

BROAD AVENUE INTERIOR GALLERY

JOHN HARRISON JONES ARCHITECT

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CONSTRUCTION SET

2537 BROAD AVENUE
MEMPHIS, TENNESSEE

NOTES

SEISMIC NOTE

IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION AND WORK MEETS OR EXCEEDS ALL APPLICABLE CODES AS ADOPTED BY THE LOCAL GOVERNING BUILDING AUTHORITY.

MODEL ENERGY CODE

IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION AND WORK MEETS OR EXCEEDS ALL APPLICABLE CODES REQUIRED BY THE LOCAL GOVERNING BUILDING AUTHORITY.

GENERAL NOTES

- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSION DISCREPANCIES.
- DIMENSIONS ARE TYPICALLY TO THE OUTSIDE FACE OF FRAMING, UNLESS NOTED OTHERWISE (U.N.O.).
- TYPICAL INTERIOR WALL FRAMING IS 2x4s AT 16-INCHES ON CENTER (O.C.). TYPICAL EXTERIOR WALL FRAMING IS 2x6s AT 16-INCHES O.C.
- COORDINATE ALL FINISHES WITH OWNER, INTERIOR DESIGNER, AND ARCHITECT.
- ALL SLEEPING AND WASHROOM AREAS TO BE FULLY INSULATED WITH SOUND PROOFING BATTS OR CELLULOSE INSULATION, AS APPLICABLE.
- FOR CLARITY, GUTTERS AND DOWNSPOUTS ARE NOT SHOWN. DOWNSPOUTS SHALL BE LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM STRUCTURE, ADJACENT STRUCTURES, AND COMMON PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FAÇADE OF STRUCTURE OR ALONG FRONT FACING PORCH COLUMNS. VERIFY LOCATIONS WITH ARCHITECT.

SITE NOTES

- THE SITE PLAN WAS DRAWN FROM DRAWINGS AND INFORMATION PROVIDED BY:
- CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE LAST RECORDED PLAT AND VERIFY THE LOCATION OF ALL PROPERTY LINES, SETBACKS, EASEMENTS, AND ALLOWABLE ENCROACHMENTS PER LOCAL ZONING AND BUILDING CODES.
- THE OWNER, CONTRACTOR, AND ENGINEER (P.E.) SHALL VERIFY ALL SITE CONDITIONS, EXISTING GRADES, TREE LOCATIONS, AND PROPOSED STRUCTURE LOCATIONS AND SHALL ADVISE THE ARCHITECT OF ANY RECOMMENDED MODIFICATIONS PRIOR TO START OF ANY WORK.
- CONTRACTOR SHALL REVIEW ALL DRAWINGS AND NOTES AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ADDITIONAL INFORMATION REQUIRED FOR THE COMPLETION OF THE PROJECT AS PROPOSED BEFORE STARTING ANY COST ESTIMATES OR CONSTRUCTION.
- CONTRACTOR SHALL CONSULT A STRUCTURAL ENGINEER FOR STRUCTURAL ENGINEERING AND SITE INSPECTION FOR EXCAVATION, STAKE-OUT, FOOTING INSPECTION, FOUNDATIONS, FILL COMPACTION, FRAMING, AND OTHER AS REQUIRED THROUGHOUT COMPLETION OF THE PROJECT. CERTIFICATIONS OR REQUIRED INSPECTIONS SHALL BE MADE BY THE OWNER/CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE STAKING AND BUILDING LAYOUT WITHIN BUILDING SITE SETBACKS AND EASEMENTS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL SETBACKS WITH CODE ENFORCEMENT OFFICE HAVING JURISDICTION OVER THE SITE. CONTRACTOR TO VERIFY THAT LOCATION OF STRUCTURE DOES NOT ENCRORAOH ANY PROPERTY LINES, BUILDING SETBACKS, OR EASEMENTS.
- CONTRACTOR SHALL LOCATE ALL UTILITY SERVICES (WATER, GAS, SEWER, ELECTRIC, TELEPHONE, CABLE TV, ETC.) AND COORDINATE THE EXTENSIONS TO THE STRUCTURE. ALL CONNECTIONS AND METERS SHALL BE LOCATED AS SHOWN ON PLANS, BUT IN NO INSTANCES SHALL THEY BE LOCATED AS TO BE VIEWED FROM A PUBLIC WAY.
- CONTRACTOR SHALL COORDINATE FINAL GRADING AND PAVING AS REQUIRED FOR ABSOLUTE POSITIVE DRAINAGE AWAY FROM STRUCTURE.

INTERIOR NOTES

THE FOLLOWING SHALL BE DESIGNED AND/OR SELECTED BY THE OWNER AND/OR ARCHITECT.

- ALL CABINETS AND BUILT-INS THROUGHOUT.
- ALL ARCHITECTURAL MILLWORK, MANTELS, STAIR RAILS, BALLASTERS, NEWEL POSTS, AND OTHERS AS REQUIRED.
- ALL DOORS, TRANSOMS, HARDWARE, AND ROOM FINISHES.
- ALL KITCHEN/BATH HARDWARE AND FIXTURES.

WINDOW AND DOOR NOTES

ALL WINDOWS AND DOORS SHALL BE SELECTED BY OWNER AND ARCHITECT.

- ALL WINDOWS TO BE METAL CLAD WITH INSULATED (TEMPERED) GLASS, DOUBLE-HUNG, CASEMENT, AWNING, AND FIXED PANEL, AS SHOWN, U.N.O.
- CONSULT DOOR AND WINDOW SUPPLIER FOR ALL FRAMING OF ROUGH OPENINGS.
- WINDOW SIZES INDICATED ON PLANS ARE NOTED BY GENERIC FRAME SIZES. NOTIFY ARCHITECT IF SPECIFIED SIZE IS NOT AVAILABLE.
- REFER TO EXTERIOR ELEVATIONS FOR WINDOW TYPES AND TYPICAL HEADER HEIGHTS. COORDINATE WITH OWNER FOR OPERABLE WINDOWS, SWING DIRECTION OF CASEMENTS, ETC. ALL EGRESS WINDOWS SHALL COMPLY WITH ALL APPLICABLE CODES.
- PROVIDE JAMB AND SILL EXTENSIONS WHERE REQUIRED.
- ALL INTERIOR DOORS SHALL BE PAINT GRADE, U.N.O. SEE DOOR SCHEDULE.

MECHANICAL NOTES

- MECHANICAL CONTRACTOR SHALL DESIGN AND ENGINEER THE HVAC SYSTEM TO INSURE A COMFORT ZONE OF 72-DEGREES.
- MECHANICAL CONTRACTOR SHALL PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO THE OWNER, CONTRACTOR, ARCHITECT, AND BUILDING DEPARTMENT FOR APPROVAL.
- MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AND HVAC SYSTEMS IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND GOVERNING BODIES.
- MECHANICAL CONTRACTOR SHALL COORDINATE LOCATION OF METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT OF UTILITY METERS SHALL BE MINIMIZED. VERIFY WITH LANDSCAPE ARCHITECT AND ARCHITECT.
- MECHANICAL CONTRACTOR SHALL COORDINATE ALL PLUMBING AND MECHANICAL VENTS TO BE GROUPED WITHIN THE HOUSE STRUCTURE OR ATTIC SPACE, WHEN POSSIBLE, TO MINIMIZE ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH EXTEND ABOVE THE ROOF OF THE STRUCTURE SHALL BE LOCATED AWAY FROM PUBLIC VIEWS (i.e. NO VENTS ALLOWED ON FRONT OF ROOF AREA OR VISIBLE FROM CORNERS, STREETS OR OUTDOOR LIVING AREAS). ALL METAL AND PVC VENTS TO BE PROPERLY FLASHED, PRIMED, AND PAINTED TO BLEND INTO THE COLOR OF THE ROOF. VERIFY WITH ARCHITECT.
- REFER TO HVAC DIAGRAM PLANS FOR EQUIPMENT LOCATIONS. COORDINATE POWER REQUIREMENTS WITH HVAC EQUIPMENT.

FOUNDATION NOTES

THE DESIGN, AS SHOWN, AND THE FOLLOWING NOTES ARE TYPICAL FOR MEMPHIS, TENNESSEE, AND MAY NOT BE ACCEPTABLE FOR OTHER REGIONS.

