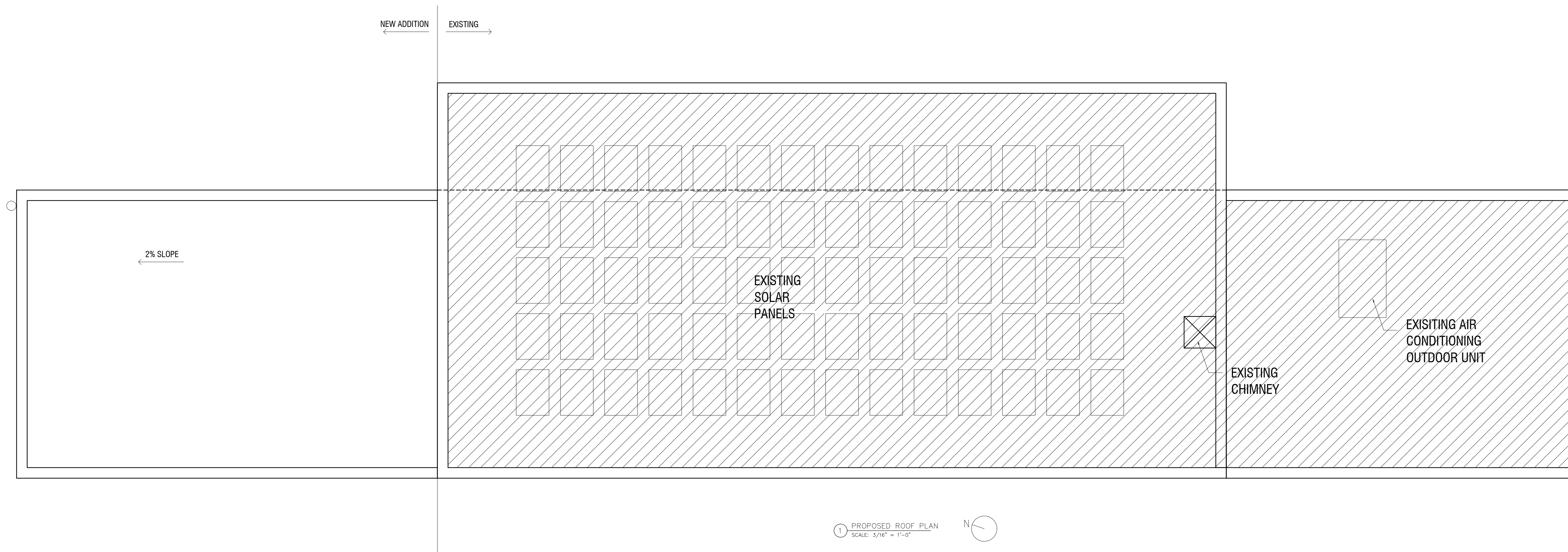


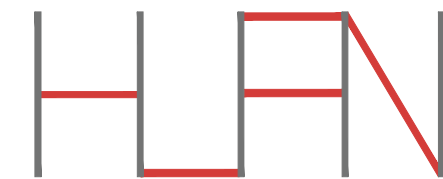
DRAWING TITLE:

ROOF PLAN

Q00886404-11

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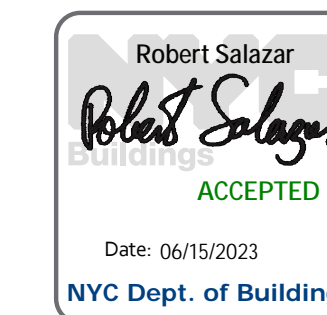
PROJECT NAME:

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B-SCAN:


NYC DOB STAMPS AND SIGNATURES:

