



PATHLINE

PARK



An architectural rendering of a modern office park. The scene features a large, multi-story office building with a white frame and extensive glass windows. A prominent, tall, slender evergreen tree stands in the foreground on the left. A wide road with multiple lanes, including a dedicated bike lane, runs through the center. Several cars and bicycles are shown in motion. Pedestrians are walking on sidewalks. A sign in the foreground reads "PATHLINE PARK" and "IRVINE COMPANY". The sky is blue with scattered white clouds.

THINK OUTSIDE THE OFFICE

PATHLINE
PARK

IRVINE COMPANY

VISIONARIES WELCOME

Pathline Park is a **connected, living, breathing campus in the heart of Sunnyvale, CA**. It's an iconic, new kind of community in the center of Silicon Valley, blending indoors and outdoors, work and life, and creativity and industry through several key distinctions:

Innovative architecture sets a new standard for the next modern, sustainable business campus.

A **dynamic pedestrian promenade** threads through acres of green space, rich with centralized amenities and opportunities to connect and collaborate.

Unique districts offer private campus-within-a-campus opportunities for a conveniently centralized workspace.

YOUR NEW PATH STARTS HERE



42 ACRE
CAMPUS

1.3 MILLION
SQ. FT.

11 BUILDINGS
TOTAL

9 3-STORY BUILDINGS
88,000-121,000 SQ. FT.

2 4-STORY BUILDINGS
140,000-162,000 SQ. FT.

1 FREE-STANDING
AMENITY BUILDING

35,000 – 40,000 SQ. FT.
TYPICAL FLOOR PLATE



OVERVIEW

Campus Details



The campus is broken up into **unique districts**, allowing you to create a private, secure and **independent campus-within-a-campus** that brings your teams into one **consolidated space**.

Enjoy **onsite amenities** that make **work-life integration** seamless and efficient while enjoying the benefits of Pathline Park's **innovative business community**.

UNIQUE DISTRICTS OFFER A PRIVATE CAMPUS FEEL



OVERVIEW

Your Campus-Within-A-Campus

BUILDINGS 4, 5 & 6
AMENITY B • PARKING B

Total Completion	352,000 Sq. Ft. Oct. 2019
Building 4	105,000 Sq. Ft.
Building 5	106,000 Sq. Ft.
Building 6	121,000 Sq. Ft.
Amenity B	20,000 Sq. Ft.

BUILDINGS 7 & 8
PARKING C

Total Completion	250,000 Sq. Ft. Sept. 2020 - Mar. 2021
Building 7	162,000 Sq. Ft.
Building 8	88,000 Sq. Ft.

BUILDING 11
SURFACE PARKING

Total Completion	105,000 Sq. Ft. Oct. 2020
Building 11	105,000 Sq. Ft.



AN ARCHITECTURALLY ICONIC BUSINESS COMMUNITY

BUILDING SPECIFICATIONS

- Net Site Area ±42 Acres
- Amenity Building Rentable Area: 19,500 RSF

OVERALL DIMENSIONS

- A combination of three and four-story buildings
- 88,050 – 161,700 RSF

FLOOR / FLOOR HEIGHTS

- First floor: 16'
- Second floor: 14'-6"
- Top floor to roof: Varies; 14'-0" min. to 15'-9"
- Typical tenant finished ceiling height: 10'-0"

ELEVATORS

- Number of Cabs per Building: Three (3)
- Type: Kone Monospace 700 Gearless
- Traction MRL Speed: 350 feet per minute

BUILDING ENVELOPE

- 5' wide x 14'-6" high unitized curtain wall system with Duranar XL UC57638XL

- Viracon VRE30-38 insulated glazing unit with 4.5" x 7" extruded aluminum profiles

GROUND FLOOR ENTRY AREAS

- Starphire glazed balanced pivot doors with stainless steel hardware with panic device and closures

MAIN LOBBY

- Long Grain #4 stainless steel elevator doors and frames

PARKING

- Parking Ratio: 3.3/1,000
- Electric Vehicle Charging Stations

LEED

- Targeting Gold certification level

HEATING, VENTILATION AND AIR CONDITIONING

- Two high efficiency, rooftop mounted packaged VAV AC units per building each sized at 90-130 tons depending on building
- Outdoor condensing boiler plant consisting of two condensing boilers and two parallel, variable speed controlled, primary hot water pumps on the roof