- CONTRACTOR SHALL REVIEW ALL DRAWINGS, AS INDEXED, BEFORE STARTING CONSTRUCTION OF FOUNDATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE FOUNDATION PLAN DIMENSIONS WITH FLOOR PLAN DIMENSIONS BEFORE STARTING CONSTRUCTION OF FOUNDATIONS.
- CONTRACTOR SHALL REVIEW ALL MECHANICAL, PLUMBING, AND ELECTRICAL SCHEMATICS AND PROVIDE FOR AND COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS IN FOUNDATION WALLS, SLABS, AND UNDERGROUND.
- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE A LOCAL, LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS CONCRETE FOOTINGS, FOUNDATION WALLS, AND CONCRETE SLABS.
- FOR A CONVENTIONAL FOUNDATION: DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE BLOCK WALLS AND CENTERLINE OF PIERS, U.N.O. FOR A SLAB FOUNDATION: DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE BLOCK WALLS AND CENTERLINE OF THICKENED SLAB, U.N.O.
- CONTRACTOR SHALL INSTALL CONTINUOUS ALUMINIUM SHEET METAL TERMITE SHIELDS BETWEEN ANY WOOD SURFACES THAT ARE EXPOSED TO CONCRETE SURFACES.
- CONTRACTOR SHALL REVIEW PLANS, ELEVATIONS, AND DETAILS FOR DESIRED ELEVATION OF FINISH FLOOR ABOVE TYPICAL GRADE. CONTRACTOR SHALL ADVISE OWNER AND ARCHITECT SHOULD ANY SITE CONDITIONS REQUIRE MODIFICATIONS TO DESIGN INTENT AS INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS (i.e. NUMBER OF STEPS FROM STRUCTURES FINISH FLOOR TO GARAGE LEVEL OR NUMBER OF STEPS AT FRONT ENTRANCE).
- CONTRACTOR SHALL COORDINATE WITH OWNER, INTERIOR DESIGNER, AND ARCHITECT, ALL FLOOR FINISHES. CONTRACTOR SHALL ADJUST FOUNDATION DETAILS, AS REQUIRED, TO ALLOW ALL FINISHES TO BE FLUSH TYPICAL.
- CONTRACTOR SHALL COORDINATE WITH OWNER, INTERIOR DESIGNER, AND ARCHITECT, ALL RECESSED FLOOR OUTLET LOCATIONS.
- CONTRACTOR SHALL INSPECT FOOTING EXCAVATION PRIOR TO STARTING CONSTRUCTION, NOTIFY SOIL ENGINEER, STRUCTURAL ENGINEER, AND ARCHITECT OF ANY UNUSUAL SOIL CONDITIONS, WATER CONDITIONS, OR ANY OTHER CONDITIONS WHICH MAY REQUIRE SPECIAL DESIGN.
- CONCRETE FOOTINGS SHALL BE 3,000 P.S.I., REINFORCED PER PLANS, CONTINUOUS AND SHALL BEAR ON FIRM, UNDISTURBED SOIL, BELOW THE FROST LINE. ALL FOOTINGS HAVE BEEN DESIGNED BASED ON AN ASSUMED MINIMUM SOIL BEARING VALUE OF 3,000 P.S.F. VERIFY WITH SOIL ENGINEER AND/OR STRUCTURAL ENGINEER.
- FOUNDATION WALLS SHALL BE CONCRETE BLOCK, U.N.O., AND REINFORCED PER PLANS.
- CONCRETE PIERS (POST HOLES), IF REQUIRED, SHALL BE 3,000 P.S.I., REINFORCED PER PLANS, CONTINUOUS AND SHALL BEAR ON FIRM, UNDISTURBED SOIL, BELOW THE FROST LINE. CONCRETE PIERS SHALL BE 8-INCHES MINIMUM DIAMETER, SPACED AS SHOWN ON PLANS, WHERE SPACING SHALL NOT EXCEED 48-INCHES O.C. AT ANY PART OF STRUCTURE.
- CONCRETE SLABS SHALL BE 3,000 P.S.I., MINIMUM 4-INCHES THICK, WITH 6-INCH x 6-INCH WELDED WIRE MESH (W.W.M.) OVER 10 MIL. POLYETHYLENE MOISTURE BARRIER. CONTRACTOR SHALL PROVIDE MINIMUM 2-INCH THICK SAND CUSHION BELOW MOISTURE BARRIER.
- FILL UNDER SLAB SHALL BE EARTH, COMPACTED TO 95% STANDARD PROCTOR, WITH 4-INCH TOP LAYER OF SAND OR GRAVEL. DO NOT USE TOP SOIL AS FILL. TREAT SOIL FOR PREVENTION OF TERMITES AND PROVIDE CERTIFICATE.
- STEP FOOTINGS DOWN TO FOLLOW GRADE AND MAINTAIN FOOTING DEPTH OF 12-INCHES MINIMUM BELOW GRADE.
- ALL CONCRETE FOOTING SIZES, CONCRETE WORK, AND REINFORCING SHALL BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
- WHERE CONCRETE BLOCK STEM WALLS EXCEED 32-INCHES ABOVE GRADE, REINFORCE VERTICALLY WITH #4 REBAR AT 16-INCHES O.C. AND FILL CORE SOLID WITH CONCRETE TYPICAL. VERIFY WITH STRUCTURAL ENGINEER.
- ALL SOLE PLATES AT INTERIOR AND EXTERIOR LOAD BEARING WALLS SHALL BE ANCHORED WITH ANCHOR BOLTS (1/2-INCH DIA. AND 10-INCH LONG), EMBEDDED INTO CONCRETE A MINIMUM OF 7-INCHES AT 32-INCHES ON CENTER AND 12-INCHES FROM CORNERS; OR SHOT WITH RAMSET ANCHORS AND WASHERS AT 48-INCHES O.C. AND EACH SIDE OF OPENINGS, THROUGHOUT.
- WHERE A SPREAD (RECTANGULAR OR SQUARE) FOOTING IS COMBINED WITH A CONTINUOUS FOOTING, THE CONTINUOUS FOOTING REINFORCEMENT SHALL PASS THROUGH THE SPREAD FOOTING AND BE IN ADDITION TO REINFORCEMENT, AS NOTED ABOVE. FOOTING REINFORCEMENT TO HAVE A MINIMUM 3-INCHES OF CONCRETE COVER TYPICAL.
- AT LOCATIONS OF BUILT-UP WOOD OR STEEL COLUMNS, PROVIDE FOUR (4) #5 VERTICAL REBAR DOWELS FROM FOOTING INTO THE FULL HEIGHT OF CONCRETE BLOCK (OR SOLID CONCRETE) STEM WALLS. PROVIDE 18-INCH MINIMUM LAP, WHERE REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL OTHER MATERIALS AND LABOR FOR THE COMPLETION OF SLAB, FOUNDATION, AND FOOTINGS AS REQUIRED TO INSURE STRUCTURAL INTEGRITY. IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION AND WORK MEETS OR EXCEEDS ALL APPLICABLE CODES.

ELECTRICAL NOTES

- ELECTRICAL CONTRACTOR SHALL DESIGN AND ENGINEER THE ELECTRICAL SYSTEM, METERING, PANEL BOARDS, AND CROWNING. VERIFY WITH OWNER, CONTRACTOR, AND ARCHITECT.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO OWNER, CONTRACTOR, ARCHITECT, AND BUILDING DEPARTMENT FOR APPROVAL.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL HARD-WIRED (WITH BATTERY BACK-UP) SMOKE DETECTORS ON ALL FLOORS. VERIFY NUMBER OF SMOKE DETECTORS AND LOCATIONS WITH OWNER, CONTRACTOR, ARCHITECT, AND BUILDING DEPARTMENT REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT, SYSTEMS, AND FIXTURES IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND GOVERNING BODIES, AND AS REQUIRED BY THE OWNER, CONTRACTOR, AND ARCHITECT.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ANY ADDITIONAL CIRCUITS AND PANEL BOXES FOR OUTDOOR LIGHTING, TRANSFORMERS, POOL, AND FOUNTAIN EQUIPMENT OR OTHERS AS REQUIRED OR REQUESTED BY APPLICABLE CODES, COVENANTS, OWNER, AND ARCHITECT.
- REFER TO REFLECTED CEILING PLANS FOR EXHAUST FANS AND LIGHTING FIXTURES LOCATIONS TYPICAL. VERIFY WITH OWNER AND ARCHITECT.
- MOUNT ALL LIGHT SWITCHES AT 48-INCHES ABOVE FINISH FLOOR TYPICAL. VERIFY WITH OWNER AND ARCHITECT.
- BRIDGE FRAME, IF NECESSARY, FOR CORRECT FIXTURE LOCATION.
- LANDSCAPE LIGHTING IS TO BE LOCATED BY LANDSCAPE ARCHITECT AND/OR ARCHITECT. VERIFY WITH OWNER.
- ALL FLOOR OUTLETS ARE TO BE LOCATED BY ARCHITECT. VERIFY WITH OWNER.
- VERIFY ALL TELEPHONE AND CABLE TV LOCATIONS WITH OWNER.
- FOR CLARITY, NO OUTLETS ARE SHOWN ON THIS PLAN FOR KITCHEN APPLIANCES, BUTLERS PANTRY APPLIANCES, OR WHIRLPOOL TUBS. SEE FLOOR PLAN AND SPECIFICATIONS FOR LOCATIONS AND REQUIREMENTS.
- FIXTURES ARE LOCATED BY CENTERLINE, U.N.O.

FRAMING NOTES

THESE NOTES CONTAIN SUGGESTED MINIMUM REQUIREMENTS. THE CONTRACTOR AND/OR OWNER IS RESPONSIBLE FOR ALL WORK AND MATERIALS TO MEET OR EXCEED ALL CURRENT LOCAL, STATE, AND FEDERAL BUILDING CODES AND ZONING REGULATIONS. ALL CONSTRUCTION AND WORK IS TO BE DONE IN A TIMELY, WORKMANLIKE MANNER, OF GOOD QUALITY, AND EACH CRAFT/TRADE IS RESPONSIBLE FOR THEIR OWN CLEAN-UP.

- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSION DISCREPANCIES.
- ALL FRAMING, NAILING, AND ANCHORING TO BE PER APPLICABLE CODE.
- DIMENSIONS ARE TYPICALLY TO THE OUTSIDE FACE OF FRAMING, U.N.O.
- TYPICAL INTERIOR WALL FRAMING IS 2x4s AT 16-INCHES O.C.
- TYPICAL EXTERIOR WALL FRAMING IS 2x6s AT 16-INCHES O.C.
- ALL WOOD FRAMING TO BE NO. 2 SPRUCE, SOUTHERN PINE, OR FIR, U.N.O.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE, TO BE PRESSURE TREATED. USE PRESSURE TREATED LUMBER WHERE REQUIRED BY CODE AND/OR GOOD CONSTRUCTION PRACTICES.
- WINDOW HEADER HEIGHTS ARE AS NOTED OR AS REQUIRED BY DESIGN. REVIEW ALL ELEVATIONS FOR TRANSOMS AND SPECIAL CONDITIONS. CONSULT DOOR AND WINDOW SUPPLIER FOR ALL FRAMING OF ALL ROUGH OPENINGS. VERIFY WITH EXTERIOR ELEVATIONS.
- ALL STUDS, JOISTS, AND RAFTERS TO BE SPACED AT 16-INCHES O.C., U.N.O.
- PROVIDE SOLID BEARING ON ALL FLOOR JOIST SPANS OVER 10'-0" AND NOT EXCEEDING 8'-0".
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH RUN PARALLEL TO FLOOR JOISTS.
- PROVIDE APPROPRIATELY SIZED HEADERS OVER EACH OPENING IN EXTERIOR AND LOAD BEARING WALLS. PROVIDE SOLID BEARING UNDER ALL HEADERS CONTINUOUS TO SOLID FOUNDATION CONDITIONS BELOW.
- PROVIDE CONTINUOUS FULL SOLID STUD BEARING (BUILT-UP) POSTS UNDER ALL BEAM BEARING POINTS CONTINUOUS TO SOLID FOUNDATION CONDITIONS BELOW.
- ALL ANGELED WALLS ARE 45-DEGREES, U.N.O.
- EXTERIOR STUD WALLS SHALL BE SHEATHED WITH 1/2-INCH EXTERIOR GRADE O.S.B., OR OPTIONAL "ZIP SYSTEM". O.S.B. OR "ZIP SYSTEM" SHALL SPAN OVER ALL PLATES AND HEADERS AND SHALL BE ADEQUATELY NAILED TO CREATE DIAPHRAM WALL TYPICAL. INSTALL PER MANUFACTURER SPECIFICATIONS.
- EXTERIOR O.S.B. WALL SHEATHING TO BE WRAPPED IN "TYVEK" HOUSE WRAP, OR EQUAL. INSTALL PER MANUFACTURER SPECIFICATIONS.
- ALL BEAM SPECIFICATIONS, MATERIALS, AND SIZES TO BE PER LOCAL, LICENSED STRUCTURAL ENGINEER, U.N.O.
- BRACE ALL HIP AND VALLEY RAFTERS WITH VERTICAL BUILT-UP POSTS NOT TO EXCEED 8'-0" BEARING ON DOUBLE JOISTS BELOW. ALL AS REQUIRED BY APPLICABLE CODE, SPECIAL CONDITIONS, AND STRUCTURAL ENGINEER.
- PROVIDE 2x4 KNEE BRACING AT 32-INCHES O.C., WHERE REQUIRED BY APPLICABLE CODE OR DESIGN DRAWINGS.
- INSULATE ALL EXTERIOR WALLS TO MINIMUM REQUIREMENT; INSULATE CEILINGS OVER CONDITIONED SPACE TO MINIMUM OF R-30.x
- ALL EFFORTS SHALL BE TAKEN TO INSURE A QUIET FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS TYPICAL).
- THE CONTRACTOR SHALL ACCEPT ALL RESPONSIBILITY AND LIABILITY OF CONSTRUCTION METHODS, MATERIALS, STRUCTURAL INTEGRITY, AND PROPER OPERATIONS OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS.
- THE CONTRACTOR AND CONTRACTORS SUBS SHALL PROVIDE AND INSTALL ALL SADDLES, FLASHINGS, CAULKING, AND OTHERS, AS REQUIRED, INSURING A WATER-TIGHT AND LEAK-PROOF STRUCTURE.
- ALL FRAMING, BEAMS, STRUCTURAL CONNECTORS, AND SPECIAL CONDITIONS TO BE REVIEWED AND/OR ENGINEERED BY A LOCAL, LICENSED STRUCTURAL ENGINEER BEFORE THE START OF CONSTRUCTION.
- RIDGE BOARD, HIP, AND VALLEY RAFTERS SHALL BE 2-INCHES DEEPER MINIMUM THAN ALL OTHER RAFTERS.
- INSTALL 2x4 COLLAR TIES IN UPPER THIRD OF ATTIC HEIGHT; SPACING NOT TO EXCEED MORE THAN 48-INCHES O.C.
- WHERE PRE-ENGINEERED FLOOR JOISTS AND/OR ROOF TRUSSES ARE USED, THE MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR THE SEAL OF A LOCAL, LICENSED STRUCTURAL ENGINEER. COORDINATE WITH ARCHITECT
- INSTALL SOLID BLOCKING AT THE MIDPOINT OF FLOOR JOIST SPAN OR 8'-0" MAXIMUM, IN ALL FLOOR SYSTEMS.
- ALL NOTCHES AND HOLES CUT IN JOISTS, STUDS, AND RAFTERS SHALL BE PER APPLICABLE CODE.
- PROVIDE FIRE-STOPS AND DRAFT-STOPS TO CUT-OFF ALL VERTICAL AND HORIZONTAL CONCEALED SPACES.
- PROVIDE INSULATION BAFFLES WHERE INSULATION IS BETWEEN RAFTERS AND EVE VENTS.
- PROVIDE CROSS ATTIC VENTILATION IN EACH ATTIC SPACE PER APPLICABLE CODE.
- CONTRACTOR SHALL ANCHOR MASONRY TO STUDS AT 16-INCHES O.C. HORIZONTALLY AND 24-INCHES O.C. (MAX) VERTICALLY WITH NON-CORROSIVE METAL TIES. 1 TIE FOR EACH 2 SQUARE FEET (S.F.) OF MASONRY. METAL TIES SHALL NOT TO EXCEED 6 COURSES VERTICALLY.
- PROVIDE WEEP HOLES IN MASONRY, IF APPLICABLE, AT 24-INCHES O.C., HORIZONTALLY, AROUND ENTIRE PERIMETER OF STRUCTURE.