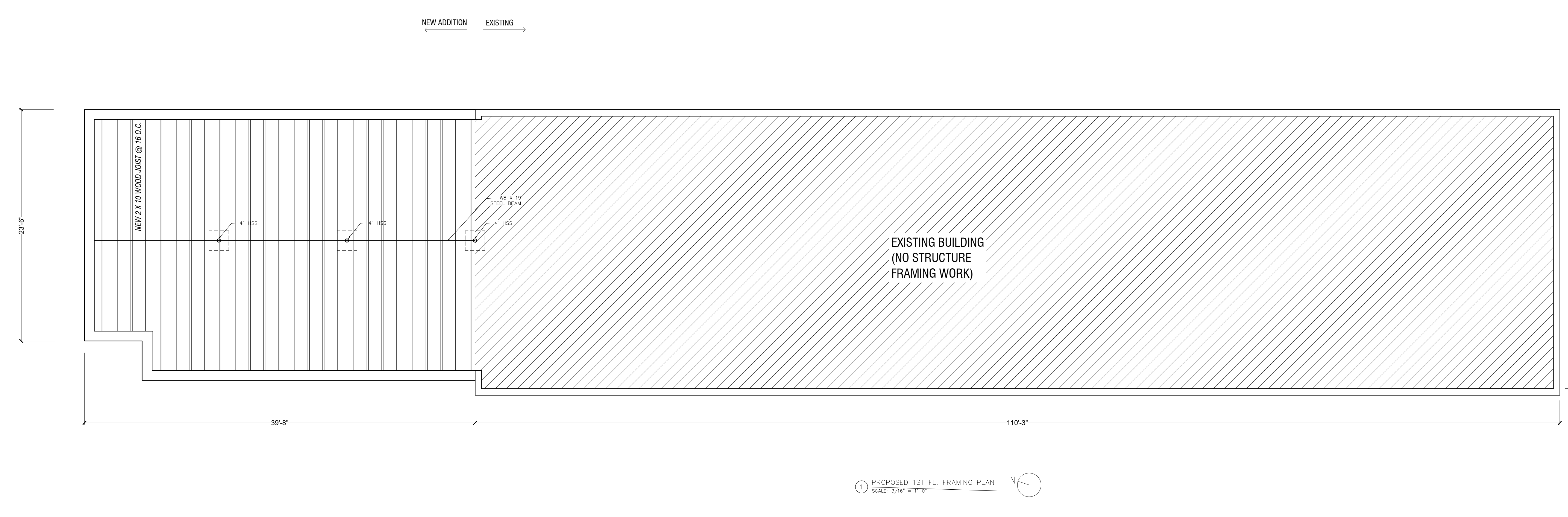


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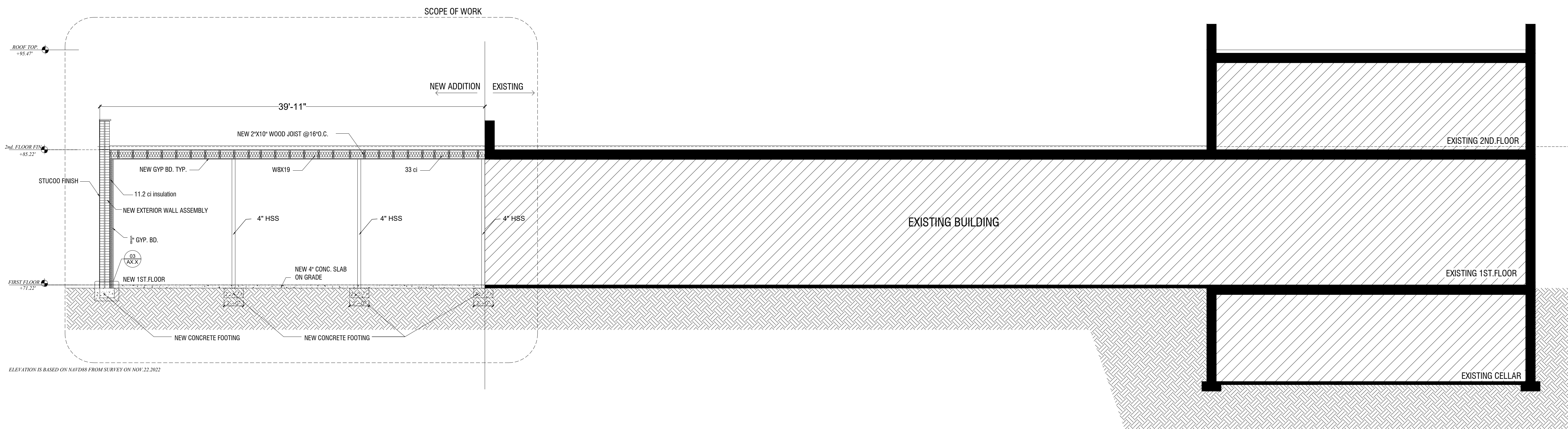
SECTIONS AND FRAMING
 PLAN

Q00886404-11

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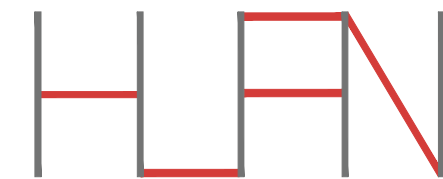


