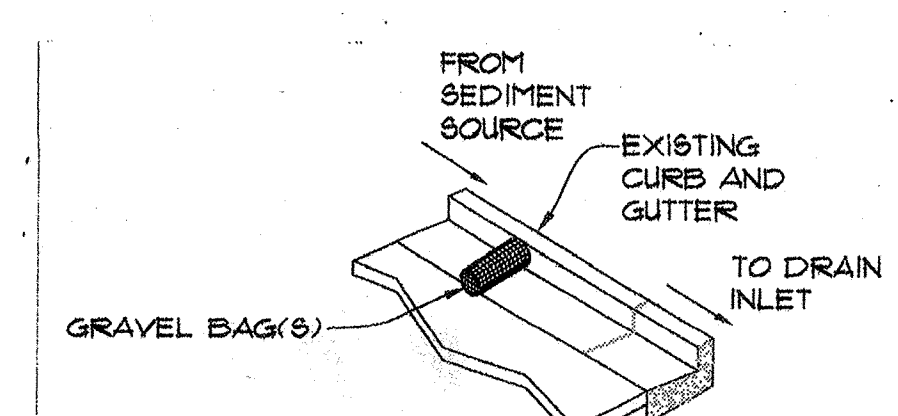
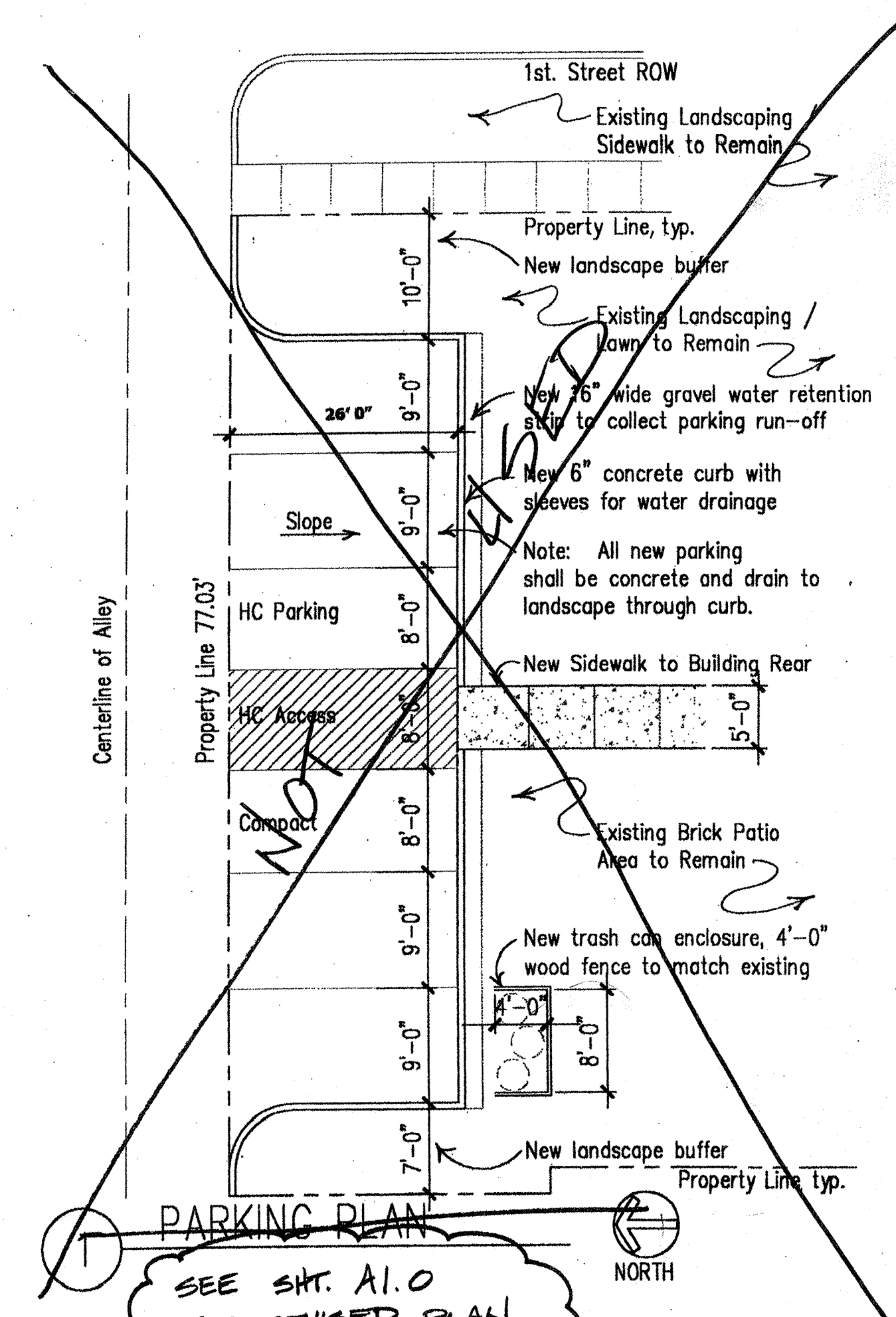
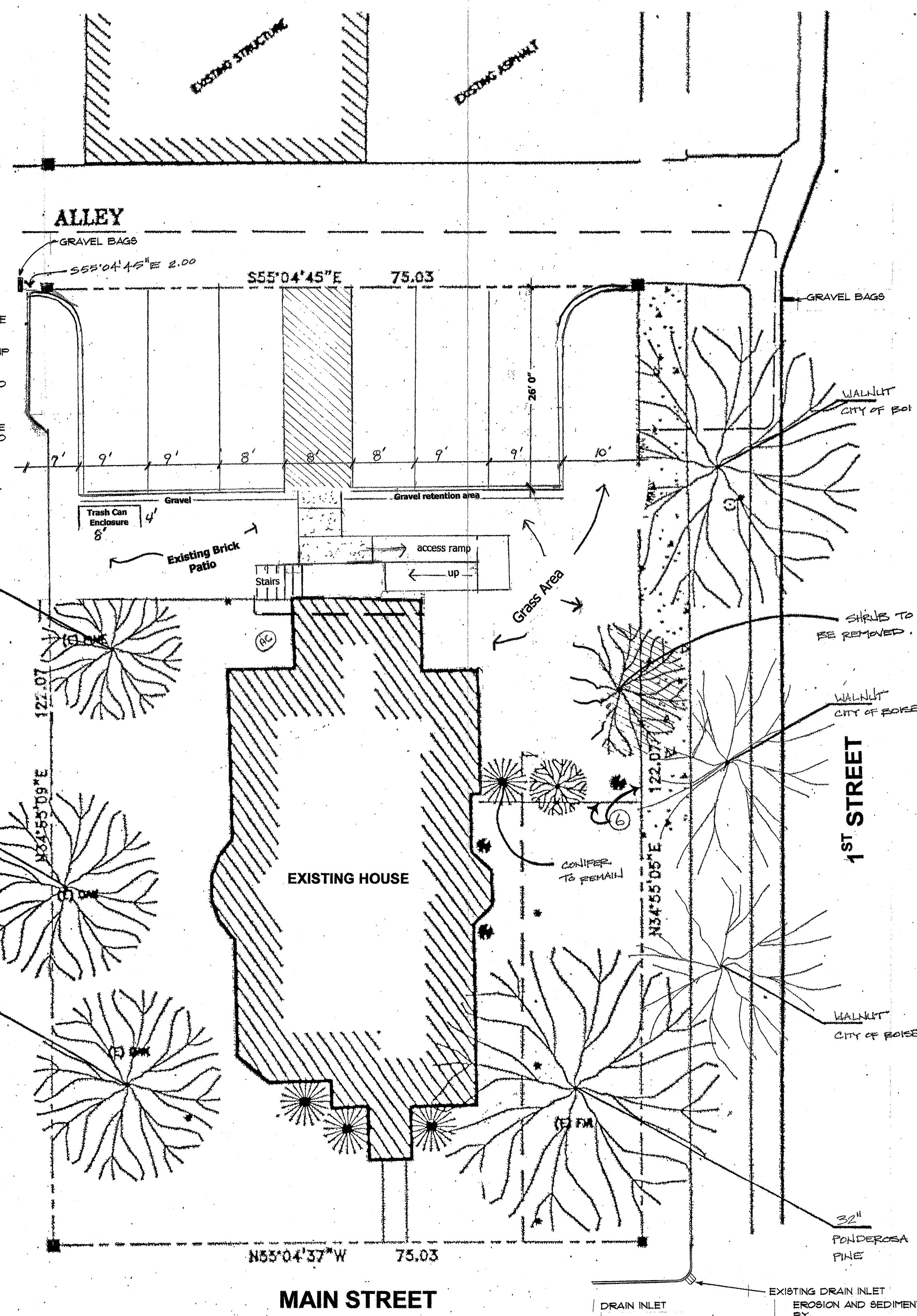