FIREPLACE NOTES

- CONTRACTOR SHALL COORDINATE ALL DIMENSIONS WITH FIRE BOX MANUFACTURERS REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE ALL FIRE BOX SURROUND MATERIALS, MANTEL MATERIALS, ETC. WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL PROVIDE GAS LOGS (AND GAS LINES) AS REQUIRED PER OWNER, ARCHITECT, AND FIRE BOX MANUFACTURERS' REQUIREMENTS.
- CONTRACTOR SHALL INSURE THAT PREFABRICATED FIREPLACE INSTALLATION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION CLEARANCES, ETC. IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL ITEMS AND CONSTRUCTION MEETS OR EXCEEDS CODE REQUIREMENTS. OVERALL CHIMNEY HEIGHT SHALL BE COORDINATED TO MATCH HEIGHTS, AS SHOWN ON EXTERIOR ELEVATIONS.

PLUMBING NOTES

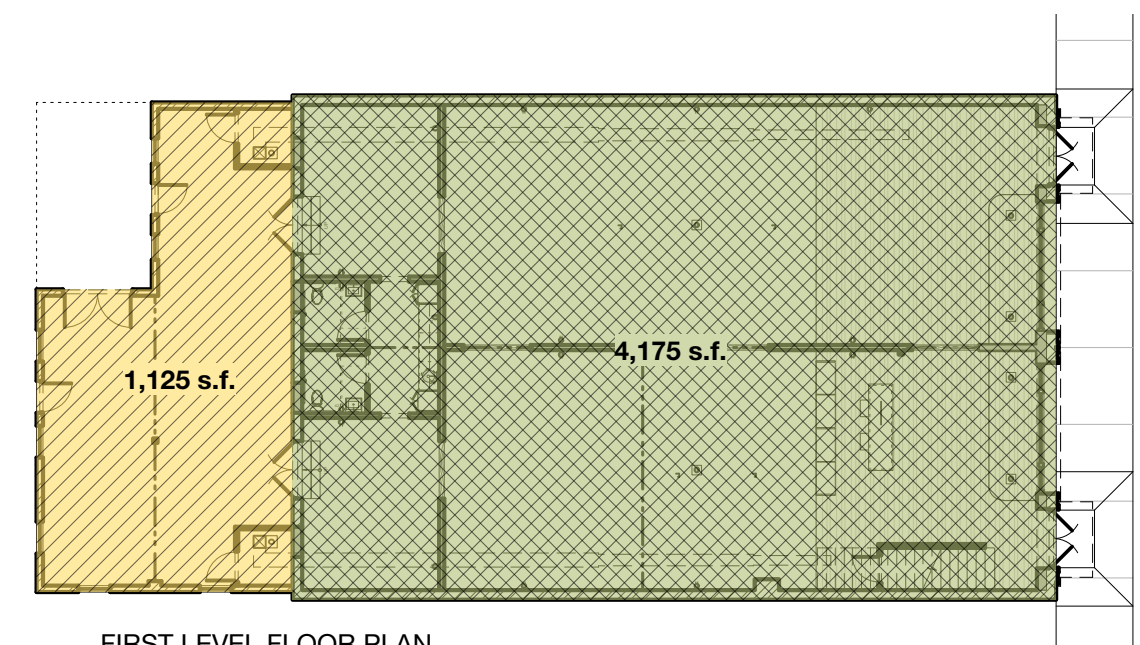
- PLUMBING CONTRACTOR SHALL DESIGN AND ENGINEER THE PLUMBING, SUPPLY, WASTE, VENTILATION, AND GAS SYSTEMS.
- PLUMBING CONTRACTOR SHALL PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO THE OWNER, CONTRACTOR, ARCHITECT, AND BUILDING DEPARTMENT FOR APPROVAL.
- PLUMBING CONTRACTOR SHALL VERIFY ROUGH FRAMING DIMENSIONS WITH OWNER SELECTED PLUMBING FIXTURES.
- PLUMBING CONTRACTOR SHALL PROVIDE GAS SERVICE AS REQUIRED TO ALL EQUIPMENT (i.e. FURNACES, WATER HEATERS, COOKTOPS, GAS STARTERS, OR GAS LOGS AT FIREPLACES). COORDINATE ANY ADDITIONAL GAS REQUIREMENTS WITH THE OWNER, CONTRACTOR, AND ARCHITECT.
- REFER TO NOTE #5 UNDER MECHANICAL NOTES.
- PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL ALL SYSTEMS, FIXTURES, AND EQUIPMENT IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, COVENANTS, GOVERNING BODIES, AND AS REQUIRED BY OWNER, CONTRACTOR, AND ARCHITECT.

PROJECT AREA

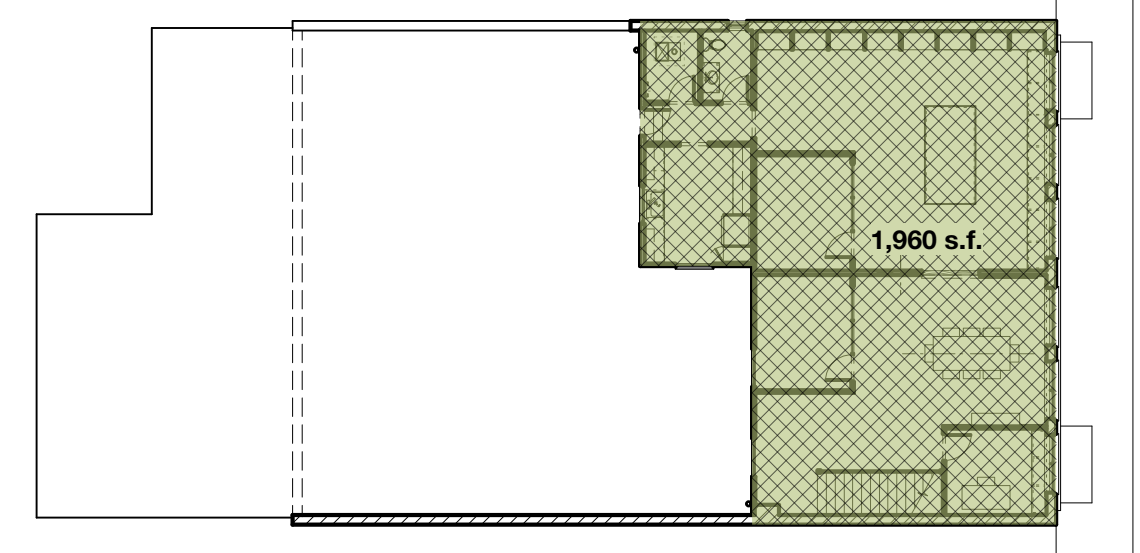
FIRST FLOOR TOTAL SF:
 HEATED: 4,175 s.f.
 UNHEATED: 1,125 s.f.
 TOTAL: 5,300 s.f.

SECOND FLOOR TOTAL SF:
 HEATED: 1,960 s.f.
 UNHEATED: 1,125 s.f.
 TOTAL: 3,085 s.f.

PROJECT TOTAL:
 HEATED: 6,135 s.f.
 UNHEATED: 2,250 s.f.
 TOTAL: 8,385 s.f.