1 PROPOSED 1ST FL. FRAMING PLAN
 SCALE: 3/16" = 1'-0"



ELEVATION IS BASED ON NAVD88 FROM SURVEY ON NOV. 22, 2022

2 SECTION A-A
 SCALE: 1/4" = 1'-0"



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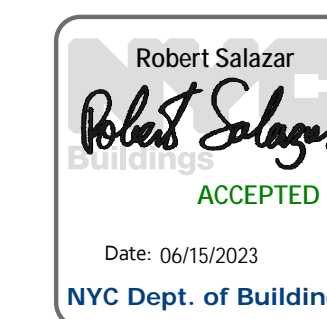
PROJECT NAME:

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B-SCAN:


NYC DOB STAMPS AND SIGNATURES:

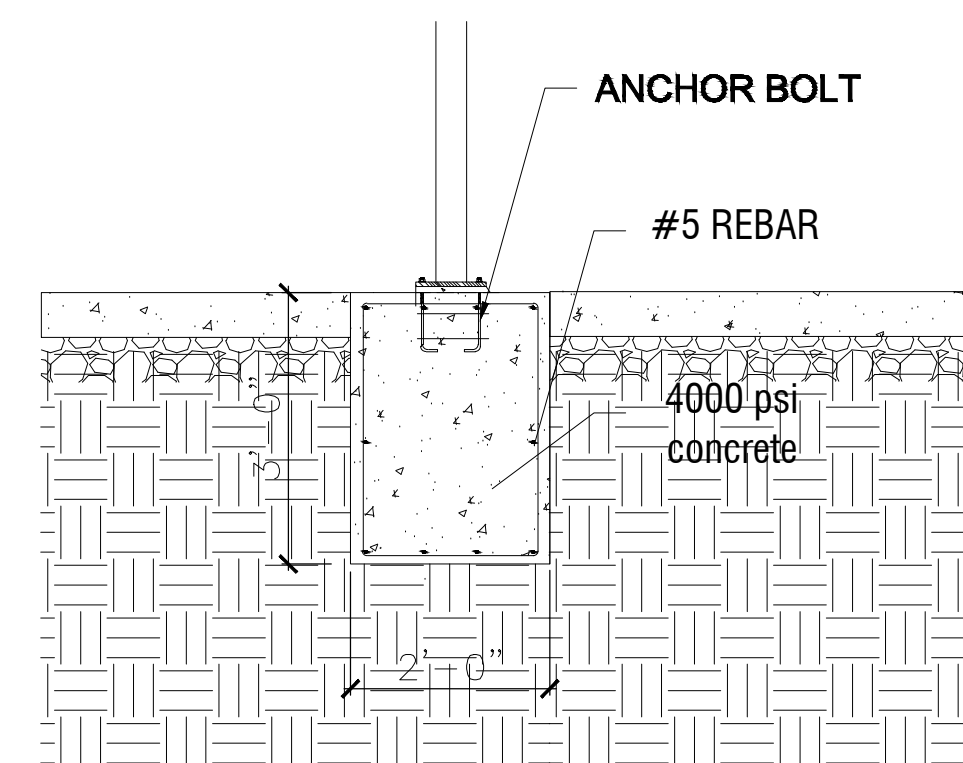


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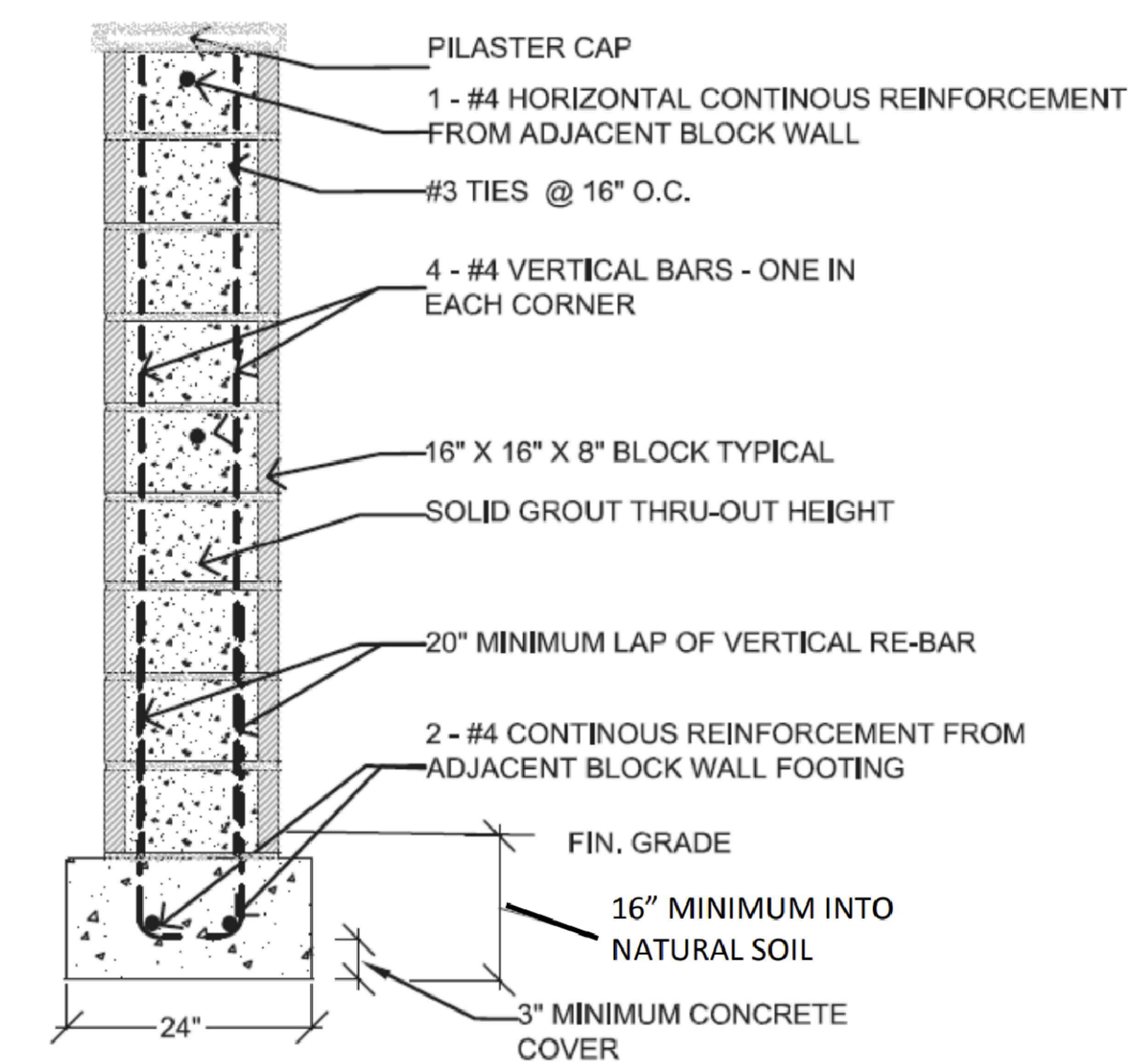
EXAVATION AND
 FOUNDATION

Q00886404-11

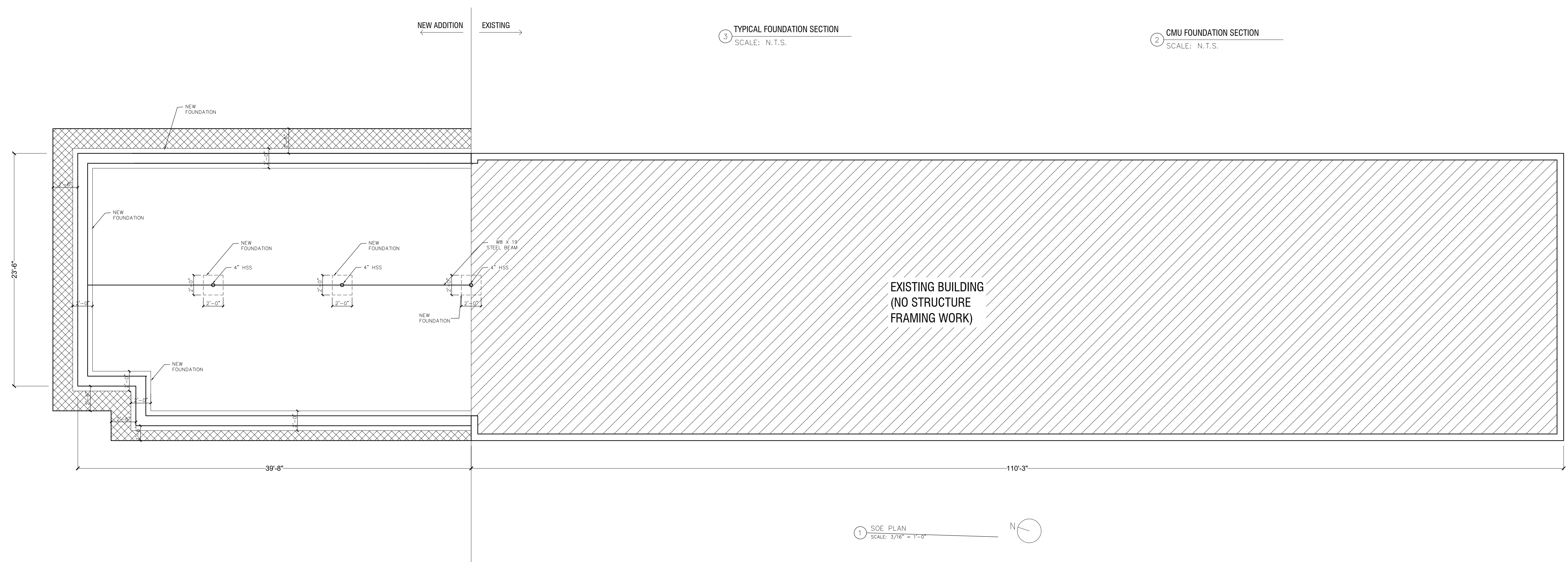
SEAL & SIGNATURE:  DATE: 11-22-2022
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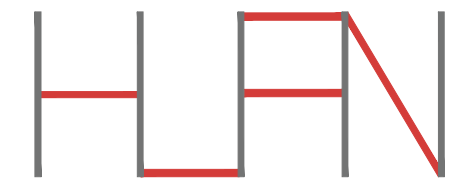
3 TYPICAL FOUNDATION SECTION
 SCALE: N.T.S.