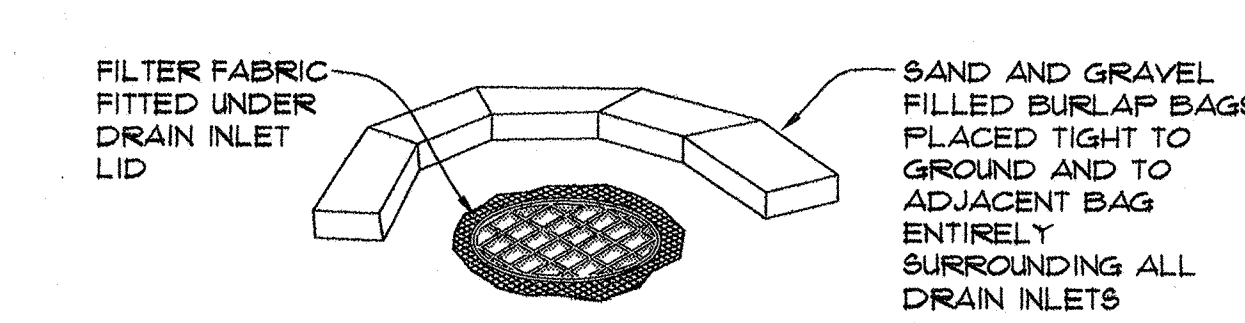
**EROSION AND SEDIMENT CONTROL NOTES**

1. SEE ALSO ARCHITECTURAL PLAN FOR DETAILED SUMMARY OF WORK.
2. EARTHWORK CONSTRUCTION SHOULD BE SCHEDULED DURING DRY WEATHER TO REDUCE EROSION AND SEDIMENT POTENTIAL.
3. STRIP ONLY AREAS THAT REQUIRE REMOVAL OF EXISTING VEGETATION, WHERE POSSIBLE LEAVE A VEGETATION BUFFER STRIP AROUND THE SITE CONSTRUCTION AREA.
4. SCHEDULE VEGETATION AND TOPSOIL STRIPPING AS CLOSE AS POSSIBLE TO BEGINNING OF CONSTRUCTION ACTIVITIES. STRIPPED AREAS SHOULD NOT BE LEFT UNCOVERED WHENEVER POSSIBLE.
5. DEMOLITION ITEMS AND TOPSOIL TO BE PERMANENTLY REMOVED SHOULD BE DISPOSED OFF SITE.
6. STOCKPILES OF EARTH MATERIAL SHOULD BE COVERED TO PREVENT WIND AND RAINWATER EROSION.
7. ANY HAZARDOUS WASTE MATERIAL ENCOUNTERED SHOULD BE PROPERLY DISPOSED SEPARATELY FROM GENERAL SITE DEBRIS.
8. DURING DEMOLITION, STRIPPING AND CONSTRUCTION THE AREA SURROUNDING THE SITE SHOULD BE KEPT CLEAN. TRANSPORT OF MUD, SEDIMENT OR OTHER DEBRIS SHOULD BE MINIMIZED.
9. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO USING A SINGLE CONSTRUCTION ENTRANCE. PRECAUTIONS SHALL BE TAKEN TO PREVENT TRANSPORT OF DIRT, MUD AND DUST FROM THE SITE.
10. THE AREA SURROUNDING THE SITE SHOULD BE INSPECTED TWICE DAILY AND CLEANED UP AS NEEDED BY SWEEPING THE PUBLIC STREET AND CONSTRUCTION ENTRANCE.
11. SITE SOILS SHOULD BE LIGHTLY WATERED DURING DRY WEATHER OR OTHERWISE TREATED TO PREVENT DUST TRANSPORT FROM THE SITE.
12. CONCRETE TRUCK WASHOUT IS NOT ALLOWED NEAR DRAIN INLETS OR ALLOWED TO FLOW TO DRAIN INLETS. IF CLEANOUT AT THE SITE IS NEEDED, WASH WATER AND EXTRA CONCRETE SHOULD BE DUMPED TO A DESIGNATED AREA AND ALLOWED TO HARDEN. ONCE HARDENED THE CONCRETE SHOULD BE DISPOSED WITH REGULAR CONSTRUCTION DEBRIS.
13. CONTRACTOR AND/OR EROSION AND SEDIMENT CONTROL PERMIT HOLDER ARE RESPONSIBLE FOR COMPLIANCE WITH BOISE CITY ORDINANCE REGARDING EROSION AND SEDIMENT CONTROL. SUB CONTRACTORS SHOULD BE INFORMED OF EROSION AND SEDIMENT CONTROL REQUIREMENTS.
14. CONTRACTOR SHALL AND KEEP RECORDS OF INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES.



- NOTES:**
1. PLACE GRAVEL BAG(S) IN FLOW LINE TIGHTLY AGAINST GUTTER TO PROTECT EXISTING DRAIN INLETS FROM SEDIMENT AND DEBRIS DURING CONSTRUCTION.
  2. INSPECT DAILY AND PRIOR TO RAINFALL FORECAST, DURING RAINFALL AND AFTER RAINFALL EVENT.
  3. GRAVEL BAGS SHOULD BE BURLAP BAGS LOOSELY FILLED WITH WELL GRADED SANDY GRAVEL MIXTURE WITH UNDER 1" ROCK AND LESS THAN 2% PASSING THE #200 SIEVE.

GRAVEL BAG DETAIL  
N.T.S.



- NOTES:**
1. SAND AND GRAVEL FILLED BURLAP BAGS AND FILTER FABRIC SHALL BE PLACED TO PROTECT NEW DRAIN INLETS FROM SEDIMENT AND DEBRIS DURING CONSTRUCTION.
  2. INSPECT DAILY AND PRIOR TO RAINFALL FORECAST, DURING RAINFALL AND AFTER RAINFALL EVENT, REPAIR AS NEEDED.
  3. BURLAP BAGS SHOULD BE LOOSELY FILLED WITH A WELL GRADED SAND AND GRAVEL MIXTURE WITH UNDER 1" ROCK AND LESS THAN 2% PASSING THE #200 SIEVE.

STORM DRAIN INLET PROTECTION DETAIL  
N.T.S.

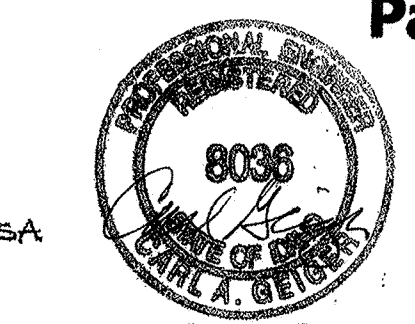
**EROSION AND SEDIMENT CONTROL PLAN**

**KEYED NOTES**

1. EXISTING GARAGE TO BE REMOVED OFF-SITE.
2. EXISTING ASPHALT PARKING AREA TO BE REMOVED.
3. EXISTING OPEN PORCH LANDING AND STAIR TO BE REMOVED.
4. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
5. EXISTING RAISED LANDSCAPE BE TO BE REMOVED.
6. EXISTING 6'-0" WOOD FENCE TO BE REMOVED.
7. EXISTING UNHEALTHY LANDSCAPE SHRUBS TO BE REMOVED AND REPLACED WITH LAWN AND PLANTER BEDS ADJACENT TO SIDEWALKS.

**GENERAL NOTES**

- A. ALL EXISTING TREES AND MATURE LANDSCAPING TO REMAIN UNLESS OTHERWISE NOTED. PROTECT TREES PER THE CITY OF BOISE RECOMMENDATIONS.
- B. EXISTING UTILITY SERVICES TO REMAIN UNCHANGED FOR SUPPORT OF PROPOSED USE AND IMPROVEMENTS.
- C. ALL SIGNAGE SHALL BE SOUGHT UNDER SEPARATE APPROVAL / PERMIT. EXTERIOR STREET LIGHTING EXISTING BY CITY OF BOISE. ALL EXTERIOR BUILDING LIGHTING TO REMAIN AS EXISTING.
- E. ALL NEW FINISHES, MATERIALS, AND PAINT COLOR SHALL MATCH THOSE OF THE EXISTING STRUCTURE.
- F. ALL MECHANICAL SYSTEMS TO REMAIN AS EXISTING. AC CONDENSING UNIT ON WEST SIDE SHALL BE SCREENED WITH LANDSCAPING.
- G. EXISTING AUTOMATIC IRRIGATION SYSTEM TO REMAIN, MODIFY TO ACCOMMODATE CHANGES TO SPRAY PATTERN REQUIRED.



**Parking and Landscape plan**  
SCALE: 1/8" = 1'-0"  
NORTH

**EHM Engineers Inc.**  
ENGINEERS/SURVEYORS/PLANNERS  
516 S. CAPITOL BLVD., SUITE 201  
BOISE, IDAHO 83702  
(208)386-9170 FAX (208)386-9076  
E-MAIL: ehm1@mindspring.com

EROSION AND SEDIMENT CONTROL PLAN PREPARED BY:  
CARL GEIGER, P.E.  
EHM ENGINEERS  
516 S. CAPITOL BLVD., SUITE 201  
BOISE, ID 83702  
(208) 386-9170  
BOISE CITY LICENSE NO. CON02-00415  
LICENSE TYPE: PD

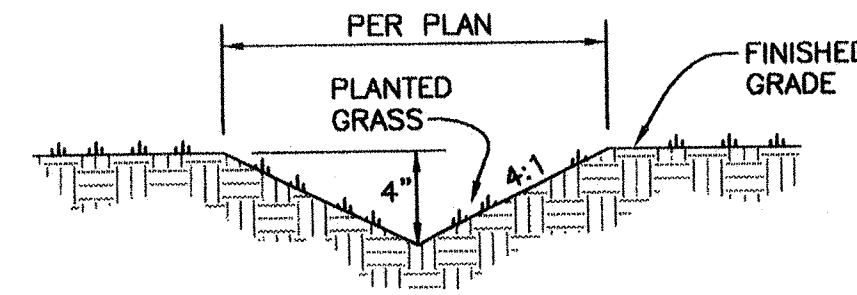
### GENERAL NOTES

1. LOCATION OF EXISTING SITE FEATURES AND IMPROVEMENTS (SHOWN SCREENED) ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS.
2. CONTRACTOR SHALL HAVE UNDERGROUND UTILITIES LOCATED AND MARKED PRIOR TO EXCAVATION. CALL DIGLINE 342-1585.
3. INSPECTION AND APPROVAL BY BOISE CITY SHALL BE OBTAINED PRIOR TO COVER OR BACKFILL OF DRAINAGE FACILITIES. 24 HOURS NOTICE REQUIRED.
4. STORMWATER MANAGEMENT DESIGN IS BASED ON BOISE CITY REQUIREMENTS. THE DESIGN STORM IS THE 50-YEAR STORM EVENT, 0.9" OF RAINFALL FOR 1-HOUR. ALL STORMWATER SHALL BE RETAINED ON SITE.
5. IF GROUNDWATER IS ENCOUNTERED WITHIN 3' FROM THE BOTTOM OF THE INFILTRATION BASIN THE DRAINAGE FACILITY MAY REQUIRE RESIZING. THE CITY AND THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY.
6. ANY CHANGES TO THE DRAINAGE AND STORMWATER MANAGEMENT SYSTEMS REQUIRE APPROVAL BY BOISE CITY PRIOR TO CONSTRUCTION.
7. PROVIDE PROTECTION OF PUBLIC RIGHT OF WAY FROM TRANSPORT OF SEDIMENT AND MUD DURING CONSTRUCTION. INSPECT PUBLIC RIGHT OF WAY AT LEAST DAILY AND CLEANUP AS NEEDED.