FIRST LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN

SHEET DIRECTORY		Permit Set - 7/23/2019
ARCHITECTURE	SHEET	CONTENTS
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	A3	FIRST FLOOR REFLECTED CEILING PLAN
	A4	SECOND FLOOR PLAN & EXTERIOR ELEVATION
	A5	SECOND FLOOR REFLECTED CEILING PLAN
	A6	INTERIOR ELEVATIONS
	A7	INTERIOR ELEVATIONS
	A8	SCHEDULES

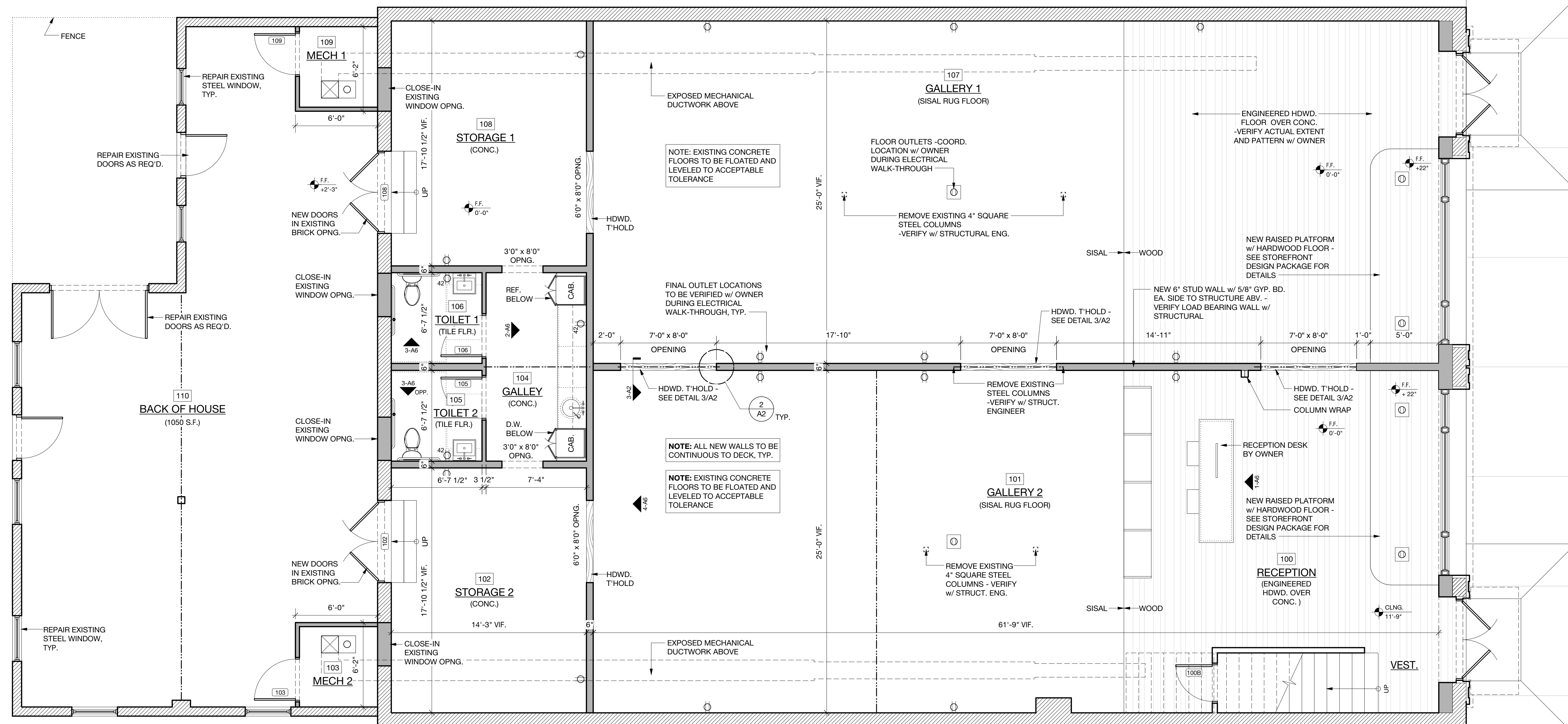
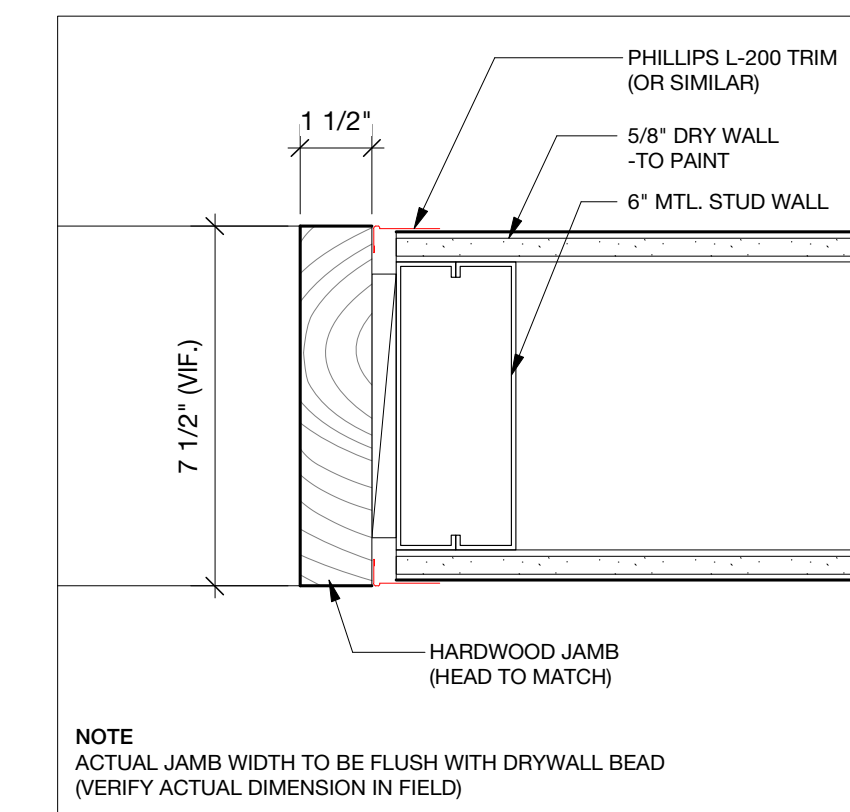
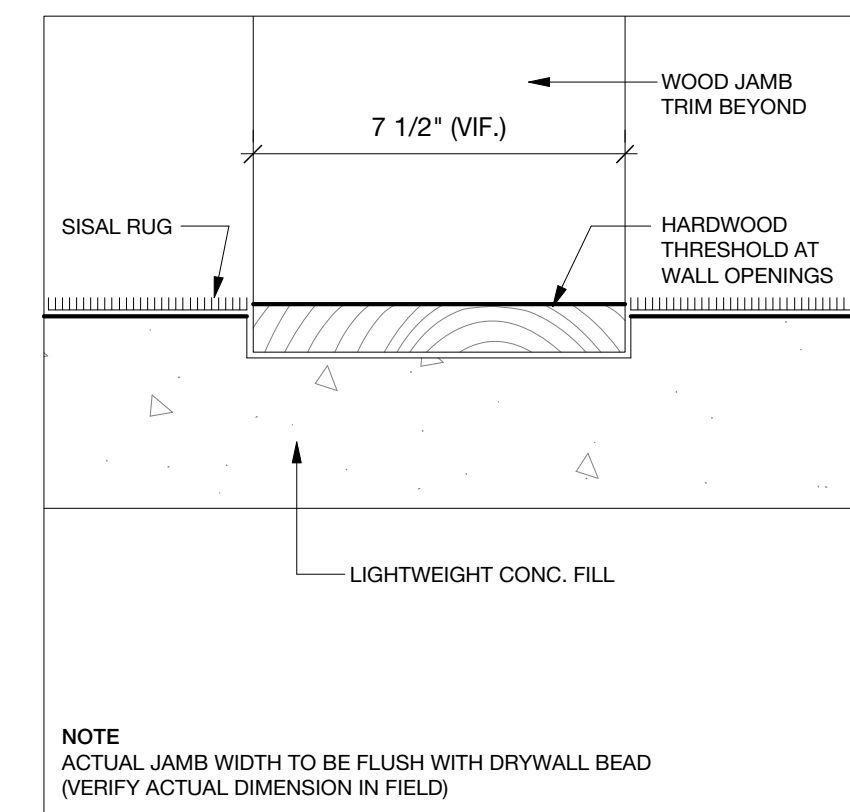
2537 BROAD AVENUE

DATE: JULY 23, 2019

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A1



SYMBOLS LEGEND	
SYMBOL	TYPE
-----	EXISTING TO BE REMOVED
=====	EXISTING WALL
=====	NEW WALL

BROAD AVENUE

CONSTRUCTION SET

2537 BROAD AVENUE

DATE
JULY 23, 2019
REVISIONS

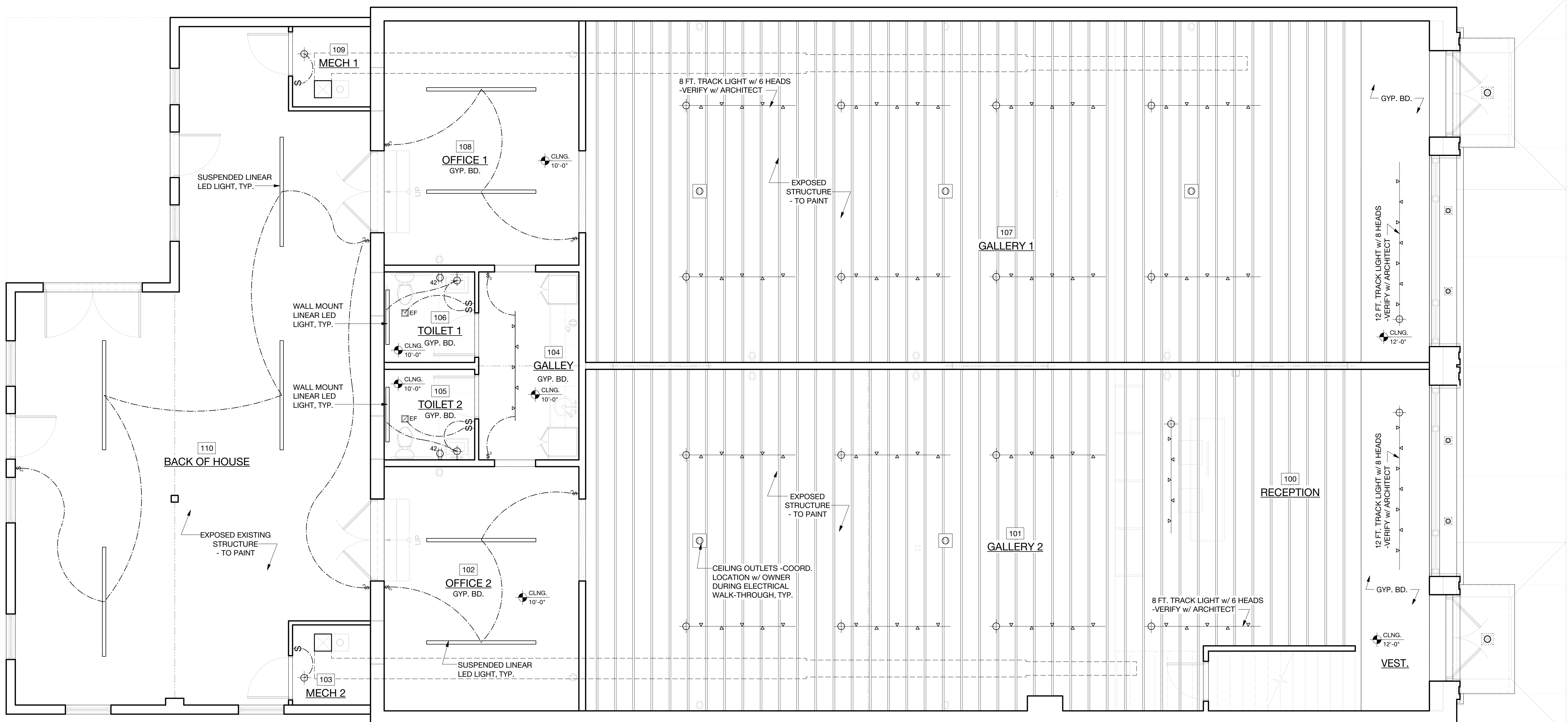
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A2