2 CMU FOUNDATION SECTION
 SCALE: N.T.S.



1 SOE PLAN
 SCALE: 3/16" = 1'-0"
 N



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B-SCAN:

NYC DOB STAMPS AND SIGNATURES:

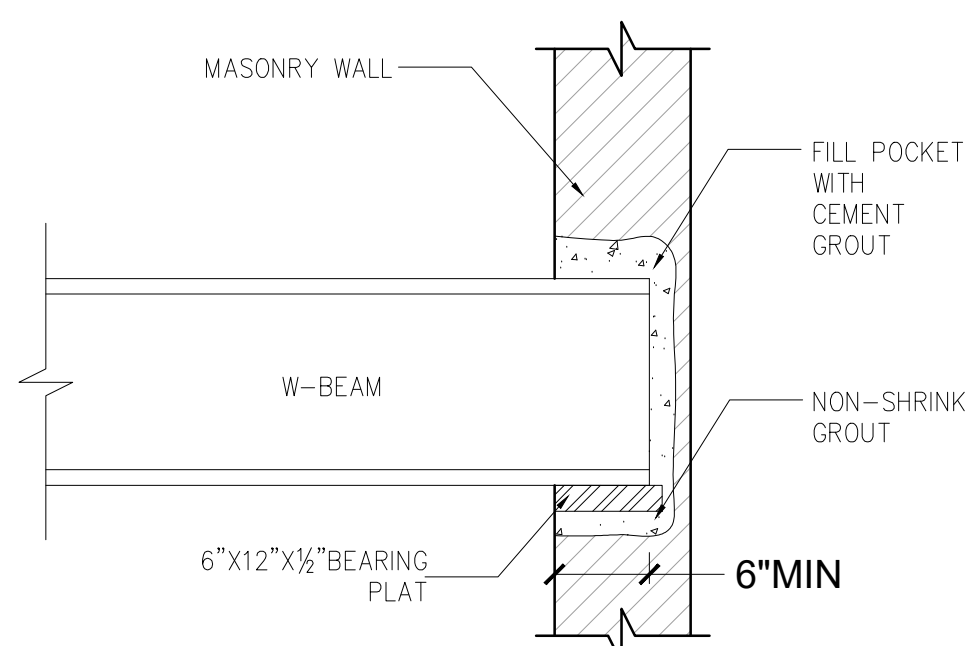
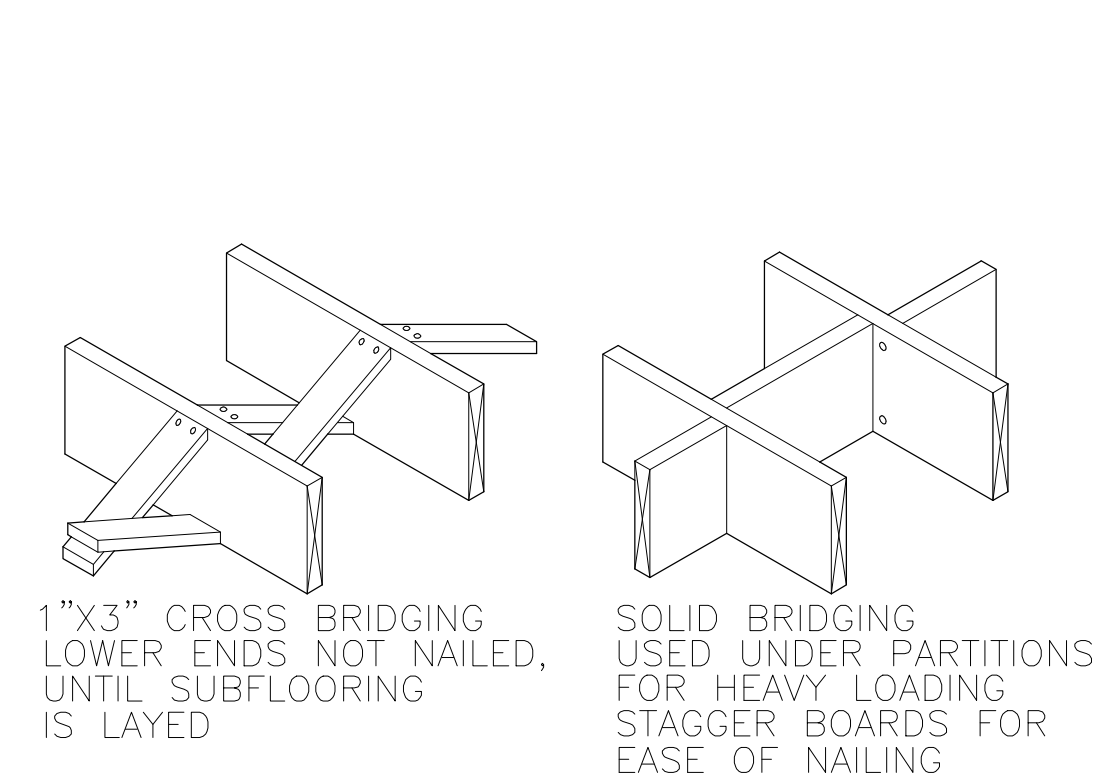
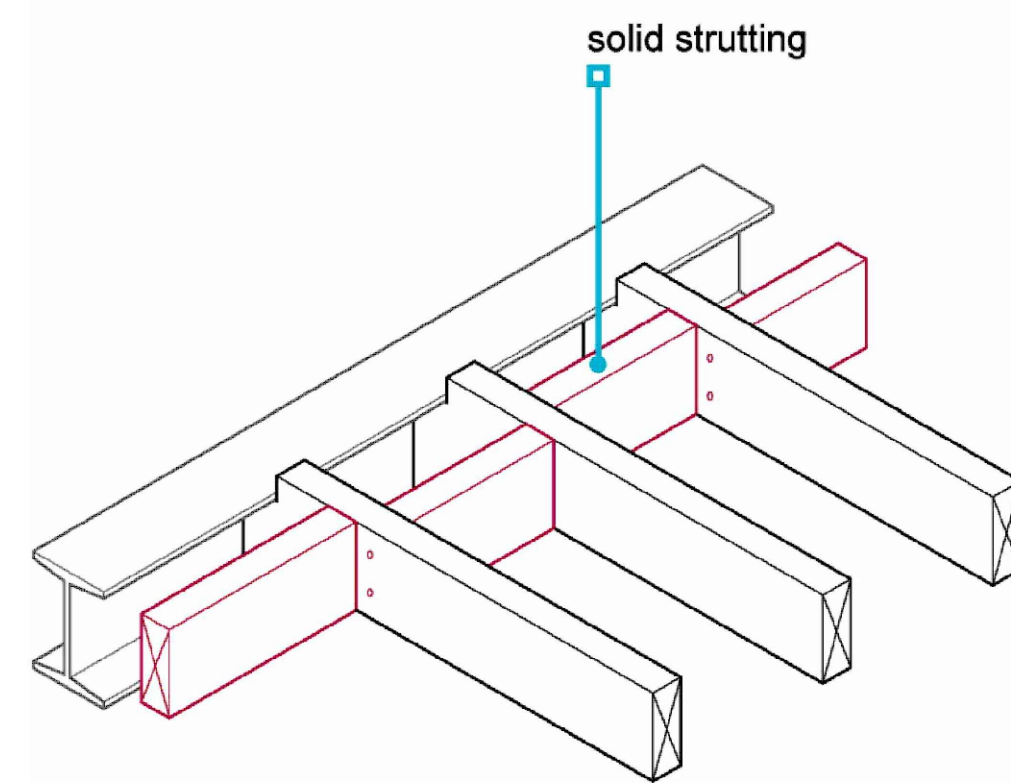
