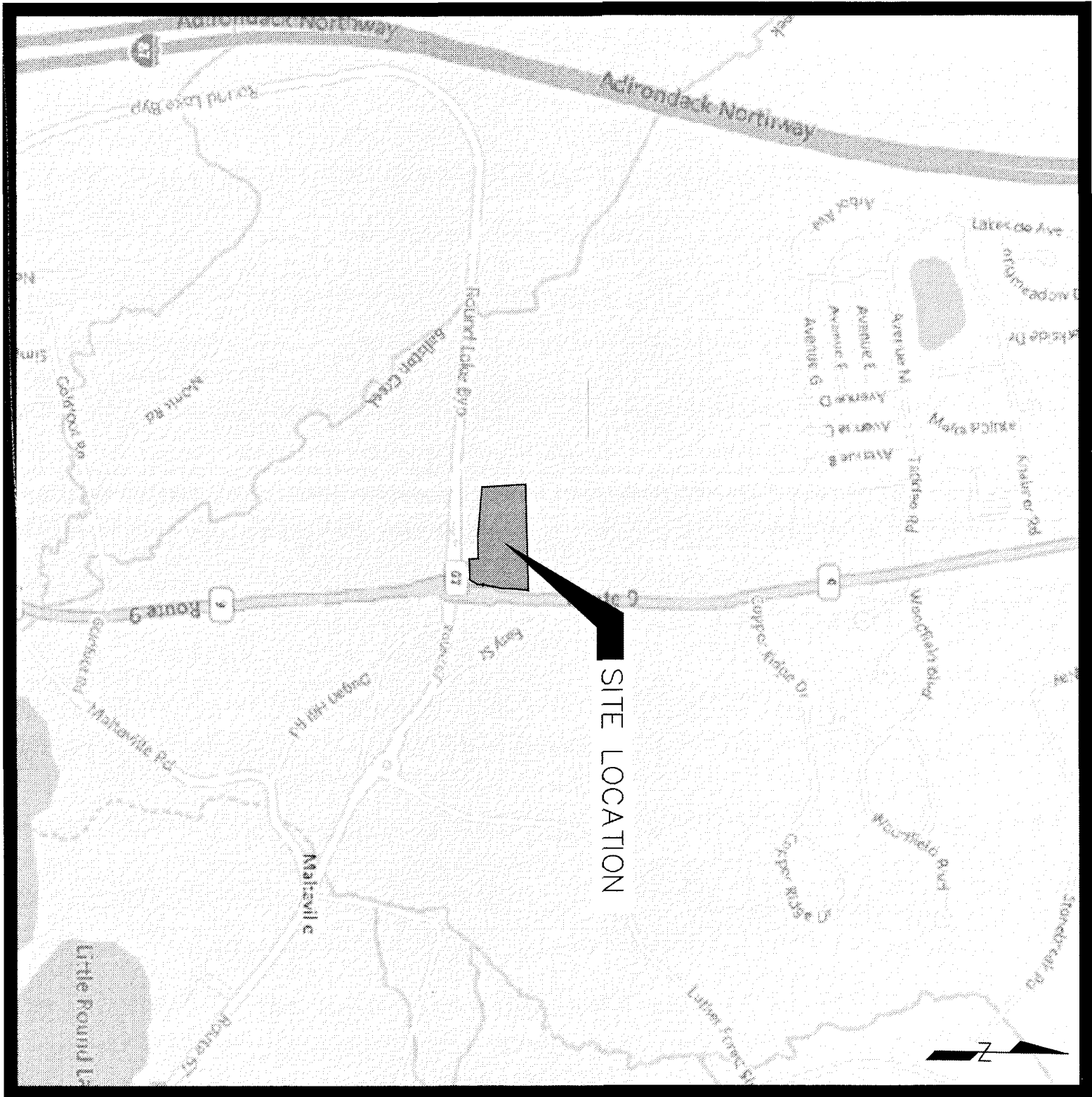


2272 NYS ROUTE 9 SITE PLAN

TOWN OF MALTA * SARATOGA COUNTY * NEW YORK

GENERAL NOTES:

- ENGINEERING DRAWINGS BASED ON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY GILBERT VANDUGHER LAND SURVEYOR, PLLC ENTITLED BOUNDARY & TOPOGRAPHIC SURVEY 2272 ROUTE 9 DATED APRIL 19, 2023.
- ALL TRAFFIC STORAGE FOR THE PROPOSED DEVELOPMENT SHALL CONFORM TO THE CURRENT VERSIONS OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE NEW YORK STATE SUPPLEMENTAL.
- ALL RIP-RAP STRUCTURES SHOWN SHALL BE CONSTRUCTED OF D STONE FILLING (UNLESS NOTED OTHERWISE).
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR URBAN EROSION AND SEDIMENT CONTROL AND MAINTAINED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN.
- ALL DISTURBED AREAS TO RECEIVE TOPSOIL, SEED, FERTILIZER AND MULCH TO ESTABLISH A PERMANENT STAND OF GRASS.
- SIZE AND LOCATION OF UNDERGROUND UTILITIES ARE SUBJECT TO VERIFICATION BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE SAFETY N.Y. OR 811 FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION.
- ALL KNOWN UTILITIES THAT EXIST ON OR ADJACENT TO THE PROJECT SITE HAVE BEEN SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND PRESERVE EXISTING UTILITIES.
- ALL UTILITIES DAMAGED OR DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE REPLACED IN KIND BY THE CONTRACTOR.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR WORK WITHIN PUBLIC RIGHTS-OF-WAY AS REQUIRED BY THE MUNICIPALITY AND ALL PERMITS REQUIRED FOR UTILITY WORK ON-SITE FROM THE TOWN.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR WORK ON-SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THERE SHALL BE NO CHANGES ON THESE PLANS IN ADVANCE OF, OR CONSTRUCTION WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER, THE OWNER AND THE MUNICIPALITY.
- ALL CONSTRUCTION SHALL CONFORM TO GENERALLY ACCEPTED CONSTRUCTION STANDARDS OR A.O.B.E.
- THE CONTRACTOR SHALL COMPLY WITH CONSTRUCTION INSPECTION REQUIREMENTS OF ALL AGENCIES, AND PHASE WORK ACCORDINGLY.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- FIELD ADJUSTMENT MUST BE REVIEWED BY A REPRESENTATIVE OF LANSING ENGINEERING PRIOR TO INSTALLATION.
- PROTECT NEWLY GRADED WORK AREAS FROM TRAFFIC AND EROSION, AND KEEP THEM FREE FROM TRASH AND DEBRIS UNTIL PHYSICAL COMPLETION OF WORK.
- CONTRACTORS OPERATIONS ON SITE WHICH SHALL INCLUDE BUT NOT BE LIMITED TO DUST CONTROL, MATERIAL HAULING, FIRE PROTECTION, EROSION CONTROL, ETC. SHALL BE CONDUCTED IN ACCORDANCE WITH TOWN OF MALTA REQUIREMENTS.
- LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK; IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE MAINTENANCE AND PROTECTION OF TRAFFIC WITH THE TOWN OF MALTA. ALL MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ALL NECESSARY STORAGE SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL UTILITY FRAMES SHALL BE SET AT THE BINDER COURSE ELEVATION AND RAISED TO THE TOP COURSE ELEVATION AT THE TIME OF TOP COURSE PLACEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TEMPORARY WORK EASEMENTS THAT MAY BE REQUIRED FOR EXCAVATION AND ASSOCIATED DISTURBANCE OUTSIDE OF THE RIGHT-OF-WAY ON ADJACENT PRIVATE LANDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND COORDINATE ANY REQUIRED BRACING OR RELOCATION OF ANY UTILITY POLE OR STRUCTURE WITH THE APPROPRIATE UTILITY COMPANY.
- ALL FILL TO ACHIEVE THE PROPOSED ELEVATIONS SHALL BE COMPACTED TO 98% PROCTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST AND COORDINATION OF THE TESTING AND DOCUMENTATION OF THE FILL MATERIAL AND THE COMPACTION OF THE FILL MATERIAL.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT THE SURFACE OF ALL EXISTING ROADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURFACE RESTORATION AND REPAIR RESULTING FROM THE CONTRACTOR'S ACTIVITIES. TREE TRIMMING SHALL BE PERFORMED BY THE CONTRACTOR AS NECESSARY WITHIN THE RIGHT-OF-WAY OR UTILITY EASEMENTS. ALL DISTURBED UTILITIES, DRIVEWAY CUTTERS, LAMPS, MAILBOXES, FENCES, SIGNS, DRIVEWAYS, DITCHES ETC. SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION, LINES, GRADES AND POSITIONS.
- ALL DISTURBANCE LIMITS AND SETBACKS SHALL BE STAKED OR FLAGGED IN THE FIELD PRIOR TO BEGINNING GRADING AND CLEARING ACTIVITIES.
- WATER SERVICES AND SEWER LATERALS SHALL BE SEPARATED BY 10 FEET MINIMUM HORIZONTALLY.
- PRIOR TO CONSTRUCTION, THE LOCATION OF ALL EXISTING UTILITY POLES, OVERHEAD UTILITIES AND UNDERGROUND UTILITIES ON THE SITE SHALL BE DETERMINED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER. THE COORDINATION AND COST FOR THE RELOCATION OR MODIFICATION OF ANY UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COSTS FOR THIS UTILITY WORK SHALL BE PROVIDED TO THE OWNER AND DESIGN ENGINEER FOR REVIEW.
- ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION AROUND MATURE VEGETATIVE BUFFERS & WETLANDS TO BE PRESERVED.