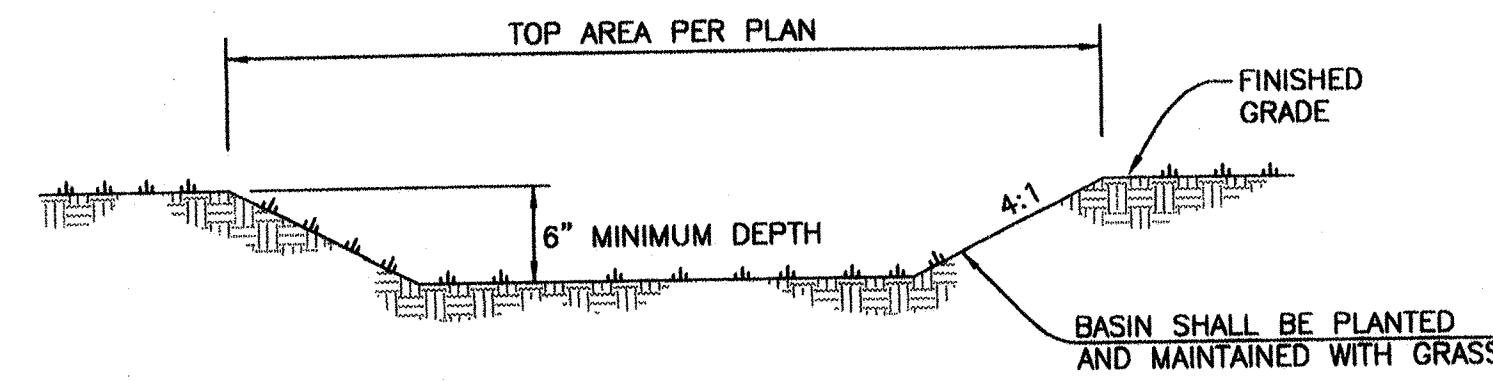
### STORMWATER MANAGEMENT

BASIN NO.	VOLUME REQUIRED (cf)	LENGTH (ft)	WIDTH (ft)	DEPTH (ft)
1	80	SEE PLAN	SEE PLAN	4" & 6"
2	80	SEE PLAN	SEE PLAN	4" & 6"

- NOTES:
1. SEE THIS SHEET INFILTRATION BASIN DETAILS.
  2. DESIGN STORM IS THE 50-YEAR STORM, 0.9 IN/HR.
  3. NOTIFY DESIGN ENGINEER AND CITY IF GROUNDWATER IS FOUND WITHIN 3' FROM BOTTOM OF STORMWATER BASINS.



① SHALLOW GRASSY INFILTRATIVE BASIN DETAIL  
N.T.S.

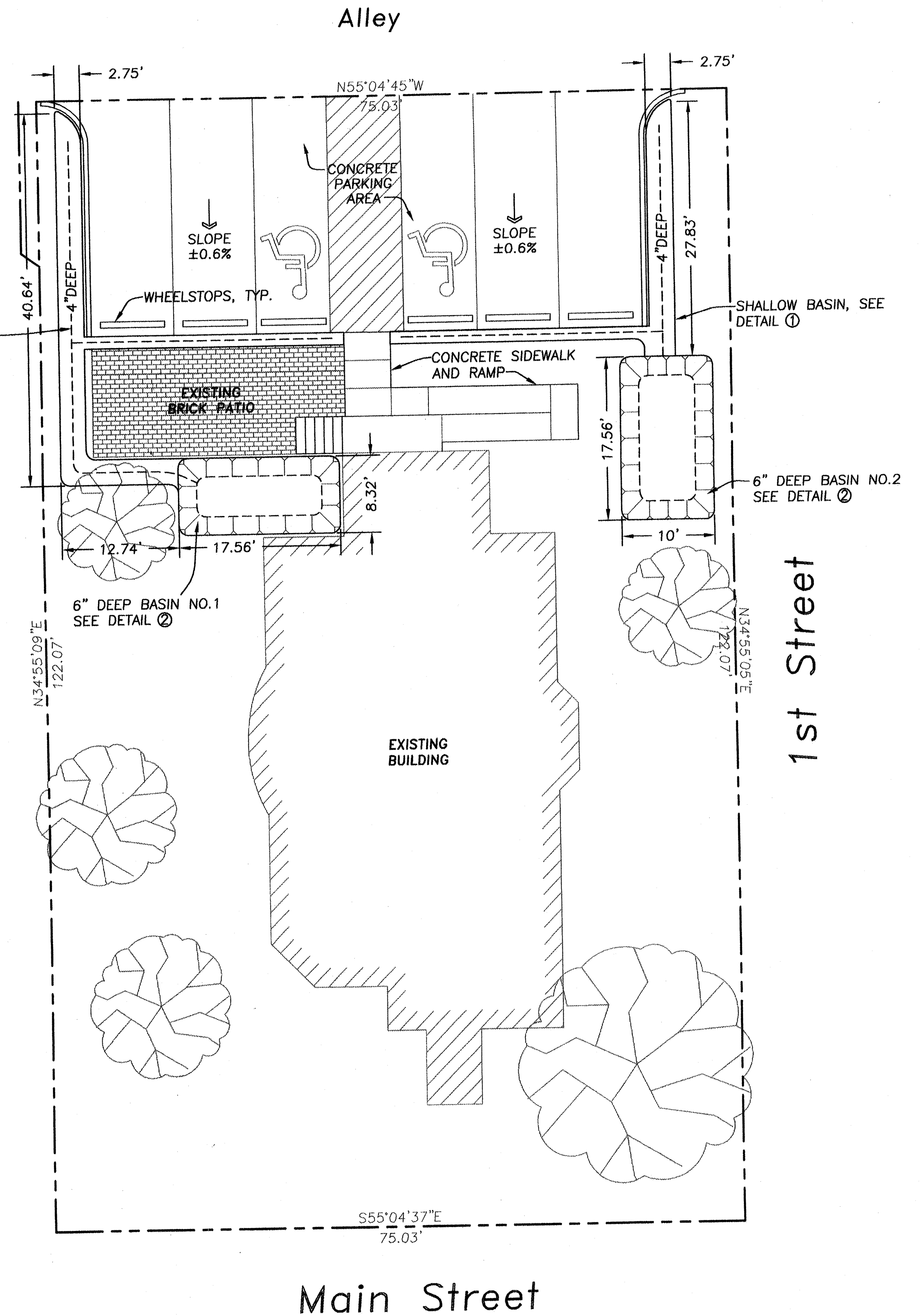


- NOTES:
1. SEE PLAN FOR EXTENT OF BASIN.
  2. SHAPE OF BASIN MAY BE MODIFIED TO FIT THE SITE AS LONG AS REQUIRED VOLUME IS PROVIDED.
  3. BOTTOM OF BASIN SHALL BE LEVEL.

② GRASSY INFILTRATIVE BASIN DETAIL  
N.T.S.

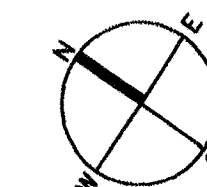
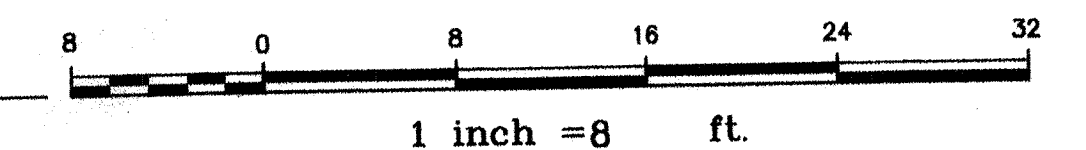
NOTE:  
2' MINIMUM REQUIRED BETWEEN PROPERTY LINE AND BASIN EXCAVATION.