NOTE: REMOVE ANY OBSOLETE OR INOPERABLE, MECHANICAL, ELECTRICAL, STRUCTURAL SYSTEMS

NOTE: VERIFY LIGHTING FIXTURES & LOCATIONS w/ OWNER

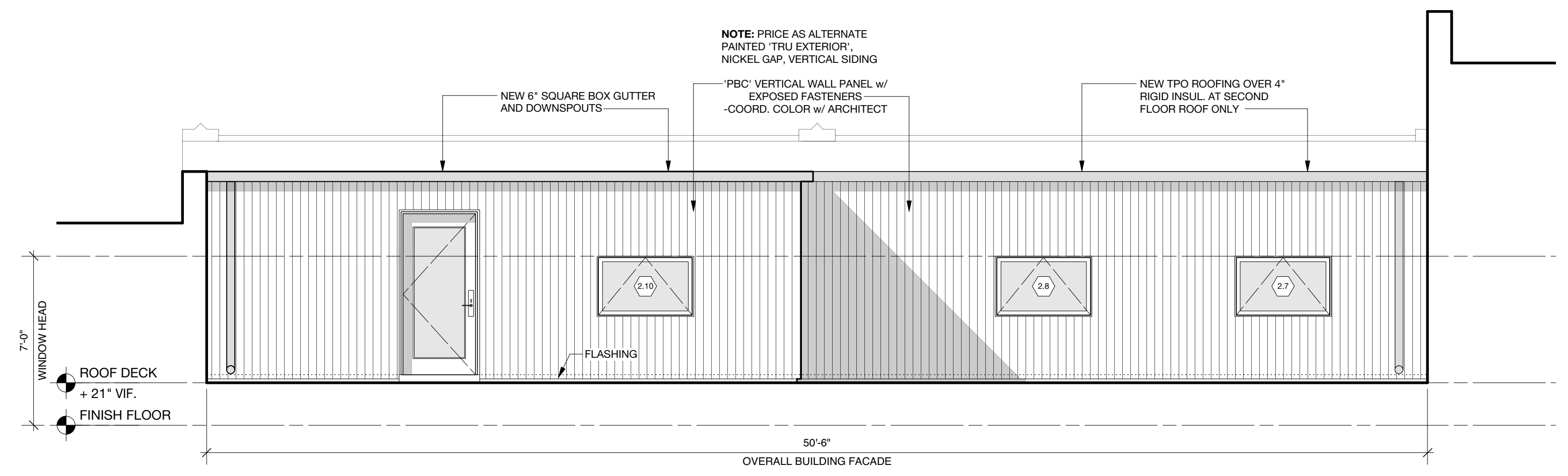


CONSTRUCTION SET

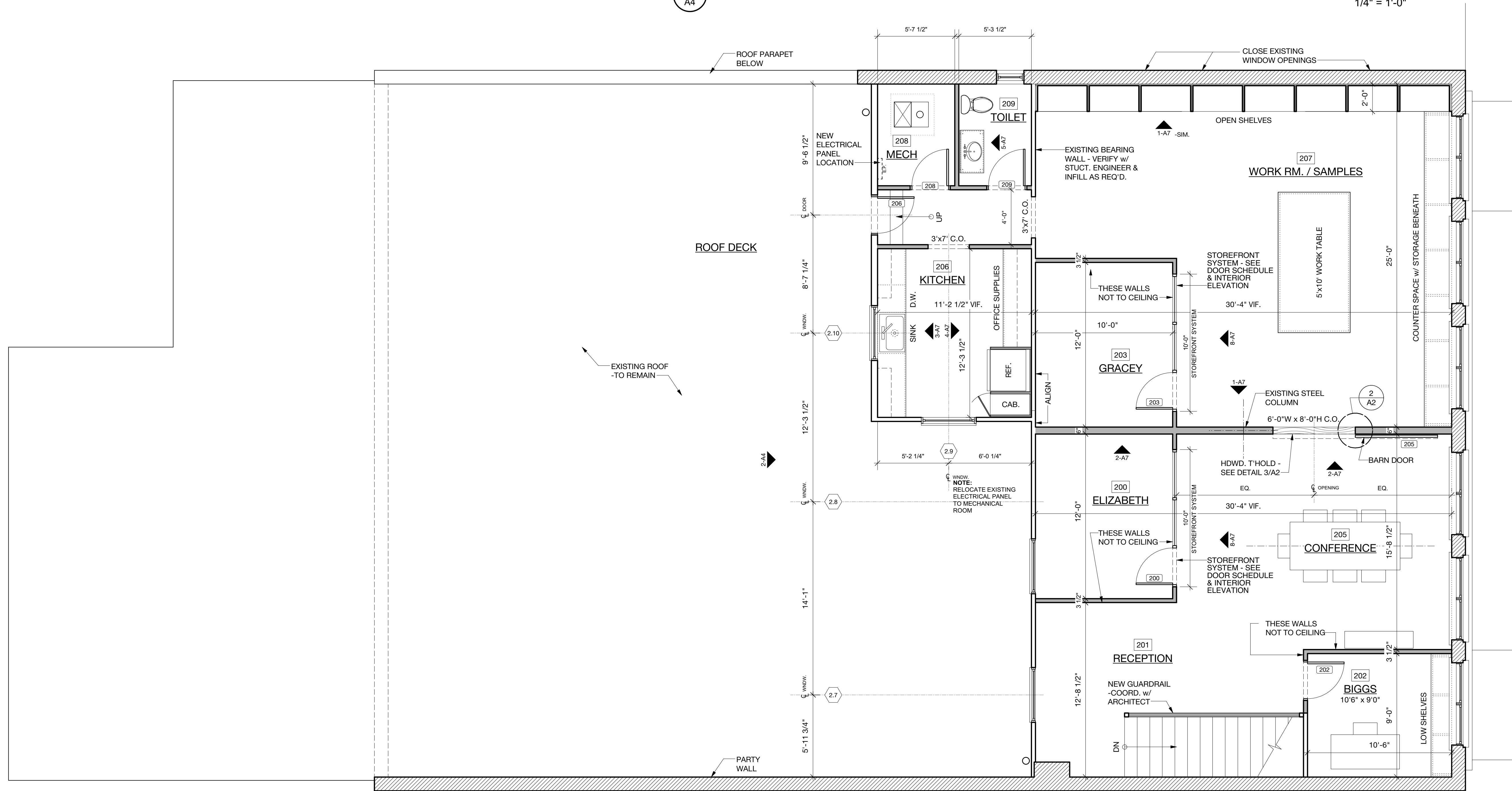
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2 NEW SECOND FLOOR SOUTH ELEVATION
A4 1/4" = 1'-0"



SYMBOLS LEGEND

SYMBOL	TYPE
---	EXISTING TO BE REMOVED
---	EXISTING WALL
---	NEW WALL

1 IMPROVEMENTS TO SECOND FLOOR
A4 1/4" = 1'-0"

SECOND FLOOR SQ. FT. : 1,960 S.F.