SITE LOCATION MAP



SITE STATISTICS

PARCEL AREA	6.31 ± AC
PARCEL TAX ID	240-2-281
EXISTING ZONING	C9 GATEWAY & R1 RESIDENTIAL (PROPOSED SITE PLAN WITHIN C9 ZONING AREA)
MINIMUM AREA REQUIREMENTS	FRONT BUILDING SETBACK - 50' MIN. SIDE BUILDING SETBACK - 50' MIN. REAR BUILDING SETBACK - 50' MIN. PARKING SETBACK FROM SIDE STREET - 50' MIN. SIDE PARKING SETBACK FROM SIDE STREET - 15' MIN. REAR PARKING SETBACK - SAME AS BUILDING SETBACK (50' MIN.) LOT SIZE - 40,000 SF MIN. LOT DEPTH - 100' MIN. LOT FRONTAGE - 200' MIN. BUILDING HEIGHT - 40' MAX.
BUILDING PROPERTIES	48 TOTAL UNITS 19,000 SF FOOTPRINT
PARKING REQUIREMENTS	2 STALL PER UNIT = 96 STALLS
PARKING PROVIDED	96 STALLS (4 ACCESSIBLE STALLS)
UTILITY PROVISIONS	WATER - SARATOGA WATER SERVICES SEWER - MUNICIPAL CONNECTION (SCSD#1) STORMWATER - ON-SITE MITIGATION
SITE COVERAGE STATISTICS	BUILDING COVERAGE 19,000 SF = 6.9%
	PARKING COVERAGE 15,319 SF = 5.6%
	PAVED/SIDEWALK COVERAGE 38,545 SF = 14.0%
WETLAND DISTURBANCE	40,066 ACRES
AMENITY SPACE	REQUIRED = 5,144 SF PROVIDED = 5,117 SF

SHEET LIST TABLE

SHEET NUMBER	SHEET DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	LAYOUT & MATERIALS PLAN
4	UTILITIES & GRADING PLAN
5	SPOT GRADING PLAN
6	EMERGENCY ACCESS PLAN
7	SITE AMENITIES PLAN
8	PLAN & PROFILE WATERMAIN EXTENSION (1 OF 2)
9	PLAN & PROFILE WATERMAIN EXTENSION (2 OF 2)
10	PLAN & PROFILE WATER SERVICE
11	EROSION & SEDIMENT CONTROL PLAN
12	LANDSCAPING PLAN
13	LIGHTING PLAN
14	EROSION & SEDIMENT CONTROL DETAILS
15	STORM SEWER DETAILS
16	SANITARY SEWER DETAILS
17	WATER SYSTEM DETAILS (1 OF 2)
18	WATER SYSTEM DETAILS (2 OF 2)
19	MISCELLANEOUS SITE DETAILS (1 OF 2)
20	MISCELLANEOUS SITE DETAILS (2 OF 2)
21	STORMWATER MANAGEMENT DETAILS (1 OF 2)
22	STORMWATER MANAGEMENT DETAILS (2 OF 2)
23	GREEN INFRASTRUCTURE PLAN
24	INSOIL DEMOLITION & LAYOUT PLAN
25	INSOIL SIGN PLAN & DETAILS
26	INSOIL NOTES & WZIC SIGN TABLES
27	INSOIL LAKE CLOSURE & SHOULDER WORK DETAILS
28	INSOIL SIDEWALK DETAILS
29	INSOIL CONCRETE GUTTER, WZIC & SHOULDER CLOSURE DETAILS