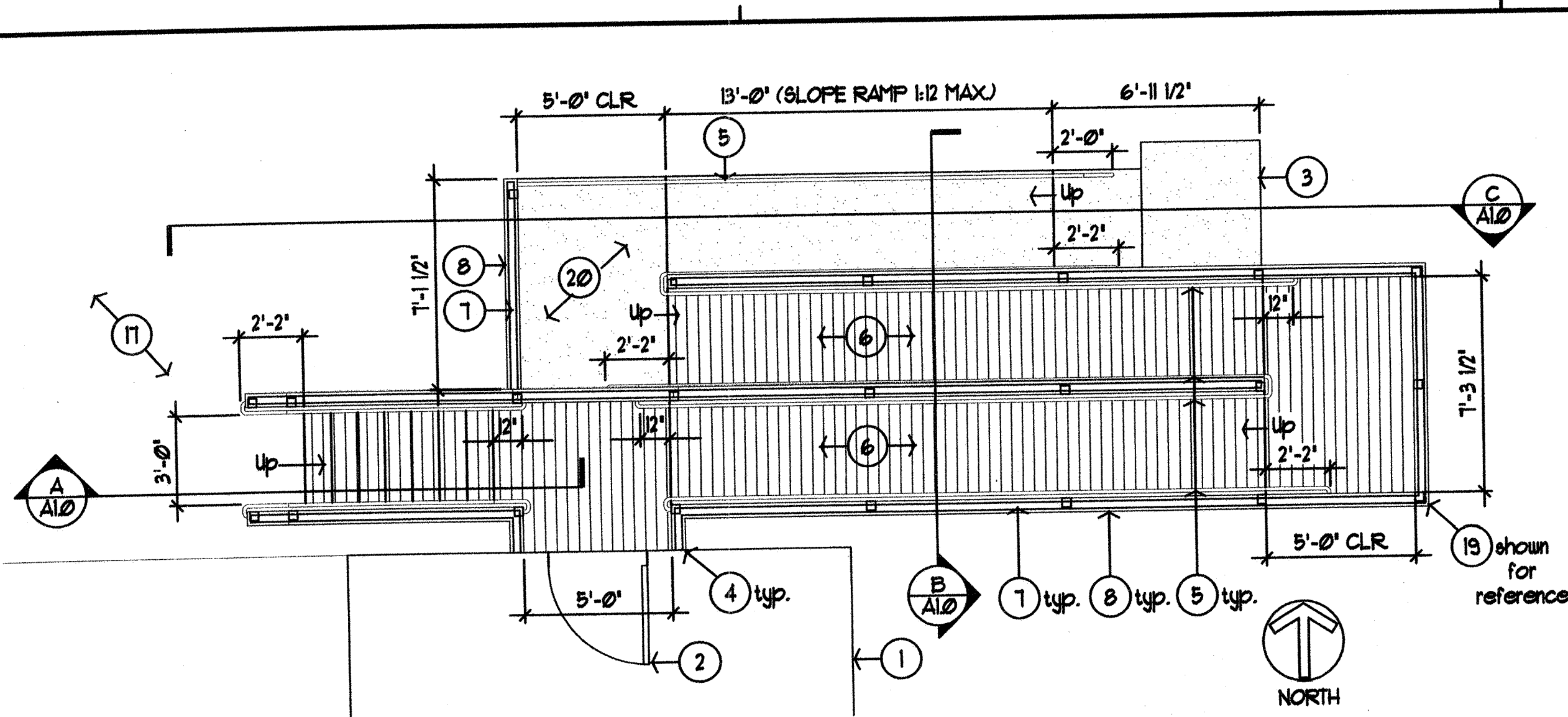
SHALLOW BASIN, SEE DETAIL ①



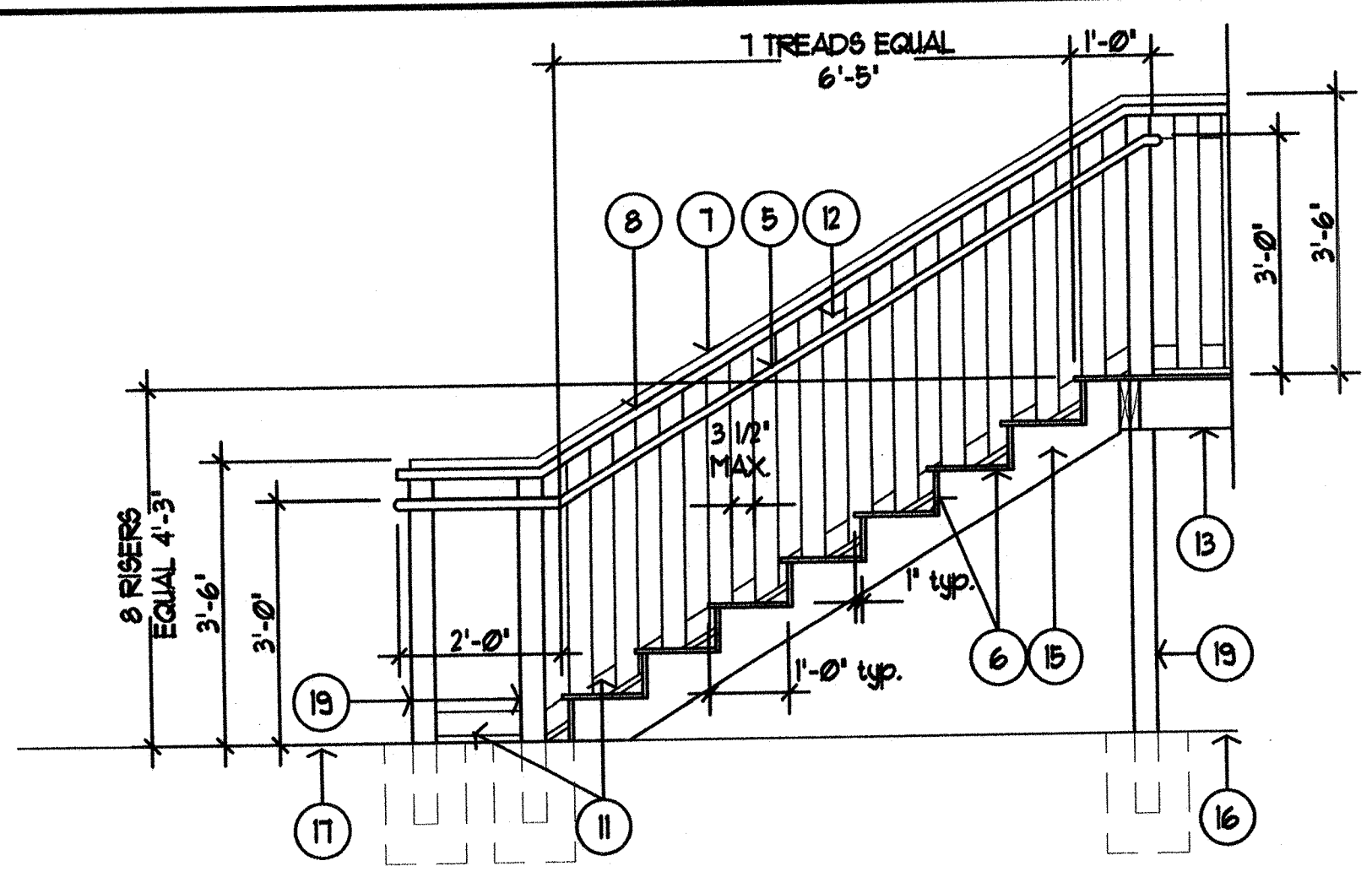
### STORMWATER MANAGEMENT PLAN

SCALE: 1/8"=1'-0"