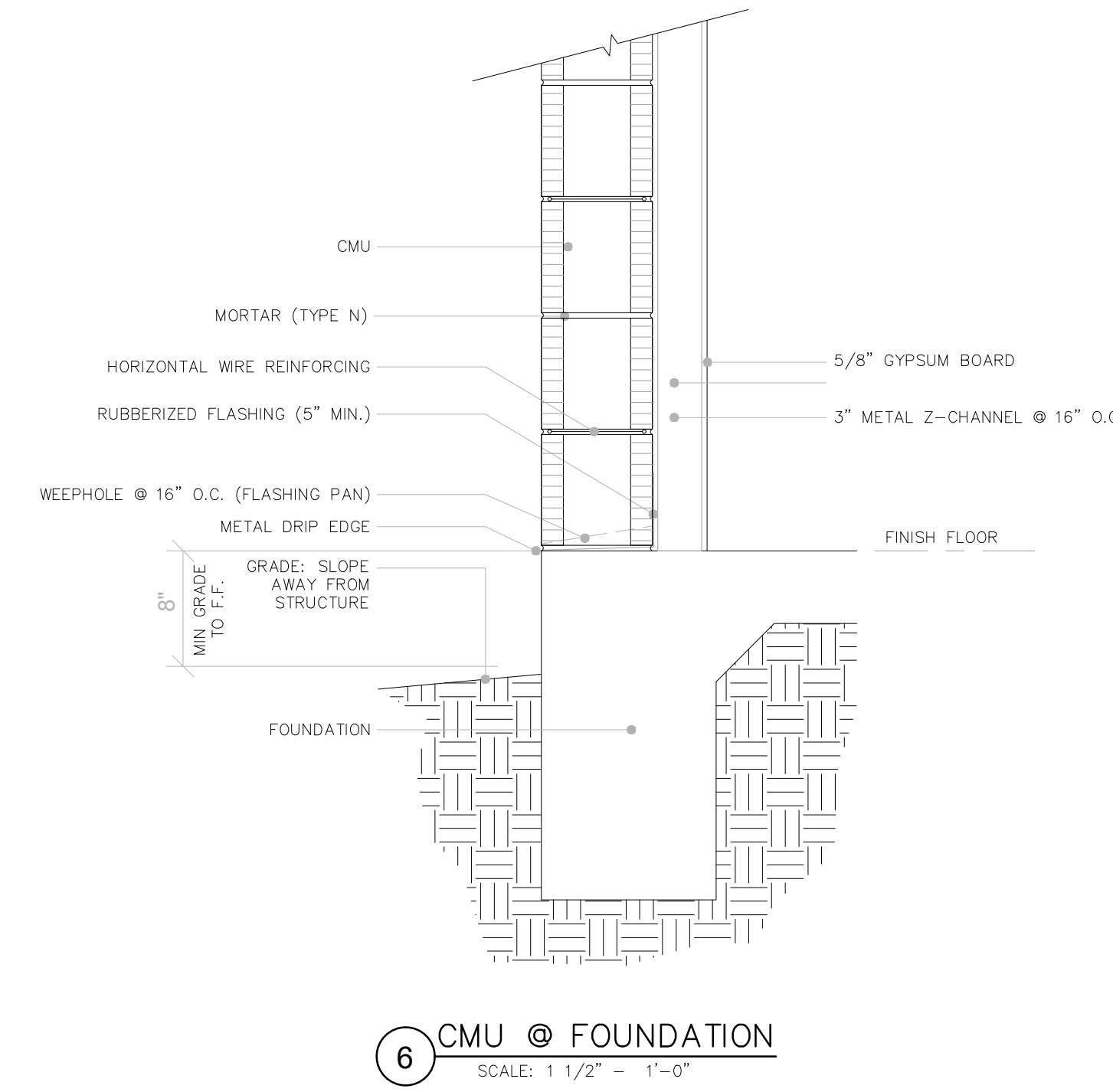
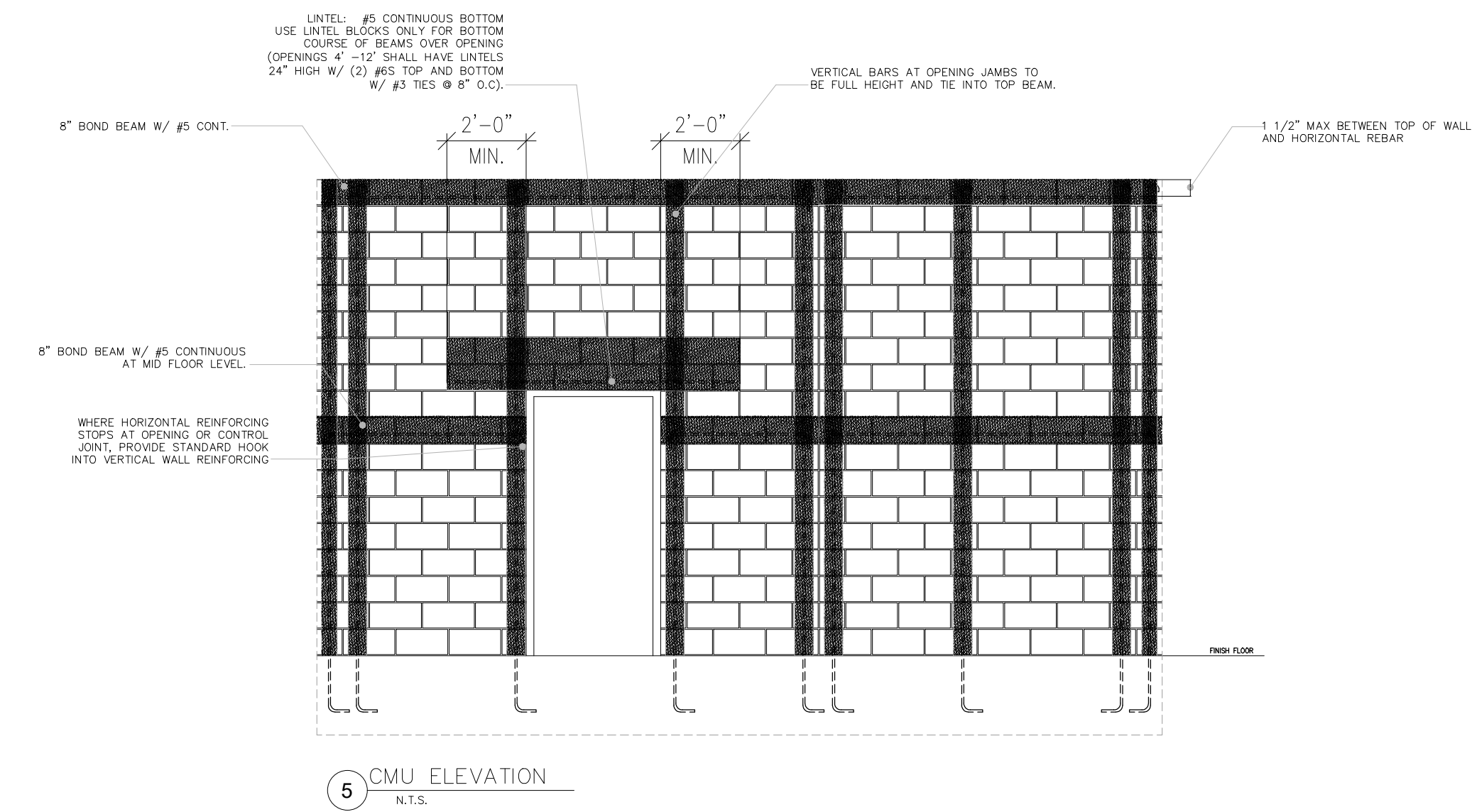
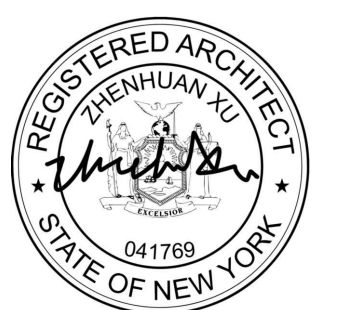