FIRE PROTECTION

- Automatic Fire Sprinkler Systems (in accordance with NFPA 13, City of Sunnyvale Fire Marshal)

OUTDOOR PLAZA & BUILDING EDGES

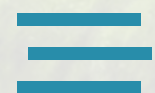
- Groves of redwoods will complement mature existing redwoods to be preserved
- A mix of regionally-relevant canopy and understory trees will provide seasonal interest and shade
- Bicycle lockers and bicycle racks on-site

ELECTRICAL SYSTEM

- Electrical service via underground utility lines brought to the site by PG&E
- Underground conduit infrastructure shall extend to pad mounted PG&E transformers located on-site adjacent to each building
- Buildings utilization voltage will be 277/480 volt, 3-phase, 4-wire with ampacity as required to accommodate square footages and loads
- Electrical service sizes are between 2,000 amps – 2,500 amps

TELECOMMUNICATION SYSTEM

- Service entrance shall consist of four (4) 4" underground conduits, one from AT&T, one from Comcast, one combined for other service provider's and one spare.
- Telecommunication rooms shall be provided stacked on each of the upper floors of the building, level 2 and up, with 4" conduit sleeves through the floor to interconnect.



OVERVIEW

Property Details

PRIME LOCATION

Pathline Park is in an unparalleled location, offering a dynamic workplace community in the center of Sunnyvale.

Position your company for success in the heart of Silicon Valley – the epicenter of innovation and technology.



TOP TALENT LIVES AND WORKS HERE

Recruit top talent from world-class universities right in your own backyard.