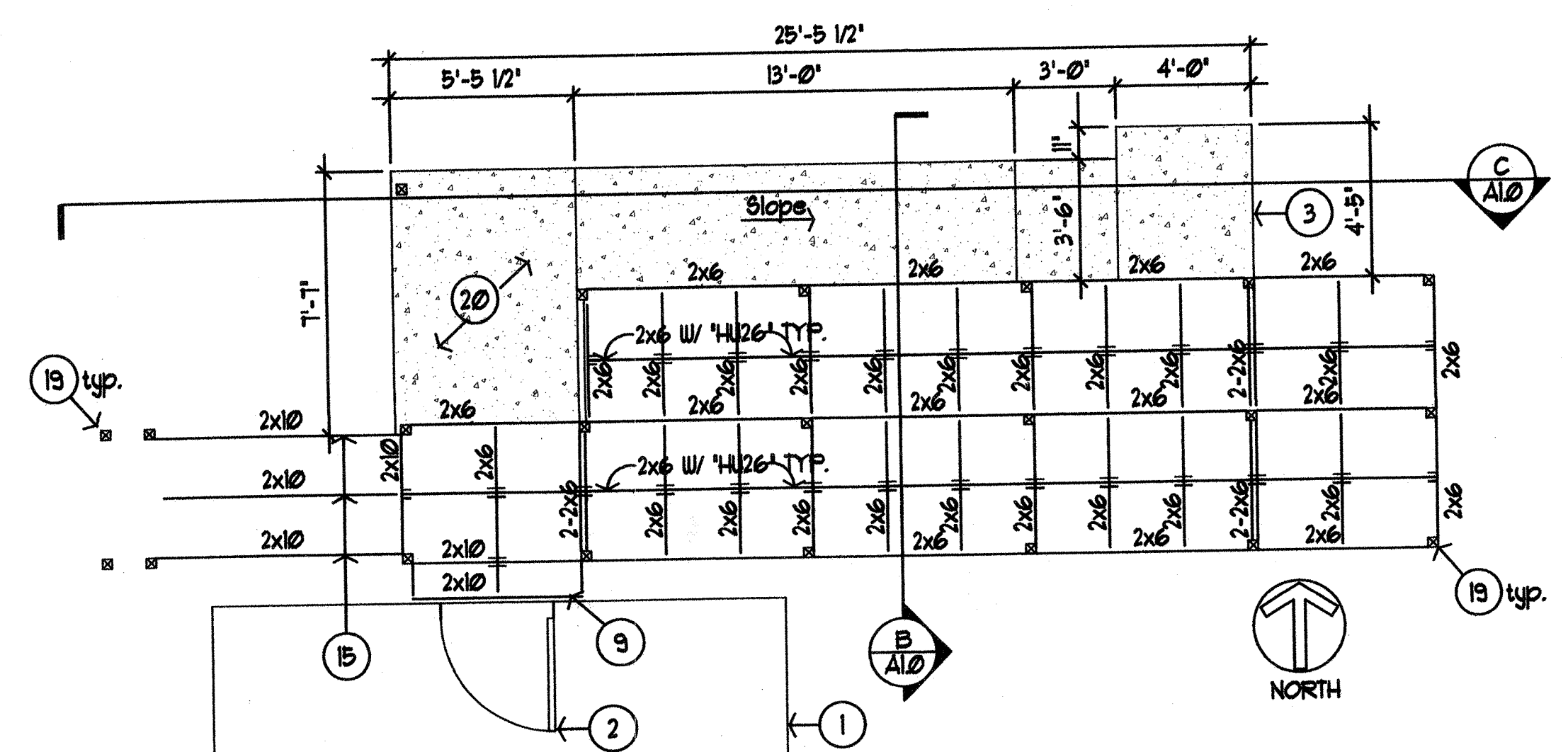




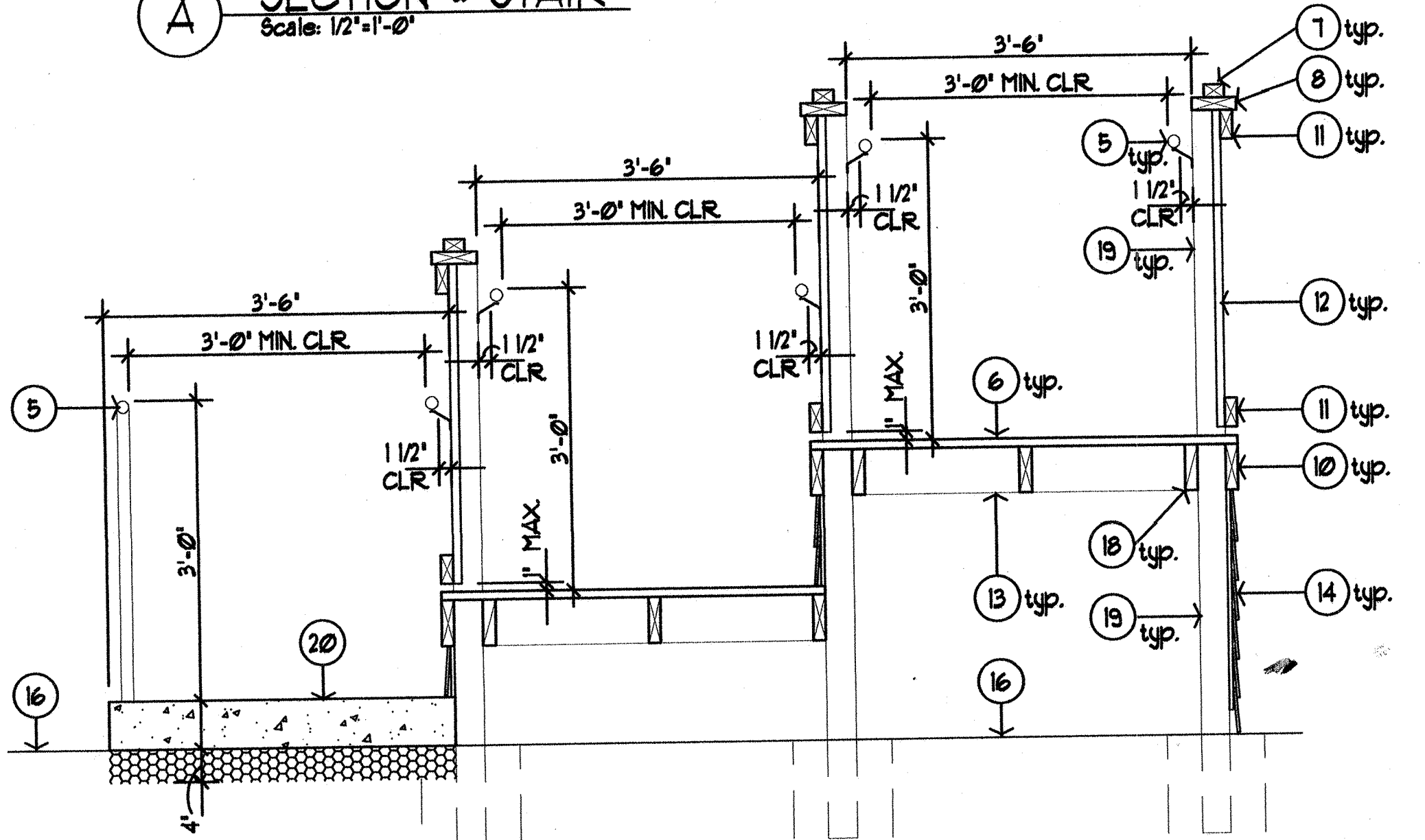
1 DECK / RAMP / STAIR PLAN  
Scale: 1/4"=1'-0"



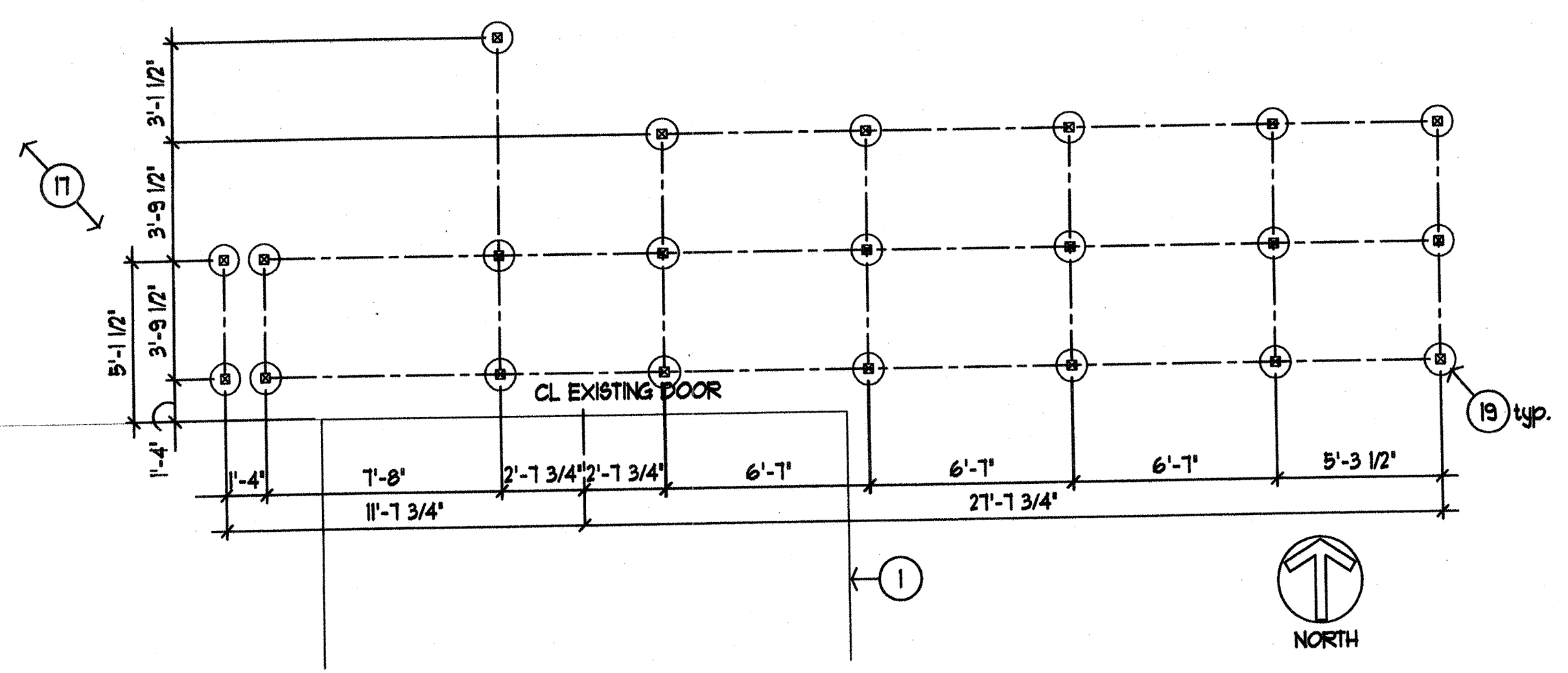
A SECTION @ STAIR  
Scale: 1/2"=1'-0"



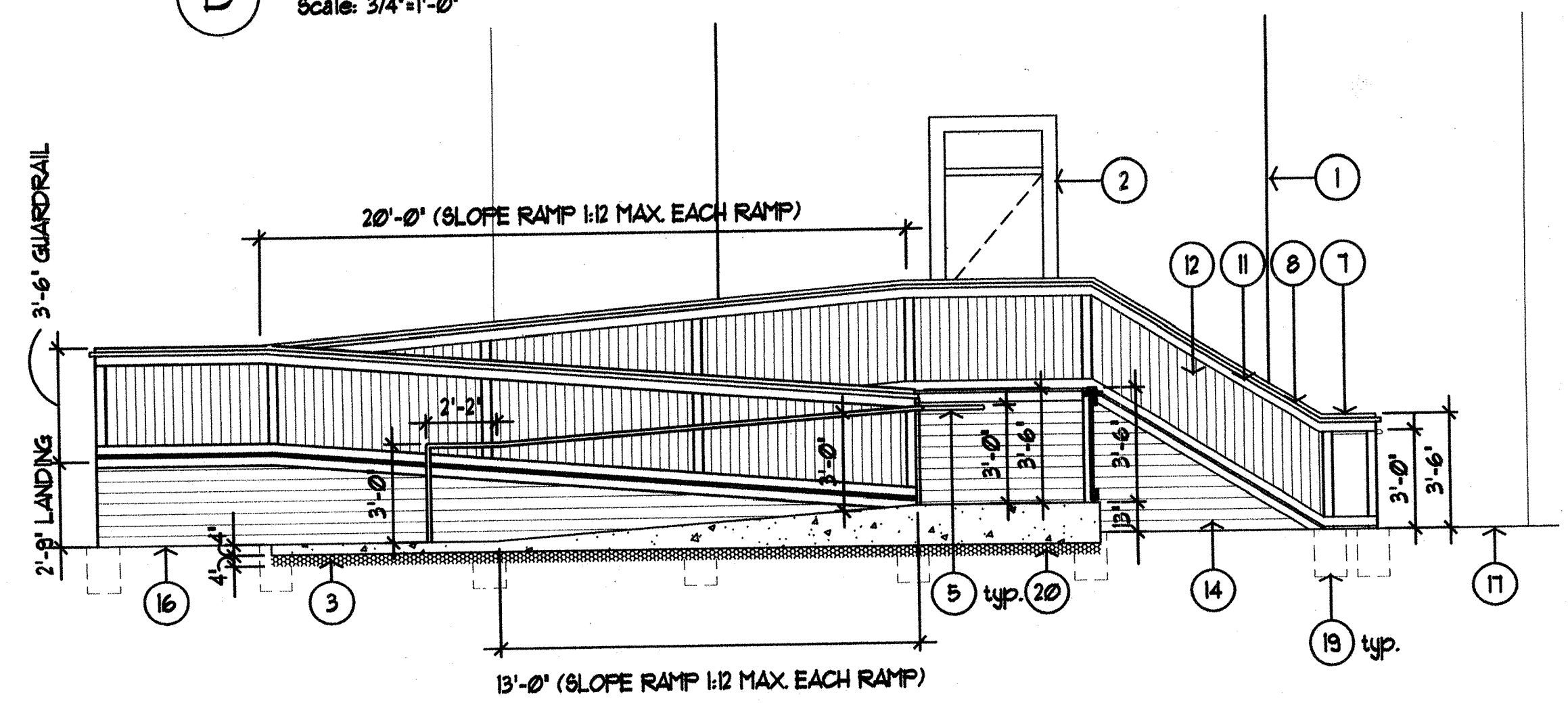
2 DECK / RAMP / STAIR - STRUCTURE  
Scale: 1/4"=1'-0"