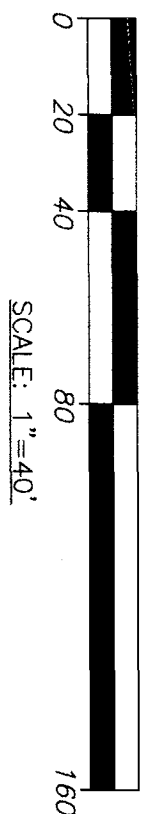
SOIL APPRAISAL - DEEP HOLE TESTS - PERFORMED 4/14/2023 BY LANSING ENGINEERING

TEST PIT #1	TEST PIT #2	TEST PIT #3	TEST PIT #4	TEST PIT #5	TEST PIT #6	TEST PIT #7	TEST PIT #8	TEST PIT #9
0-6" TOPSOIL & ORGANICS 6"-40" MEDIUM BROWN SILTY CLAY W/ SHALE FRAGMENTS 40"-7								

NOTES:
1. SARATOGA WATER SERVICES INC. TO BE INVOLVED TO VERIFY REMOVAL OF ALL EXISTING WELLS AND CONFIRM WELLS ARE NOT TO REMAIN IN USE AND REMOVED IN ACCORDANCE WITH NYSDOH SPECIFICATIONS.
2. REMOVED IN ACCORDANCE WITH NYSDOH SPECIFICATIONS.



EXISTING CONDITIONS & DEMOLITION PLAN



Town of Malta
refer to main page
for approved signature and date
NEW YORK STATE DEPARTMENT OF HEALTH
Gina F. LaRocca, Director
Refer to first sheet for approved date and signature.