Stanford University



**Santa Clara
University**

Berkeley
UNIVERSITY OF CALIFORNIA



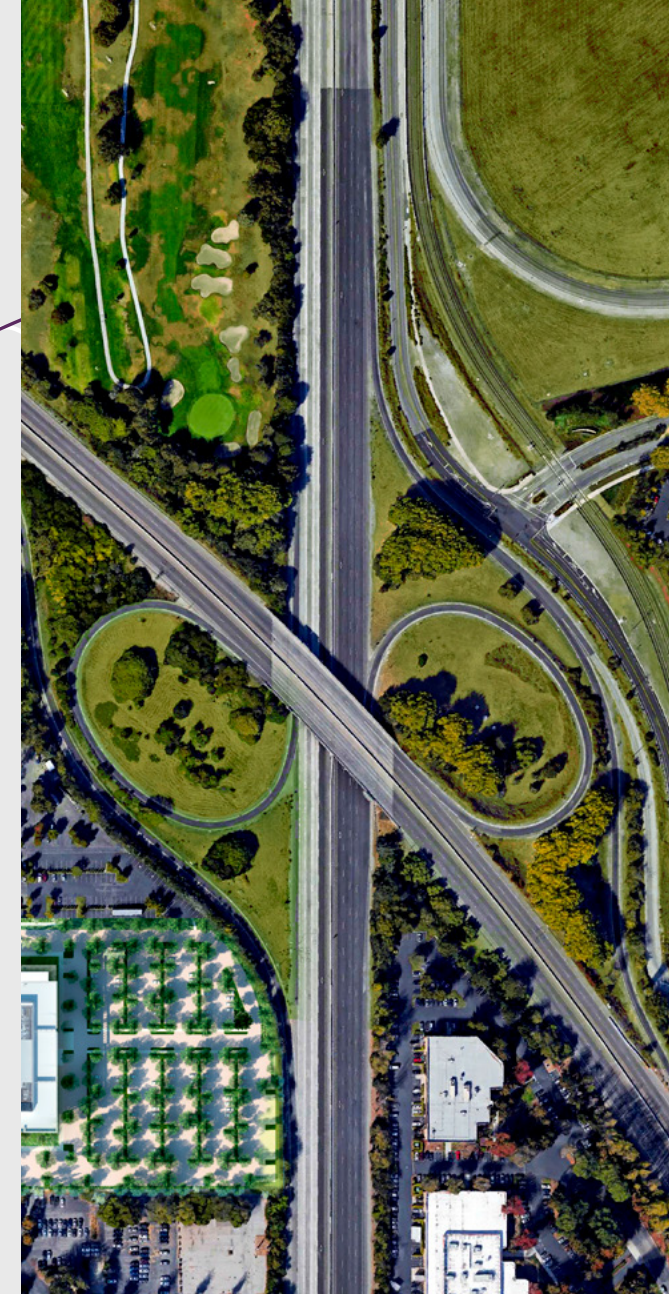
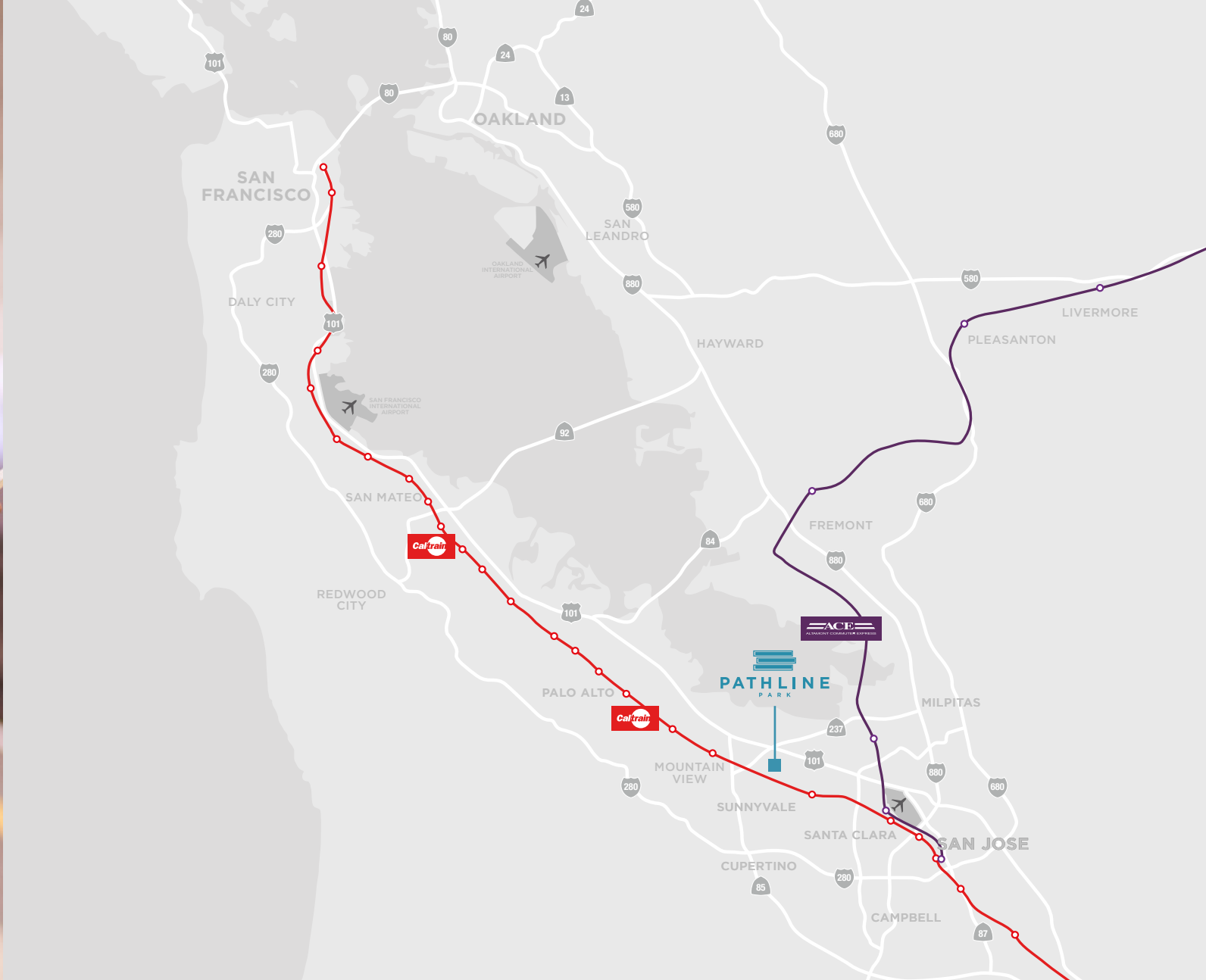
UC SANTA CRUZ

SJSU

**SAN JOSÉ STATE
UNIVERSITY**



LOCATION



LOCATION

Bay Area Commuter Map

Pathline Park is centrally located with convenient access to highways 101, 237, the Central Expressway and West Maude Ave., connecting your business to everything Silicon Valley has to offer.