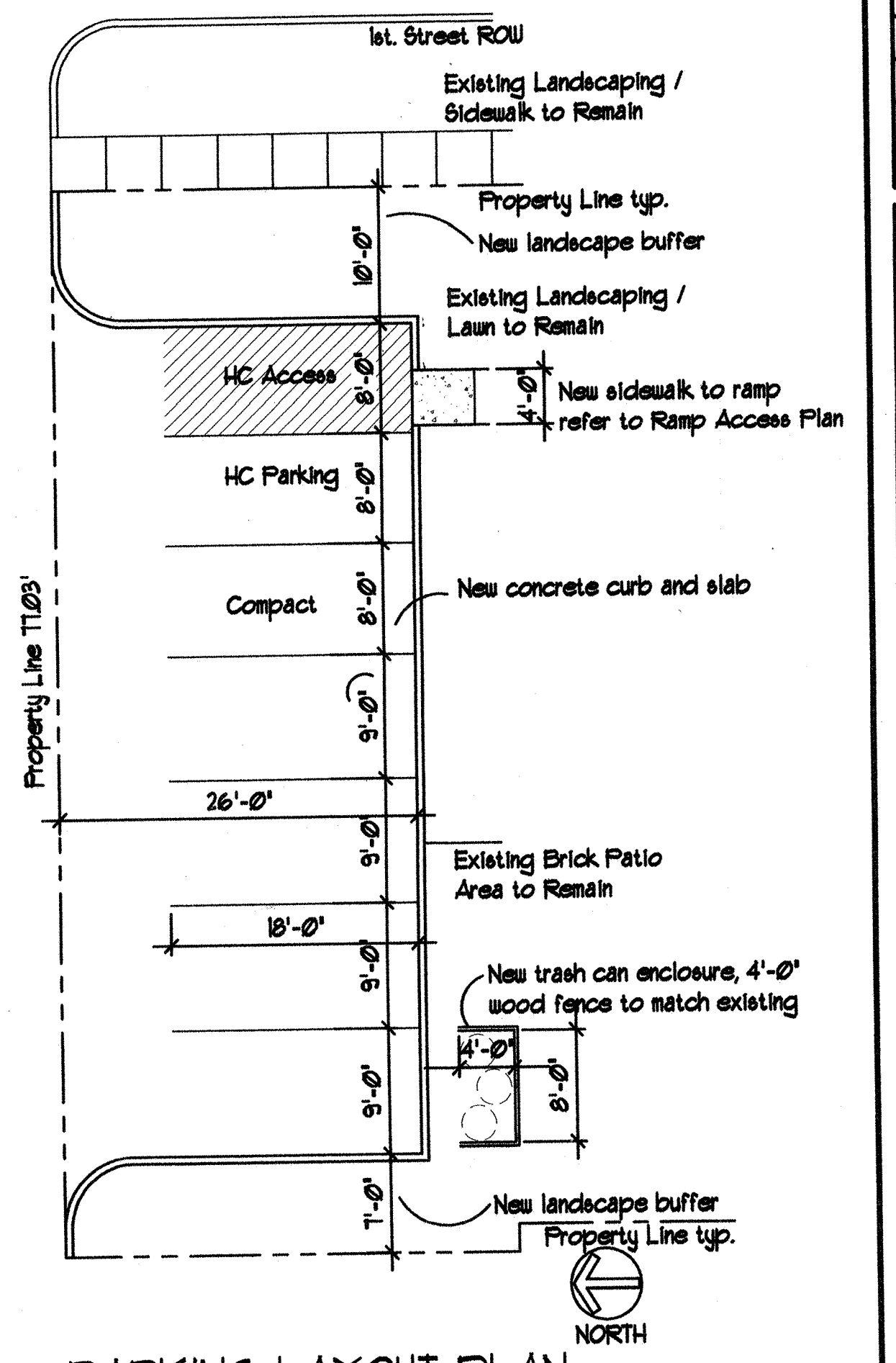
B SECTION @ RAMP  
Scale: 3/4"=1'-0"



3 DECK / RAMP / STAIR - FOUNDATION  
Scale: 1/4"=1'-0"



C ELEVATION / SECTION @ RAMP  
Scale: 1/2"=1'-0"

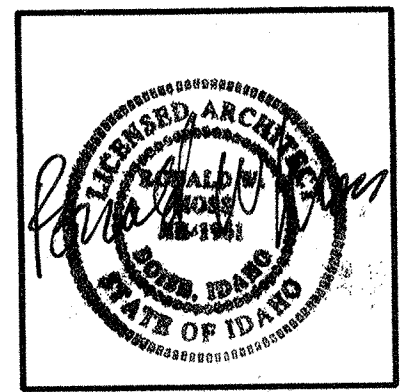


PARKING LAYOUT PLAN  
Scale: 1"=10'-0"

KEYNOTES

1. LINE OF EXISTING BUILDING.
2. EXISTING DOOR, RETAIN AND PROTECT.
3. NEW 4" THICK CONCRETE WALK OVER 4" COMPACTED GRAVEL BASE. 1/4" CONSTRUCTION JOINTS, DO NOT SAWCUT, BROOM FINISH.
4. ATTACH GUARDRAIL TO EXISTING WALL. FINISH WITH 1" TRIM AT FACE OF WALL. EXTEND TRIM FROM BOTTOM OF SILL TO TOP OF DECKING, PAINT, MATCH SILL.
5. 1 1/2" DIA METAL PIPE HANDRAIL, TYPICAL. RETURN HANDRAIL TO GUARDRAIL OR CONCRETE AS APPLIES. PAINT HANDRAIL AND BRACKETS BLACK.
6. 1"X4" REDWOOD DECKING, NAILED. SEAL WITH CLEAR FINISH. TYPICAL FOR ALL DECKING AT PORCH, RAMP AND STAIRS.
7. RIF 2X3 DF-L TOP CAP RAIL, COUNTERSINK FASTENERS AND FILL FOR SMOOTH FINISH, PAINT GREEN TO MATCH EXISTING.
8. 2X6 DF-L LOWER CAP RAIL, COUNTERSINK FASTENERS AND FILL FOR SMOOTH FINISH, PAINT WHITE TO MATCH EXISTING.
9. RIM JOIST. FASTEN TO EXISTING BUILDING STRUCTURE.
10. 2X6 DF-L CONTINUOUS, PAINT WHITE TO MATCH EXISTING.
11. 2X4 DF-L CONTINUOUS, PAINT WHITE TO MATCH EXISTING.
12. 1X4 REDWOOD SLATS SPACED AT 3 1/2" MAXIMUM. CUT TOP AND BOTTOM EDGES TO MATCH HORIZONTAL RAILS AS SHOWN. PAINT GREEN TO MATCH EXISTING.
13. FRAMING.
14. WOOD SHINGLES TO MATCH EXISTING. NAIL OVER 1/2" PLYWOOD. PAINT GREEN TO MATCH EXISTING.
15. PRESSURE TREATED WOOD STAIR STRINGER.
16. FINISH GRADE.
17. EXISTING BRICK PATIO TO REMAIN. PROTECT / REPAIR AS NEEDED.
18. 2X BLOCKING.
19. 4X4 REDWOOD POST SET 12" DEEP INTO CONCRETE PIER. PAINT WHITE TO MATCH EXISTING.
20. CONCRETE RAMP OVER 4" COMPACTED GRAVEL BASE, BROOM FINISH.
21. 12 DIA. X 18" DEEP CONCRETE PIER.

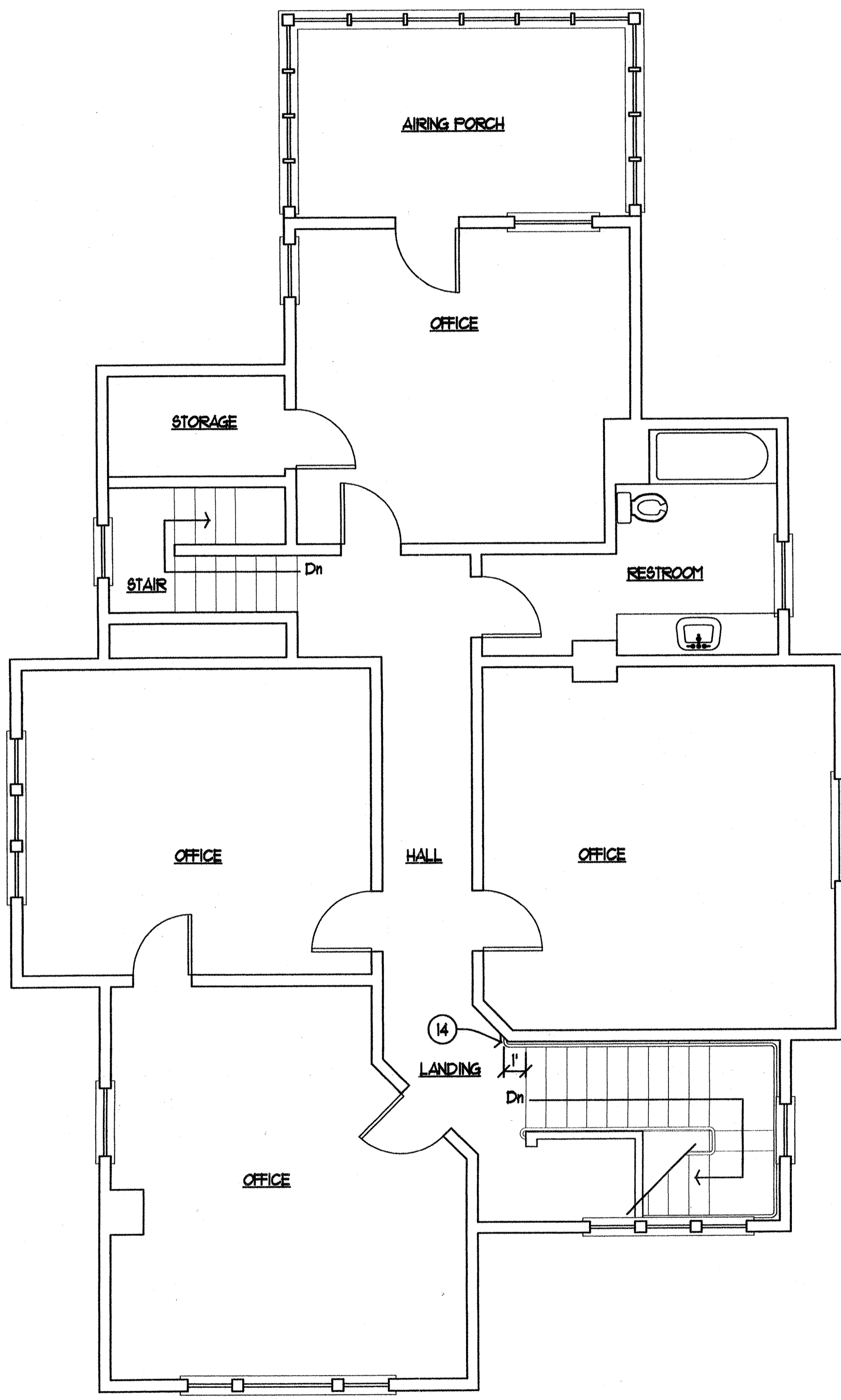
REVISIONS	BY:



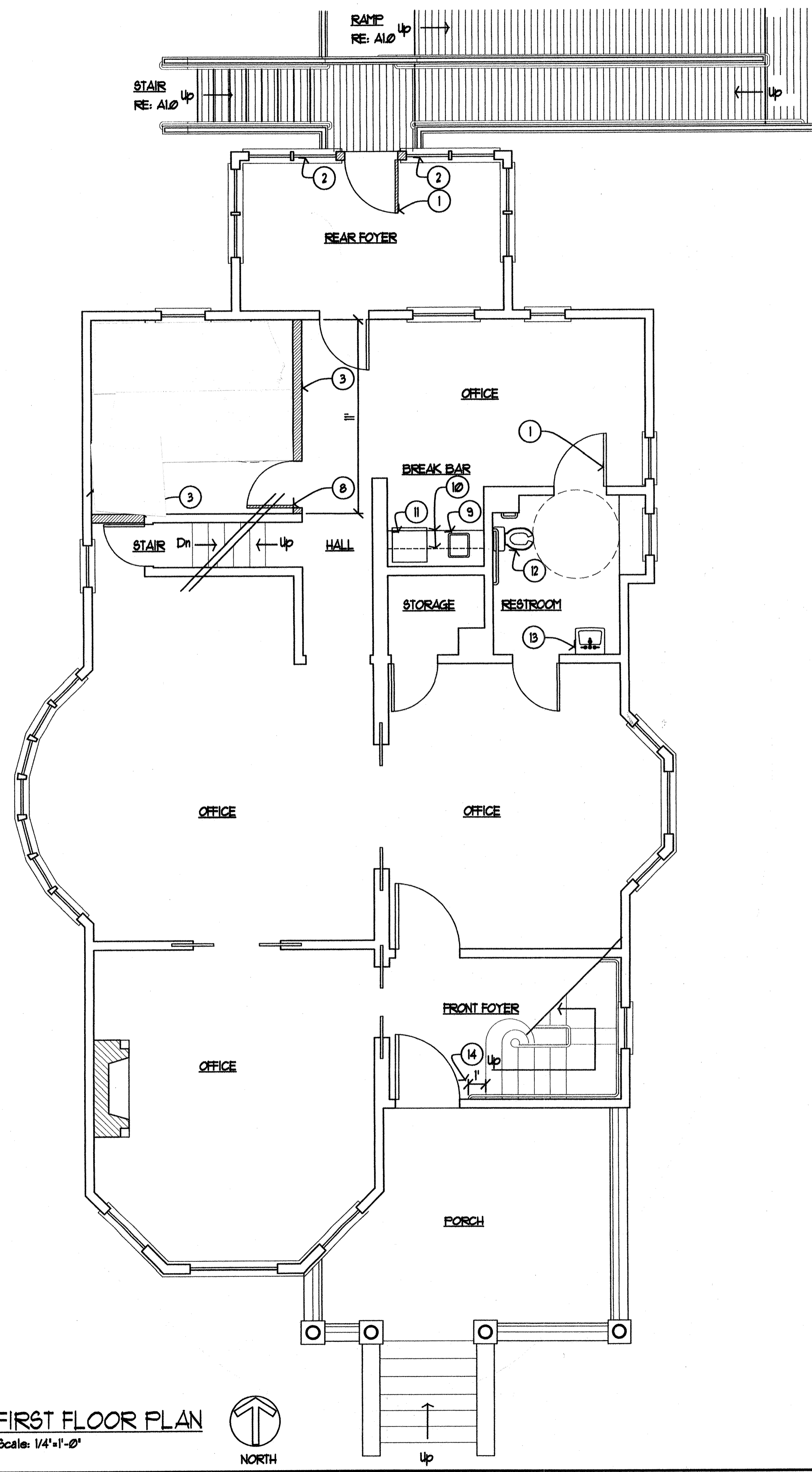
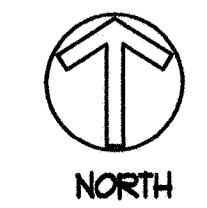
TENANT IMPROVEMENT / OFFICE CONVERSION  
**100 MAIN STREET**  
 BOISE, IDAHO

DATE: MARCH 12, 2003  
 SCALE: AS SHOWN  
 DRAWN BY: EEG  
 PROJECT NO: 0302.00  
 SHEET:

A1.0



SECOND FLOOR PLAN  
Scale: 1/4"=1'-0"



FIRST FLOOR PLAN  
Scale: 1/4"=1'-0"



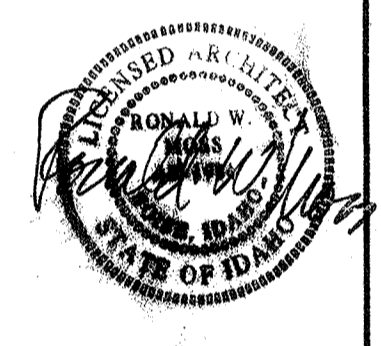
KEYNOTES

1. NEW 36" WIDE DOOR, MODIFY OPENING TO RECEIVE NEW DOOR.
2. EXISTING WINDOWS TO REMAIN. REPLACE GLAZING WITH 1/4" TEMPERED GLASS. PAINT EXTERIOR FRAME TO MATCH EXISTING.
3. NEW NON-STRUCTURAL WALL - 2X6 AT 24" O.C. WITH GYPSUM BOARD TO MATCH EXISTING ADJACENT WALL FINISH SURFACE.
4. EXISTING DISHWASHER TO BE REMOVED.
5. EXISTING SINK TO BE REMOVED.
6. EXISTING MILLWORK / COUNTER TO BE REMOVED.
7. NEW LIGHT AND WALL (FLUSH MOUNTED) LIGHT SWITCH. SWITCH SHALL A DIMMER TYPE, PER 2000 I.B.C.
8. NEW 36" WIDE DOOR, MODIFY OPENING TO RECEIVE NEW DOOR. SWING AS SHOWN, SEE GENERAL NOTES FOR HARDWARE.
9. NEW SINK, SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.
10. NEW UPPER AND LOWER CABINETS, LOWER CABINETS SHALL MEET ADA ACCESSIBILITY REQUIREMENTS PER ADA AND 2000 I.B.C.
11. NEW DISHWASHER, SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.
12. NEW ADA COMPLIANT TOILET AND GRAB BARS.
13. NEW ADA COMPLIANT LAVATORY AND FAUCET.
14. NEW CONTINUOUS WALL MOUNTED WOOD HANDRAIL. MOUNT AT THE SAME HEIGHT OF EXISTING HANDRAIL, 34" ABOVE FINISH FLOOR. RETURN ENDS TO WALL PER CABO ANSI STANDARDS. PAINT TO MATCH INTERIOR TRIM.