BROAD AVENUE

BROAD AVENUE ANGLED PARKING

CONSTRUCTION SET

2537 BROAD AVENUE

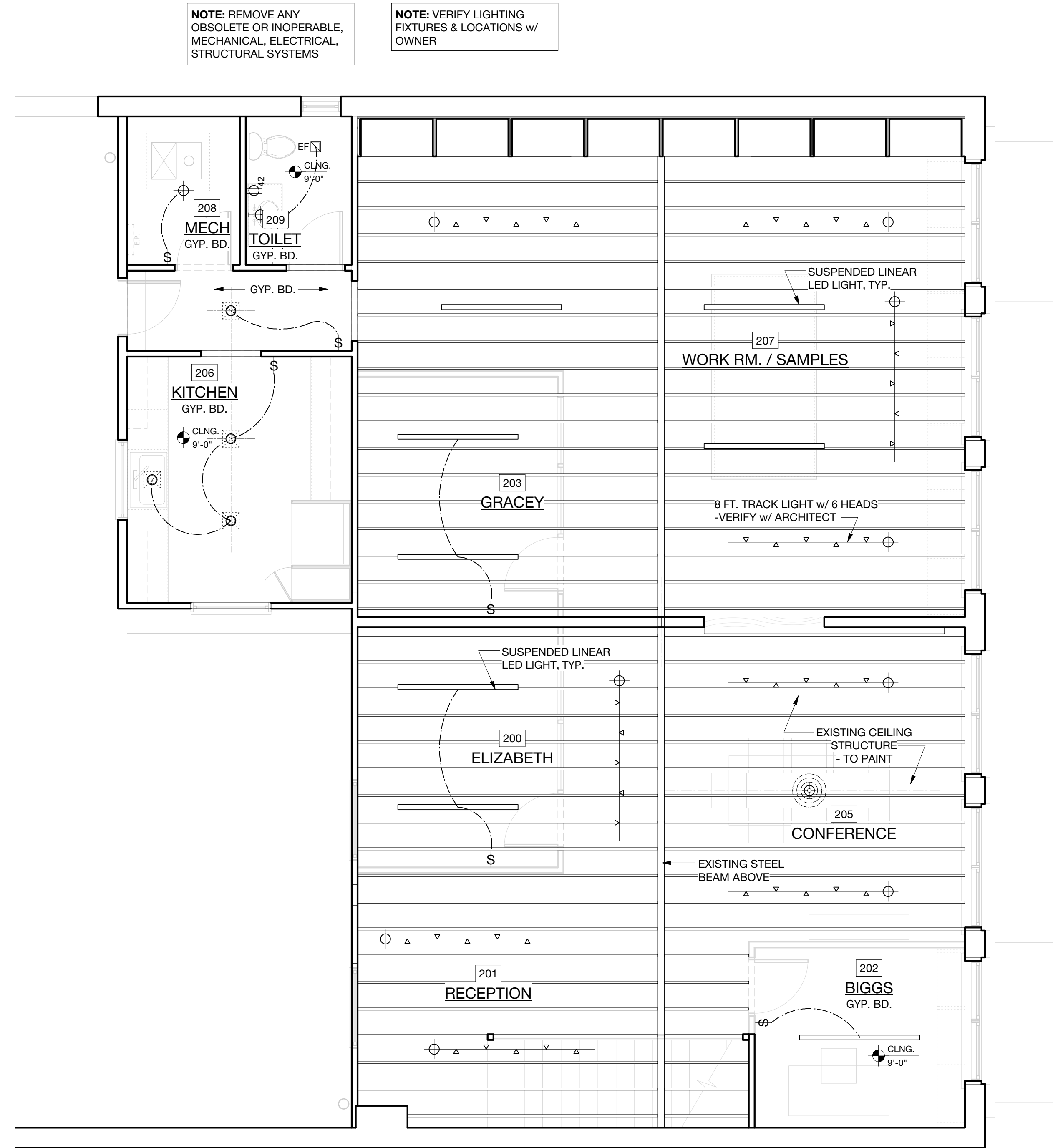
DATE: JULY 23, 2019

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ELECTRICAL LEGEND		
SYMBOL	TYPE	
LIGHTING	○	RECESSED DOWN LIGHT
	○MR	MOISTURE RESISTANT RECESSED DOWN LIGHT
	⊕	CEILING MOUNTED LIGHT
	⊕H	WALL MOUNTED LIGHT
	⊙	ART LIGHT
	⊙	PENDANT
	⊙	CHANDELIER
	⊕	FLOOD LIGHT
	⊕	DUPLEX RECEPTACLE IN WALL
	⊕	DOUBLE DUPLEX RECEPTACLE IN WALL
OUTLETS & SWITCHES	⊕HH	DUPLEX RECEPTACLE IN WALL - HALF HOT
	⊕	DUPLEX RECEPTACLE IN FLOOR
	⊕	G.F.I. TYPE DUPLEX RECEPTACLE IN WALL
	⊕	G.F.I. TYPE DOUBLE DUPLEX RECEPTACLE IN WALL
	⊕42	G.F.I. TYPE DUPLEX RECEPTACLE IN WALL 42" A.F.F.
	⊕42	G.F.I. TYPE DOUBLE DUPLEX RECEPTACLE IN WALL 42" A.F.F.
	⊕WR	G.F.I. TYPE DUPLEX WEATHER RESISTANT RECEPTACLE IN WALL - WATERPROOF COVER
	\$	SINGLE POLE SWITCH
	\$3	3-WAY SWITCH
	\$4	4-WAY SWITCH
DATA	▼	TELEPHONE OUTLET IN WALL - VERIFY HEIGHT w/ OWNER/ARCHITECT
	□	TELEPHONE OUTLET IN FLOOR
	▼	COMBINATION TELEPHONE/DATA OUTLET IN WALL - VERIFY HEIGHT w/ OWNER/ARCHITECT
	▼	COMBINATION TELEPHONE/DATA OUTLET IN FLOOR
MISCELLANEOUS	TV	TV - PROVIDE POWER & DATA - VERIFY HEIGHT w/ OWNER & ARCHITECT
	EF	EXHAUST FAN
	EF-L	COMBINATION EXHAUST FAN/LIGHT
	⊕	GARAGE DOOR OPENER
	⊕	CEILING FAN
⊕	CEILING FAN w/ LIGHT KIT	



CONSTRUCTION SET

2537 BROAD AVENUE

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CONSTRUCTION SET

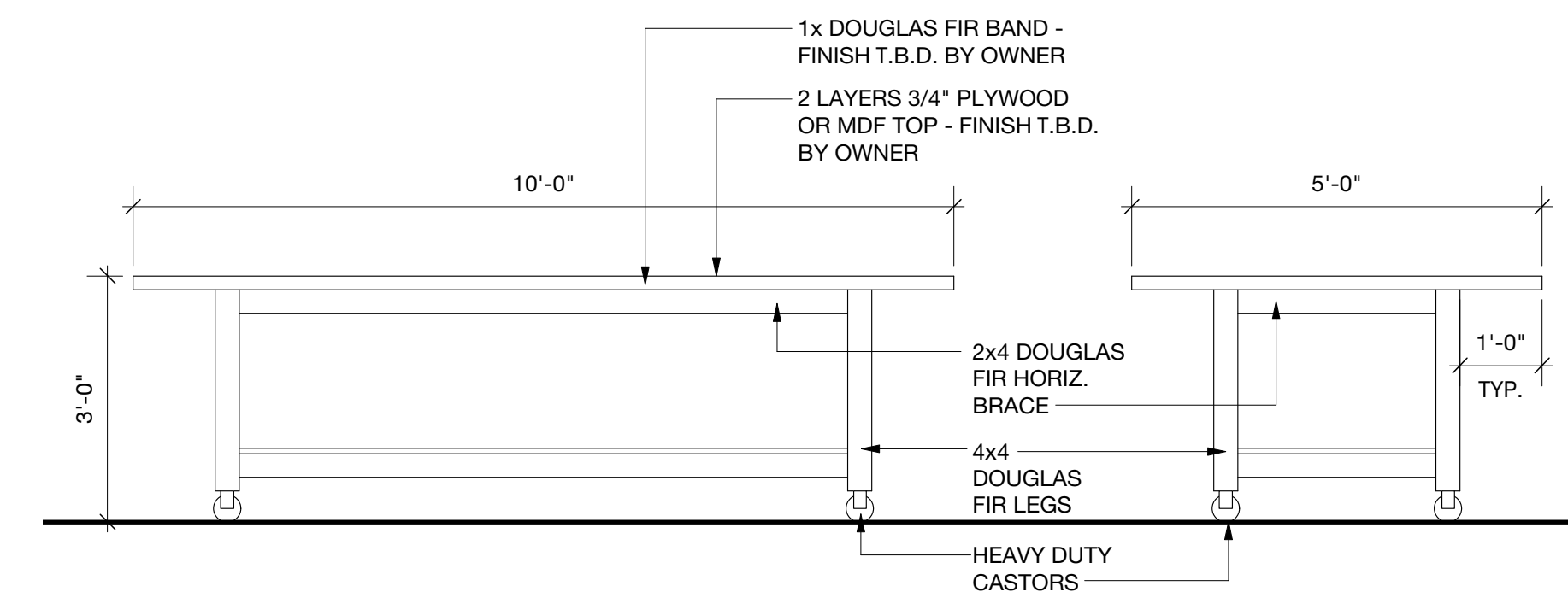
2537 BROAD AVENUE

DATE
JULY 23, 2019

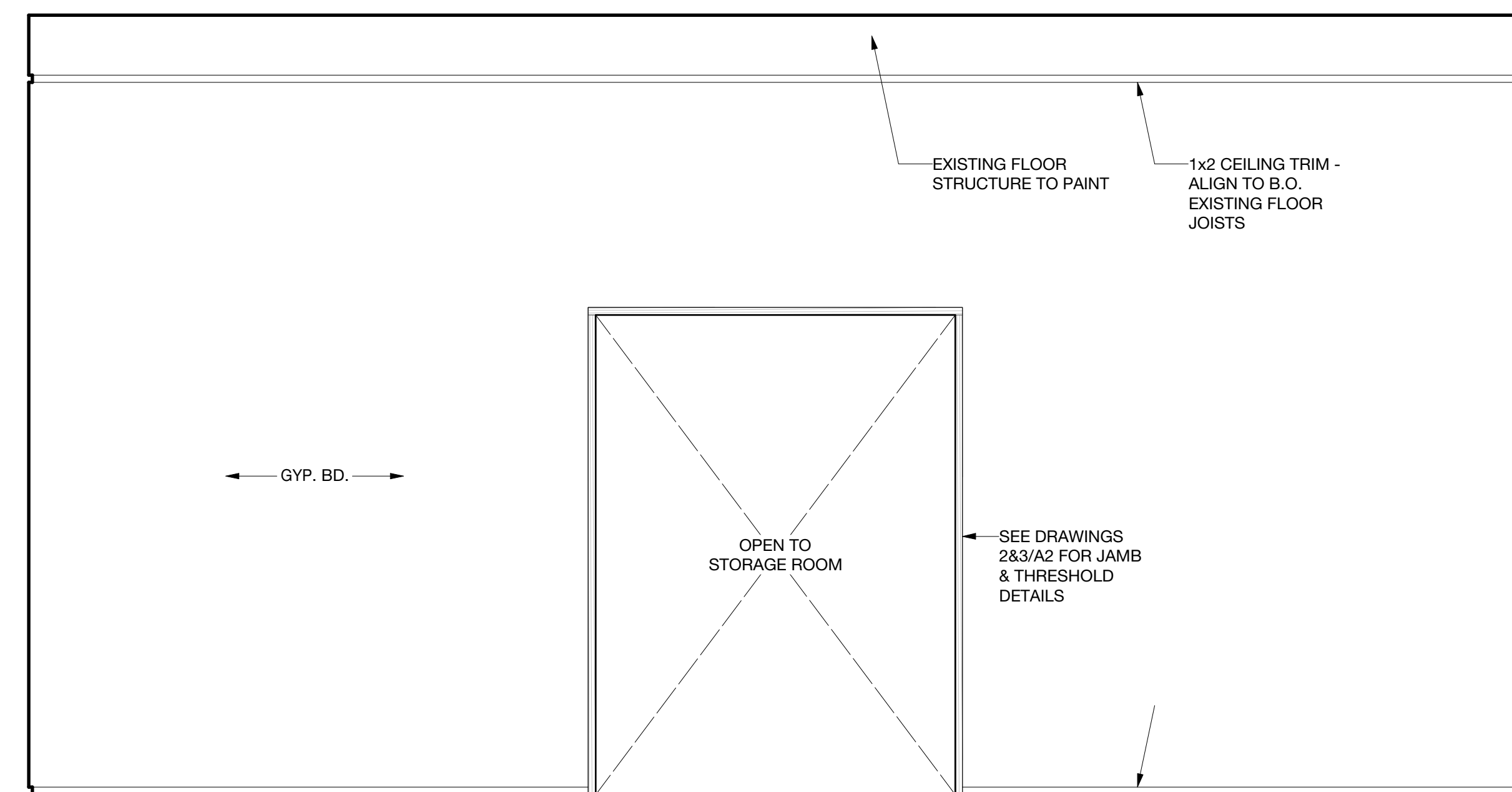
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A6