GETTING AROUND IS EASY

-  Light Rail
Mountain View - Winchester
-  Shuttle to Mountain View
Cal Train Station
-  VTA to Sunnyvale
Cal Train Station
-  **Caltrain**
-  Caltrain Shuttle via
Mountain View
and Sunnyvale
-  Altamont Commuter
Express (ACE) / Capital
Corridor



LOCATION

Convenient for Commuters



LYFT PARTNERSHIP
ON-DEMAND COMMUTING



LOCATION

Multi-Modal
Transportation



ZAGSTER BIKE SHARE PROGRAM



LIGHT RAIL ACCESS



VIA MOUNTAIN VIEW
AND SUNNYVALE

Discover the unique commuting program at Pathline Park built on a robust partnership between Irvine Company and Lyft providing on-demand, stress-free commuting from local train stations, while the Zagster bike share program gives employees the flexibility and ease of biking to all Pathline destinations and beyond.



LOCATION

In Good Company

Pathline Park is situated amongst **northern California tech giants**, including neighboring companies in **software, medtech, cybersecurity and more.**



DESIGN

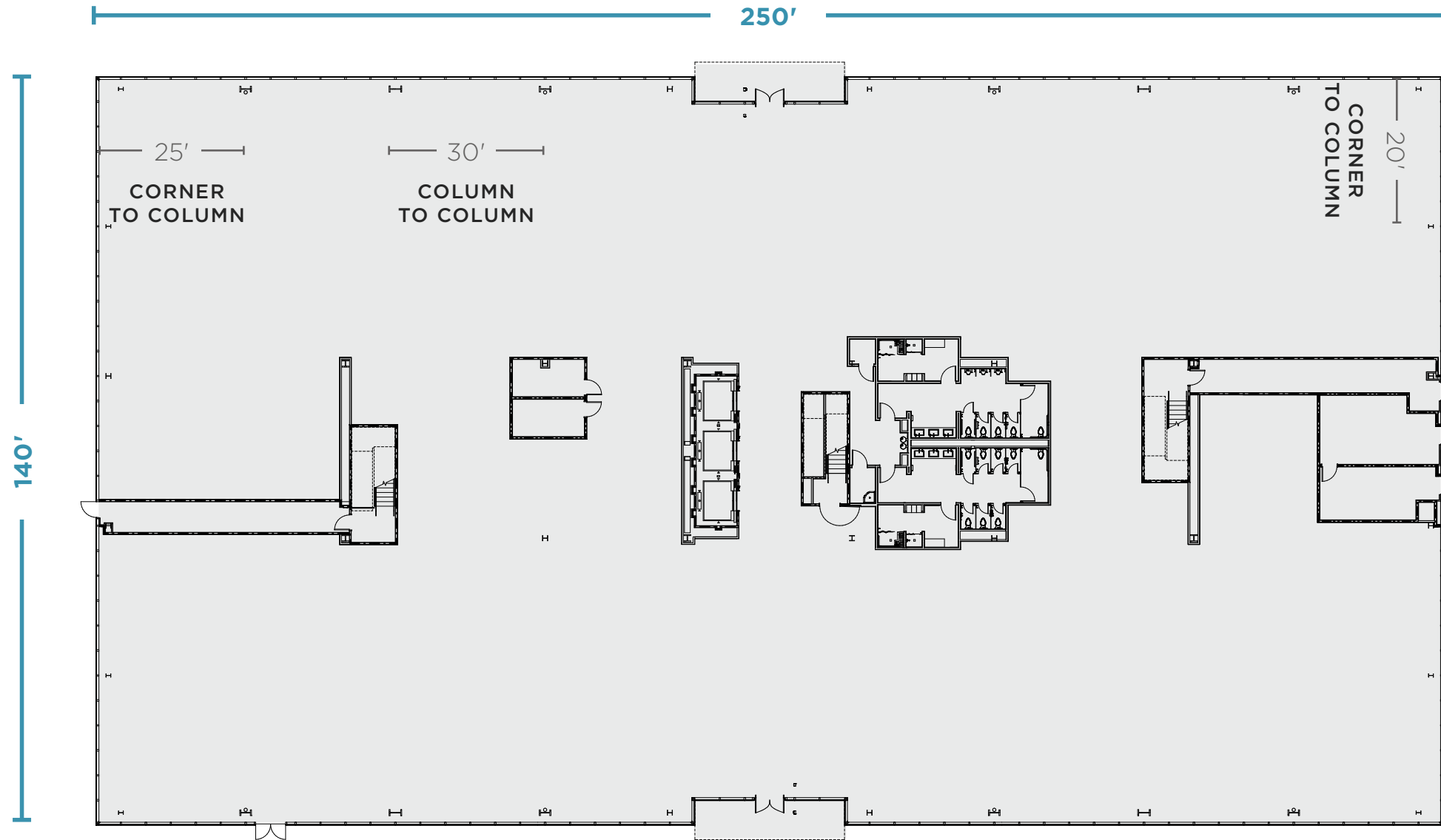
Materials That Make a Difference

Viracon glass exteriors invite an abundance of natural light into the work environment, inspiring productivity and positivity throughout the day.



A Campus That Inspires Innovation

Discover a variety of distinct architectural elevations offering elegantly terraced buildings in five eye-catching designs.