GENERAL NOTES

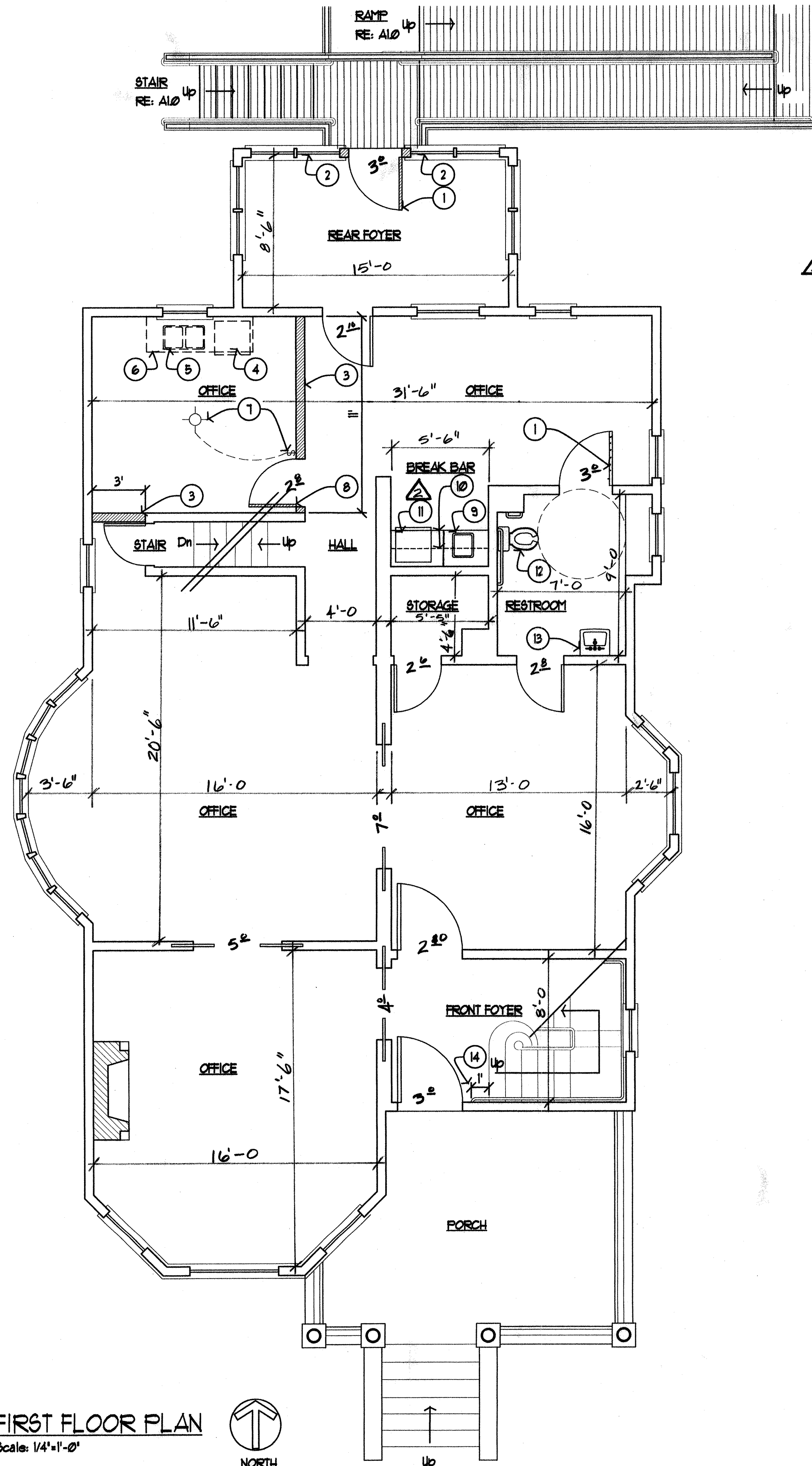
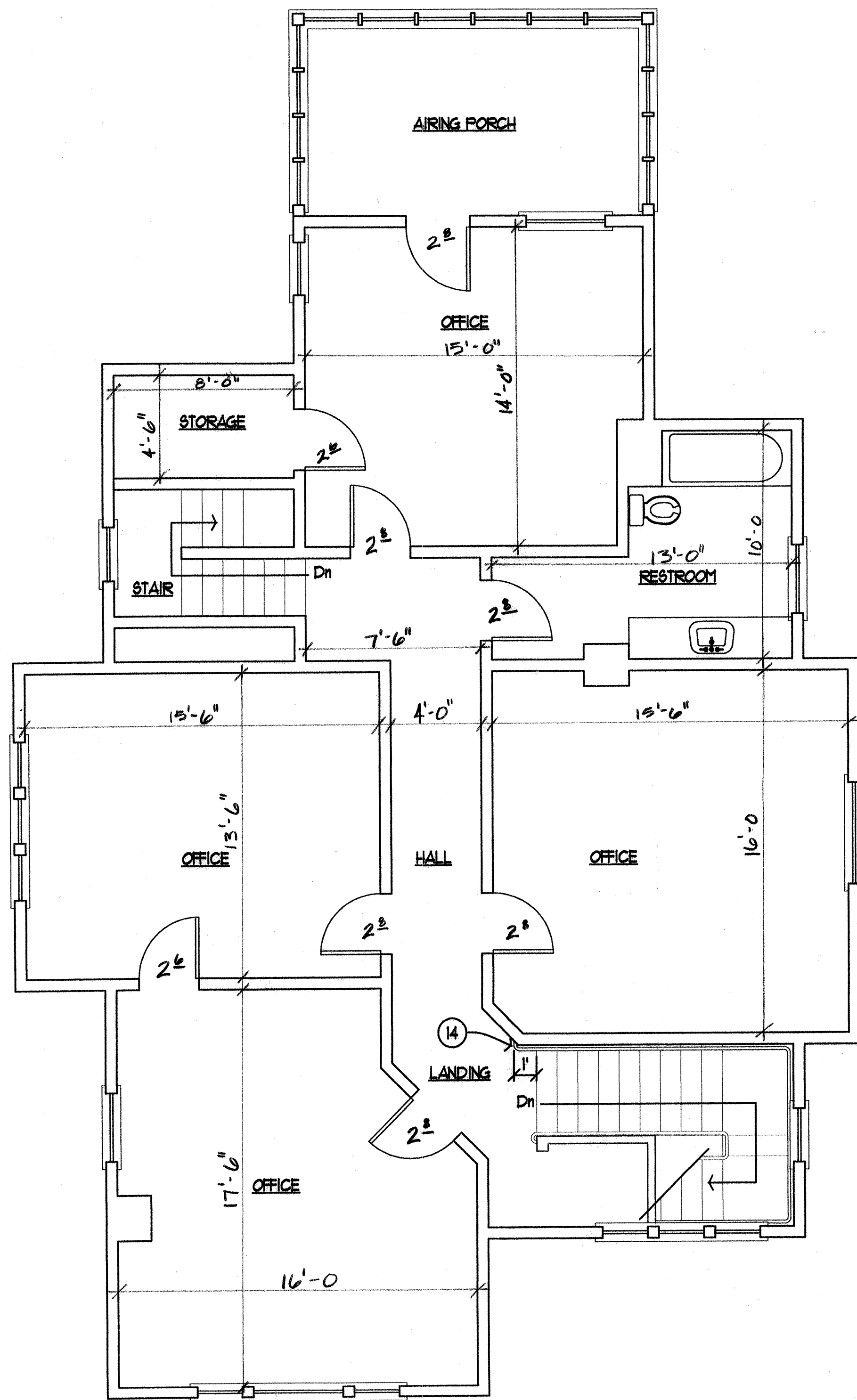
- A. ALL EXISTING STRUCTURE AND MATERIALS TO REMAIN UNLESS OTHERWISE NOTED. ALL NEW CONSTRUCTION TO MEET 2000 I.B.C.
- B. ALL NEW HANDRAILS SHALL MEET ADA REQUIREMENTS.
- C. SMOKE ALARMS AND FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED.
- D. ALL NEW DOORS SHALL BE EQUIPPED WITH ACCESSIBLE HARDWARE AS REQUIRED PER ADA AND 2000 I.B.C.
- E. REFURBISH EXISTING WOOD WINDOWS TO OPERABLE CONDITION.

REVISIONS	BY:



TENANT IMPROVEMENT / OFFICE CONVERSION  
 100 MAIN STREET  
 BOISE, IDAHO

DATE:	MARCH 12, 2003
SCALE:	AS SHOWN
DRAWN BY:	EEG
PROJECT NO.:	0302.00
SHEET:	A2.0



**KEYNOTES**

1. NEW 36" WIDE DOOR, MODIFY OPENING TO RECEIVE NEW DOOR.
2. EXISTING WINDOWS TO REMAIN. REPLACE GLAZING WITH 1/4" TEMPERED GLASS. PAINT EXTERIOR FRAME TO MATCH EXISTING.
3. NEW NON-STRUCTURAL WALL - 2X6 AT 24" O.C. WITH GYPSUM BOARD TO MATCH EXISTING ADJACENT WALL FINISH SURFACE.
4. EXISTING DISHWASHER TO BE REMOVED.
5. EXISTING SINK TO BE REMOVED.
6. EXISTING MILLWORK / COUNTER TO BE REMOVED.
7. NEW LIGHT AND WALL (FLUSH MOUNTED) LIGHT SWITCH. SWITCH SHALL A DIMMER TYPE, PER 2000 I.B.C.
8. NEW 36" WIDE DOOR, MODIFY OPENING TO RECEIVE NEW DOOR SWUNG AS SHOWN, SEE GENERAL NOTES FOR HARDWARE.
9. NEW SINK, SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.
10. NEW UPPER AND LOWER CABINETS. LOWER CABINETS SHALL MEET ADA ACCESSIBILITY REQUIREMENTS PER ADA AND 2000 I.B.C.
11. NEW DISHWASHER, SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.
12. NEW ADA COMPLIANT TOILET AND GRAB BARS.
13. NEW ADA COMPLIANT LAVATORY AND FAUCET.
14. NEW CONTINUOUS WALL MOUNTED WOOD HANDRAIL. MOUNT AT THE SAME HEIGHT OF EXISTING HANDRAIL, 34" ABOVE FINISH FLOOR. RETURN ENDS TO WALL PER CABO ANSI STANDARDS. PAINT TO MATCH INTERIOR TRIM.

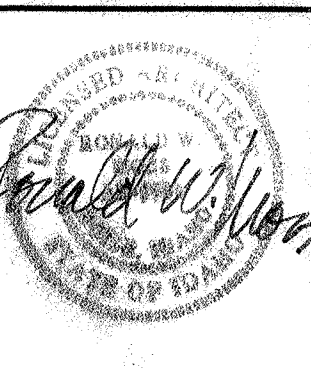
**GENERAL NOTES**

- A. ALL EXISTING STRUCTURE AND MATERIALS TO REMAIN UNLESS OTHERWISE NOTED. ALL NEW CONSTRUCTION TO MEET 2000 I.B.C.
- B. ALL NEW HANDRAILS SHALL MEET ADA REQUIREMENTS.
- C. SMOKE ALARMS AND FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED.
- D. ALL NEW DOORS SHALL BE EQUIPPED WITH ACCESSIBLE HARDWARE AS REQUIRED PER ADA AND 2000 I.B.C.
- E. REFURBISH EXISTING WOOD WINDOWS TO OPERABLE CONDITION.

**REVISIONS**

- △ OVERALL ROOM DIMENSIONS: EXISTING FOR REFERENCE ONLY.
- △ COUNTER @ SINK SHALL BE 34" A.F.F. AND COUNTER @ DISHWASHER SHALL BE 36" A.F.F.
- △ ADA CHANGE TO CABO ANSI

REVISIONS	BY:



TENANT IMPROVEMENT / OFFICE CONVERSION  
**100 MAIN STREET**  
 BOISE, IDAHO

DATE:	MARCH 12, 2003
SCALE:	AS SHOWN
DRAWN BY:	EEG
PROJECT NO.:	0302.00
SHEET:	

A2.0