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DETAILS

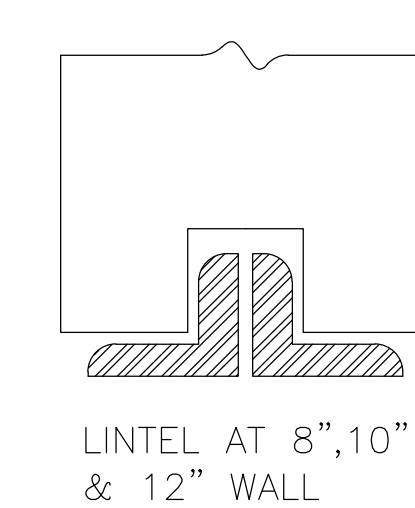
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LINTEL SCHEDULE

| OPNG. WIDTH (MAX) FT. | 10 & 12 IN. WALL |
|-----------------------|------------------------|
| 2 | 2-L3 1/2 X 3 1/2 X 1/4 |
| 4 | 2-L3 1/2 X 3 1/2 X 1/4 |
| 5 | 2-L3 1/2 X 3 1/2 X 1/4 |
| 6 | 2-L4 X 3 1/2 X 1/4 |
| 7 | 2-L5 X 3 1/2 X 5/16 |
| 8 | 2-L5 X 3 1/2 X 5/16 |



NOTE: FIRE PROOF LINTEL W/MTL LATH & 2" CEMENT PLASTER

4 LINTEL DETAILS
SCALE: N.T.S.