TYPICAL FIRST FLOOR

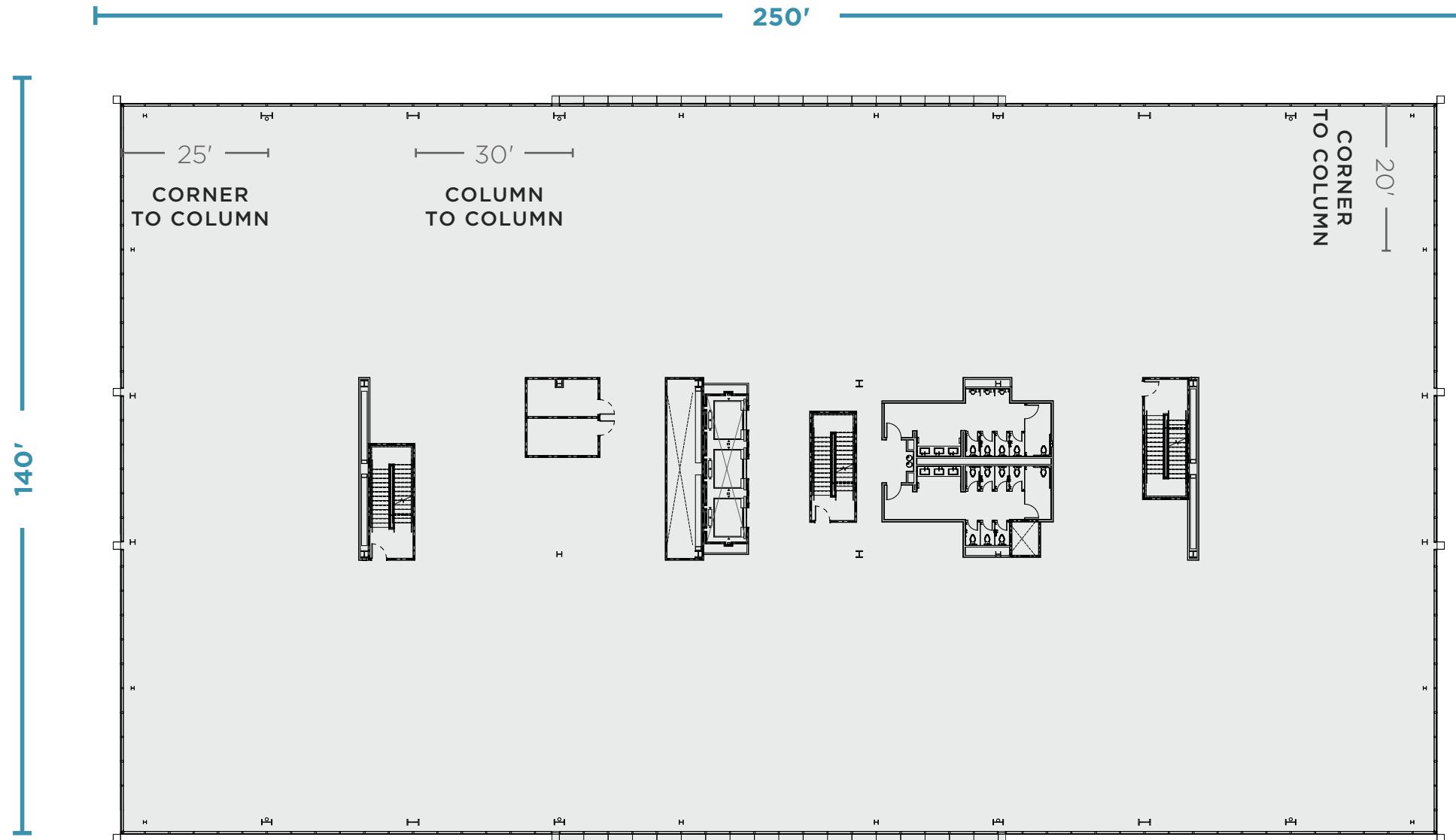


DESIGN

Typical Ground Floor Plan

INNOVATIVE SPACES FROM THE GROUND UP

- Generous +/- 35,000-40,000 sq. ft. floor plate designed to accommodate scalability and creativity
- 16' slab-to-slab; 10' drop ceiling
- Open column-free interior for progressive, modern space planning
- Extensive use of 10' floor-to-ceiling glass distributes natural light throughout the interior workspace, improving employee well-being and productivity



TYPICAL FLOOR PLAN

INNOVATIVE SPACES FROM THE GROUND UP

- Generous +/- 35,000-40,000 sq. ft. floor plate designed to accommodate scalability and creativity
- 14'-6" slab-to-slab; 10' drop ceiling
- Column-free interior for progressive, modern space planning
- Extensive use of 10' floor-to-ceiling glass distributes natural light throughout the interior workspace, improving employee well-being and productivity



DESIGN

Typical Floor Plan



ART PATH



1. SEQUENCES
2. CARTES I
3. PLUIE DE CALES

4. HYPERBOLE
5. TORSION
6. ECLAT

7. FUTURE COMMISSION
8. FUTURE COMMISSION
9. FUTURE COMMISSION



Community Art Path Program

Art Path is a unique exhibit offering the opportunity to traverse Pathline Park through a series of sculptures created by French artist Etienne Viard.

CONNECT & COLLABORATE

- **Ample open space** fuels team creativity and provides plenty of chances to unwind and refresh
- **Abundant indoor and outdoor seating** with **complementary WiFi** provides places to meet and collaborate
- **Free-standing amenity building** features **numerous food and beverage options**
- **Outdoor game areas** create unique opportunities for **team-building events** and casual games with co-workers
- Provide the perfect setting for **entertaining clients** or unwinding with colleagues
- **Flexible amenity space** allows for the evolution of programming offerings in the future



CONNECTIVITY

Amenities



INDOORS, MEET OUTDOORS