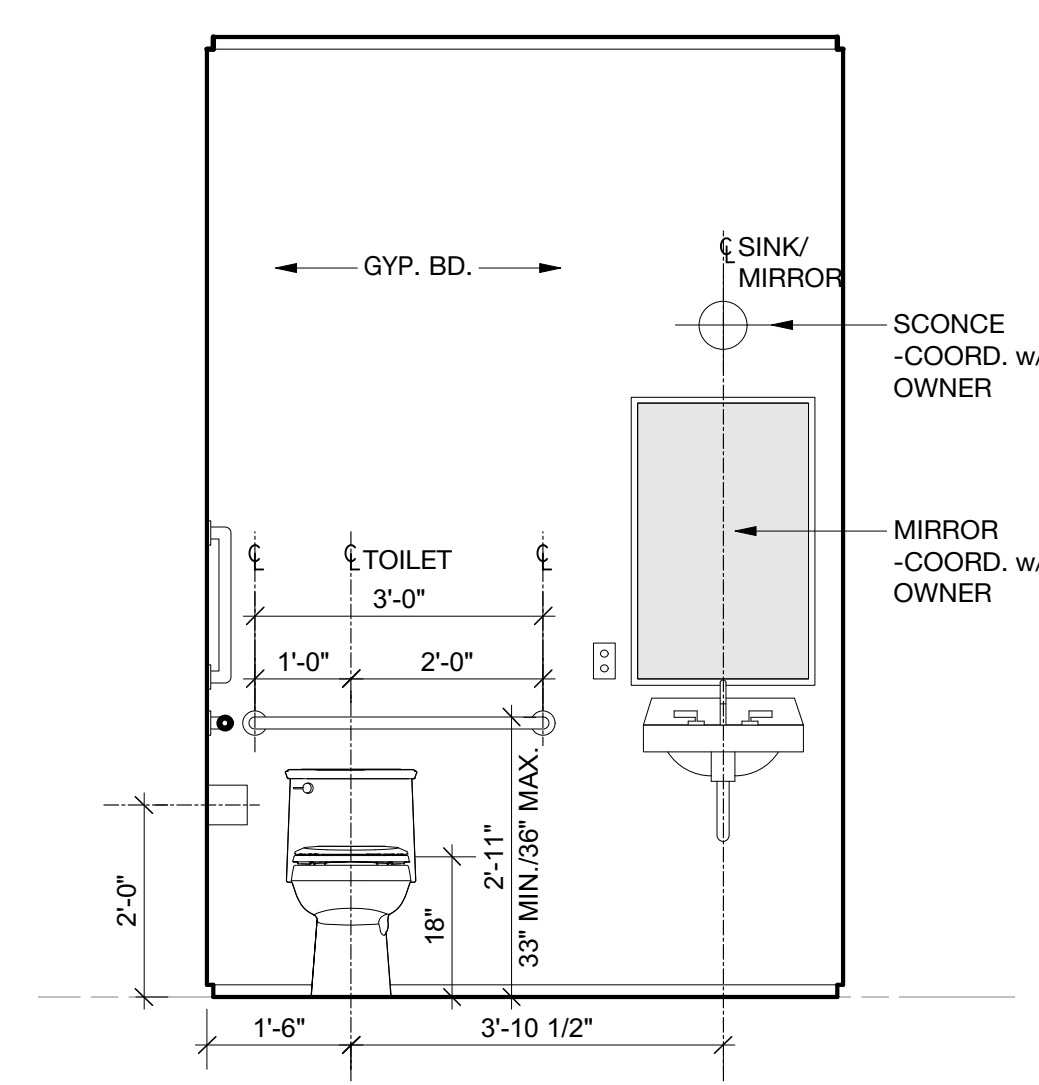


6 5x10' WORK ROOM TABLE
1/2" = 1'-0"

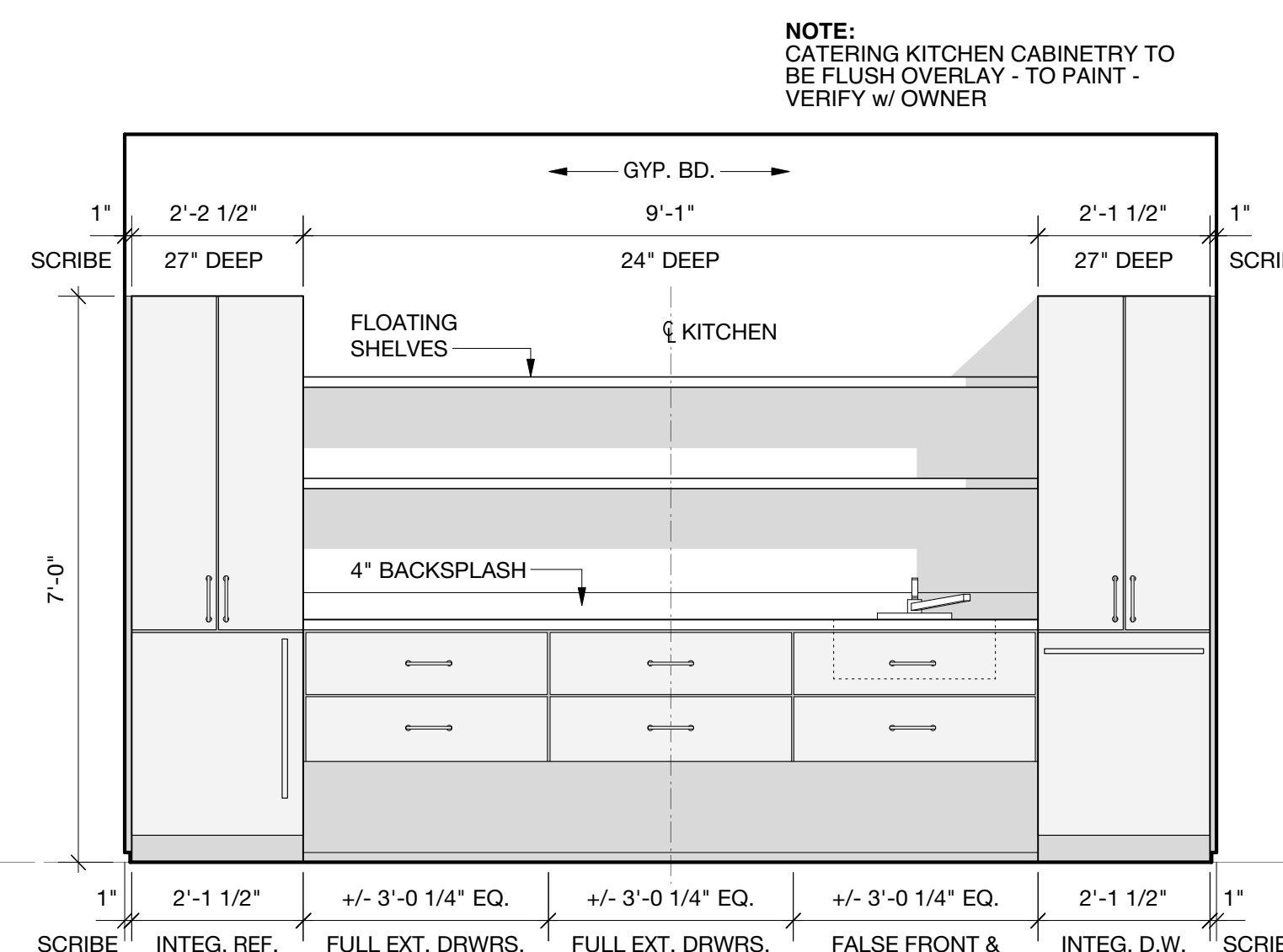


4 GALLERY BACK WALL ELEVATION
1/2" = 1'-0"

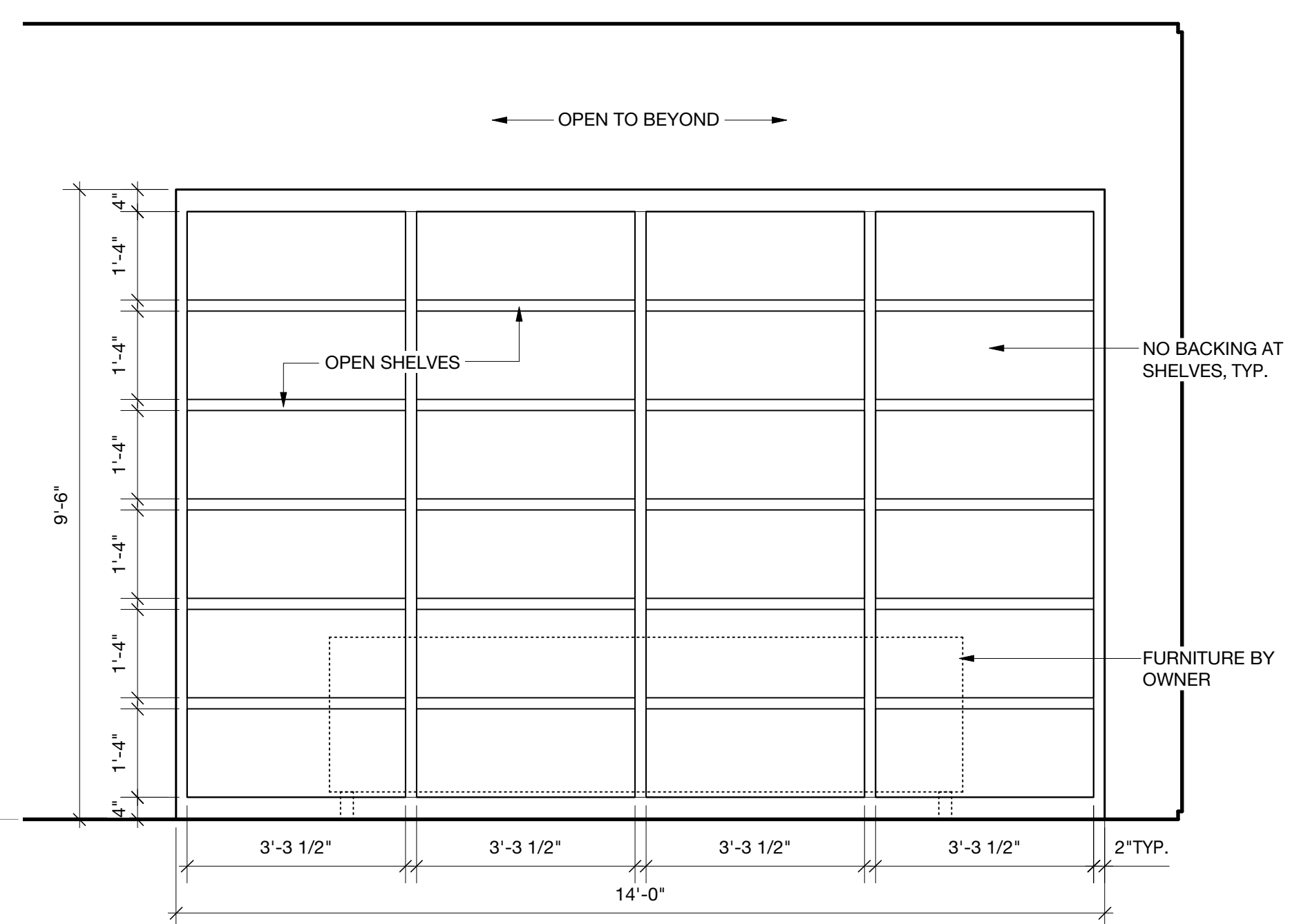
NOTE:
PROVIDE MILLWORK SHOP DRAWINGS TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO CONSTRUCTION



3 DOWNSTAIRS BATH
1/2" = 1'-0"



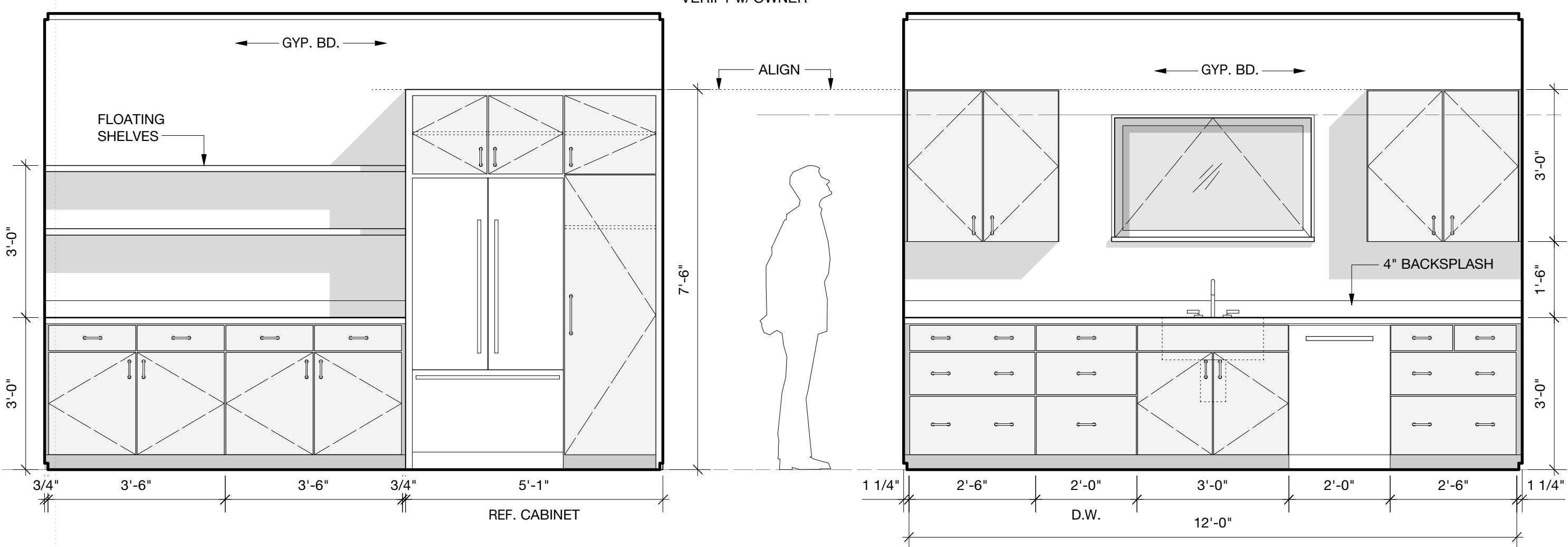
2 CATERING KITCHEN ELEVATION
1/2" = 1'-0"