EXISTING
CONDITIONS &
DEMOLITION PLAN

PROJ. NO.: 470.01
SCALE: AS SHOWN
DATE: 4/28/2023
SHEET 2 OF 29
ED-1

2272 NYS ROUTE 9 SITE PLAN 2272 ROUTE 9 SITE PLAN, TOWN OF MALTA, SARATOGA COUNTY, NEW YORK

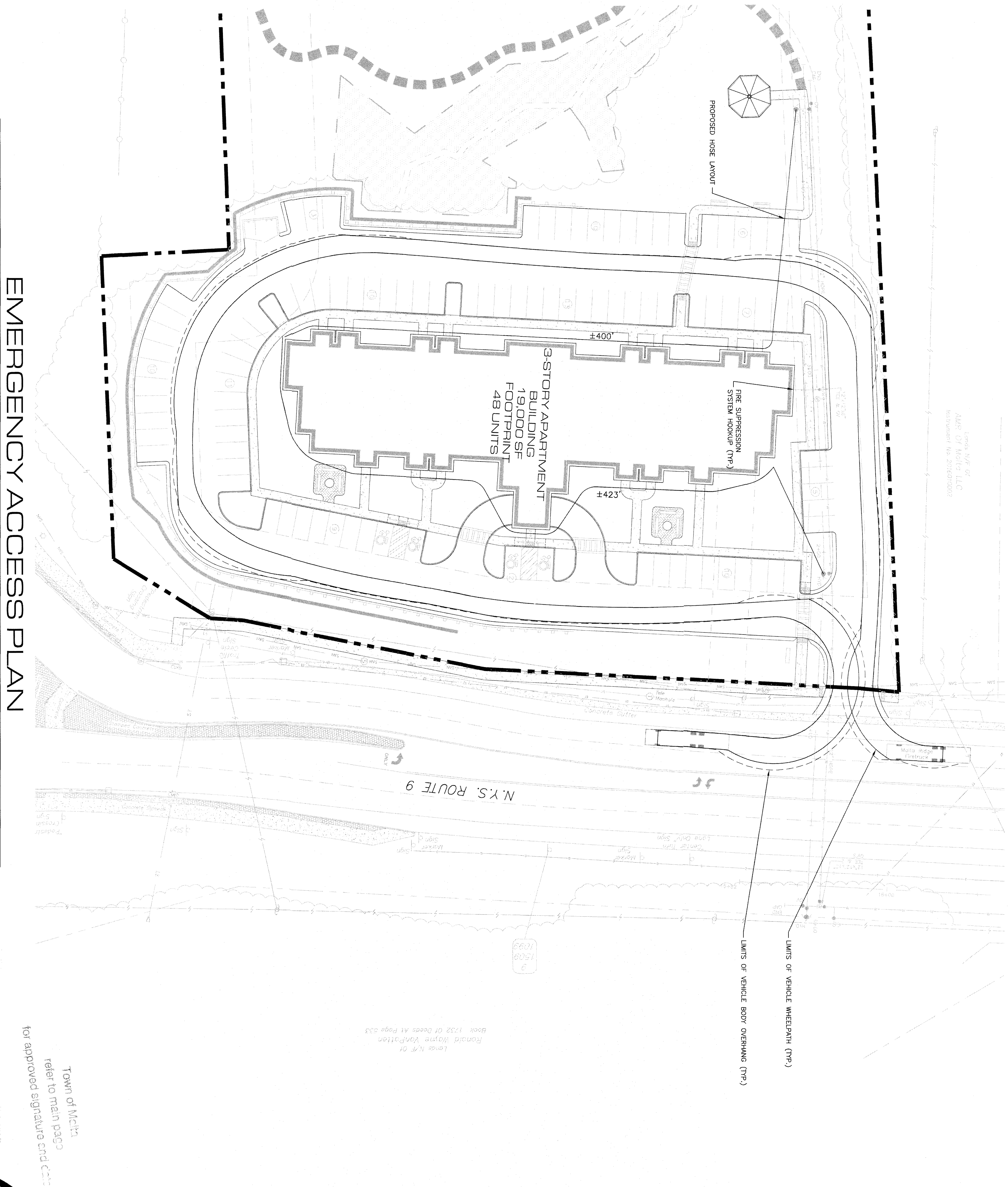
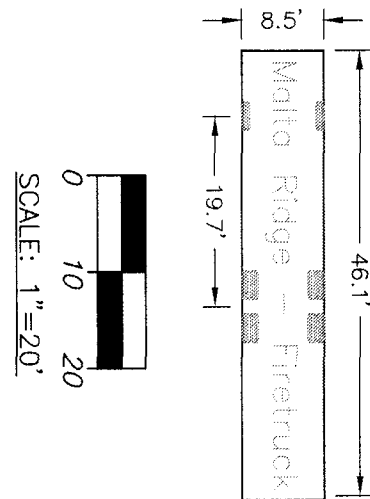
DATE	REVISIONS RECORD/DESCRIPTION
5/7/2024	REVISIONS PER SWS COMMENTS
5/14/2024	REVISIONS PER NYS DOT COMMENTS
8/21/2024	REVISIONS PER NYS DOH COMMENTS
9/24/2024	FINAL PLANS

2452 STATE ROUTE 9 SUITE 301 - MALTA, NY 12020 - (518) 899-5243

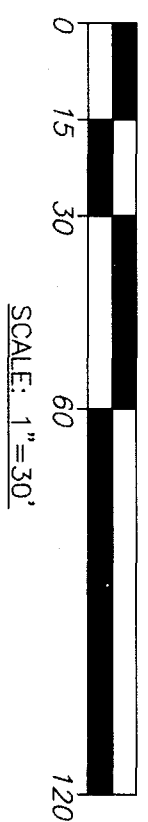


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EMERGENCY ACCESS PLAN



Town of Malta
refer to main page
for approved signature and date

NEW YORK STATE DEPARTMENT OF HEALTH
Grant Falls District Office
Refer to this sheet for approved date and signature.

EMERGENCY
ACCESS PLAN

PROJ. NO. 470-01
SCALE: AS SHOWN
DATE: 4/28/2023
SHEET 6 OF 29

2272 NYS ROUTE 9 SITE PLAN 2272 ROUTE 9 SITE PLAN, TOWN OF MALTA, SARATOGA COUNTY, NEW YORK

DATE	REVISIONS RECORD/DESCRIPTION
5/7/2024	REVISIONS PER SWS COMMENTS
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