- From **shaded meeting areas** to **outdoor terraces**, Pathline Park transforms the idyllic landscape and extensive open spaces into a cohesive **modern workplace in the park**
- An abundance of **open space and lush landscape** integrated with Pathline Park's master plan
- Lined with native trees, grasses and plants, Pathline **connects businesses to trails and open spaces**
- Featuring **open seating areas and on-site amenities KINETIC**, a wellness movement that incorporates a **fully equipped fitness center**, and The Commons, a **dynamic outdoor gathering space**
- Outdoor office terraces create a truly **indoor-outdoor Integrated workspace**



CONNECTIVITY

Indoor/
Outdoor
Officing

WELLNESS IN THE WORKPLACE

A WELLNESS MOVEMENT FEATURING CUTTING-EDGE FITNESS CENTERS

- **Fitness On Demand** offering **virtual classes** including P90X, Zumba, Insanity and GAIAM Yoga
- Freestanding suspension **TRX band system**
- First class, **modern shower** and **locker facilities** complete with **towel service**
- **Studio room** offering top quality stationary bikes
- **Hydrotherapy massage room**
- Integrated app experience — access class schedules and inspiring wellness content from the **KINETIC app**
- Sweat it out with colleagues in **group fitness classes**
- Connect with **outdoor wellness initiatives**, including a **bikeshare program** and ample **walking paths** and **hiking trails**



KINETIC



CONNECTIVITY

Fitness

ABOUT IRVINE COMPANY

WE'RE IN IT FOR THE LONG HAUL

WHAT SETS IRVINE COMPANY® APART?

Our valued customers invest in something much more than an office. At your Vibrant Workplace Community®, what's exceptional today is only the beginning. Your business will be uniquely positioned to achieve unprecedented levels of success. Irvine Company's commitment to long-term ownership and continuous reinvestment means your business' home will only get better throughout the life of your lease.

Our promise to you?

An even better tomorrow.



IRVINE COMPANY



OWNED AND MANAGED BY



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