1 RECEPTION DESK
1/2" = 1'-0"

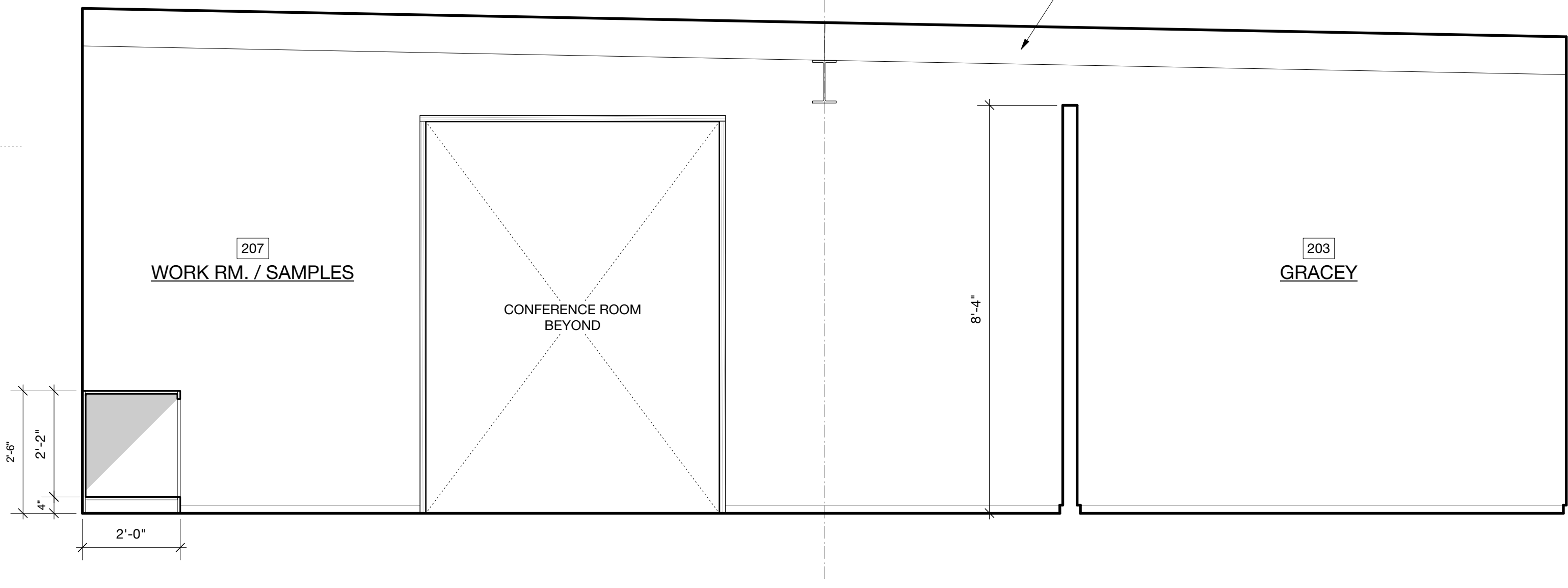


NOTE:
KITCHEN CABINETS TO BE FLUSH
OVERLAY IN NATURAL WOOD FINISH -
VERIFY W/ OWNER

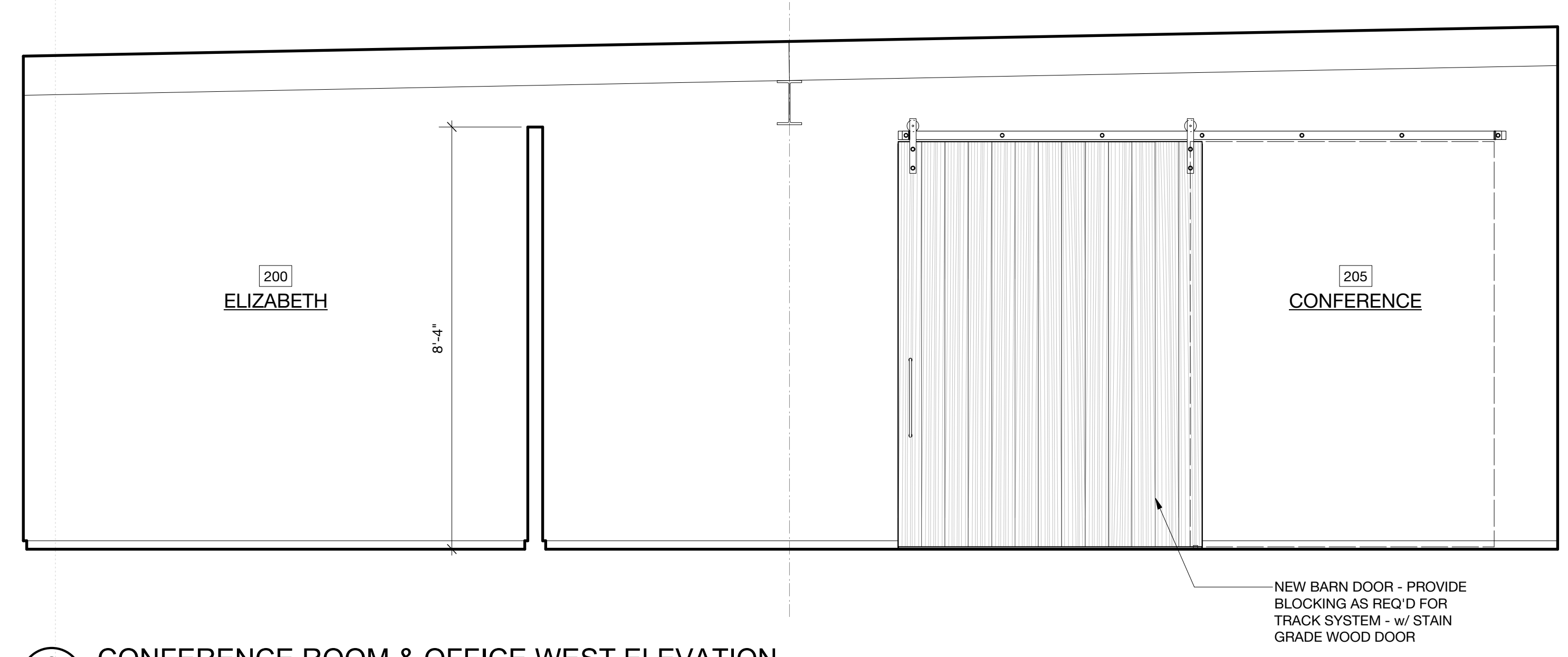


4 KITCHEN - NORTH
1/2" = 1'-0"

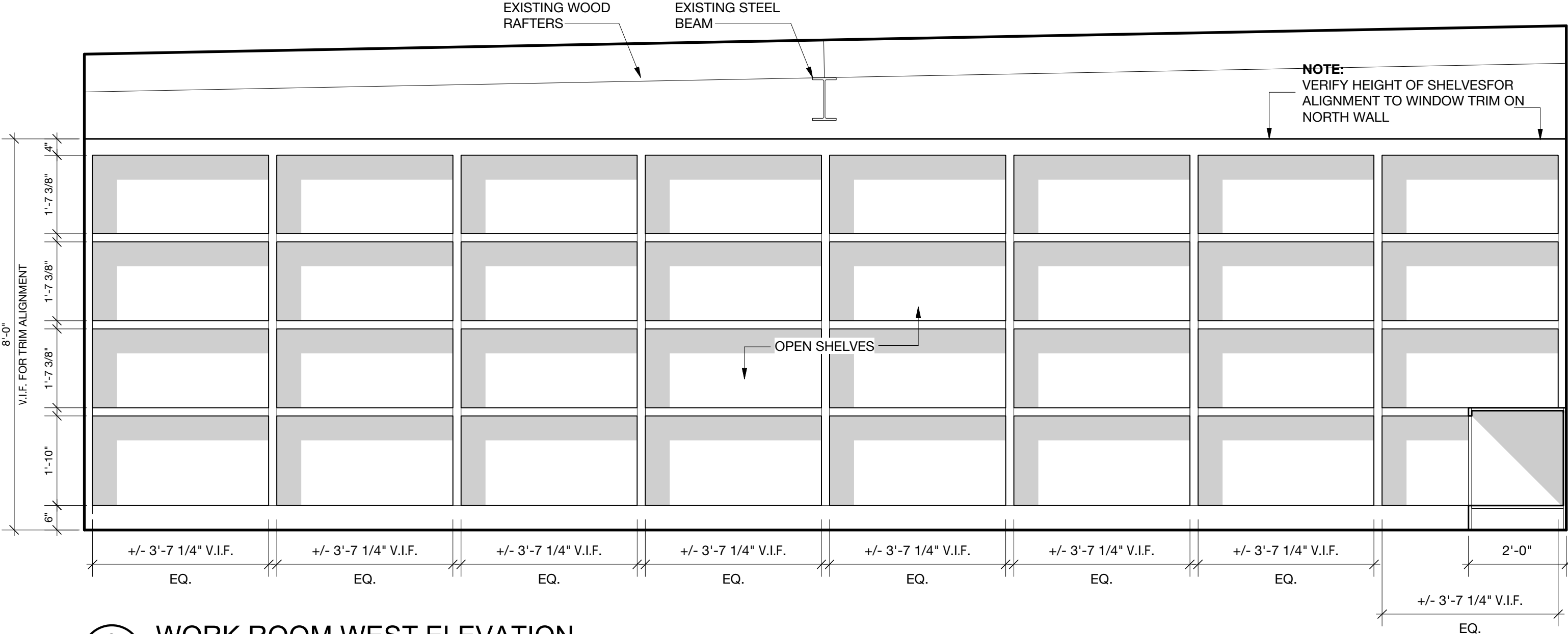
3 KITCHEN - SOUTH
1/2" = 1'-0"



1 WORK ROOM EAST ELEVATION
1/2" = 1'-0"

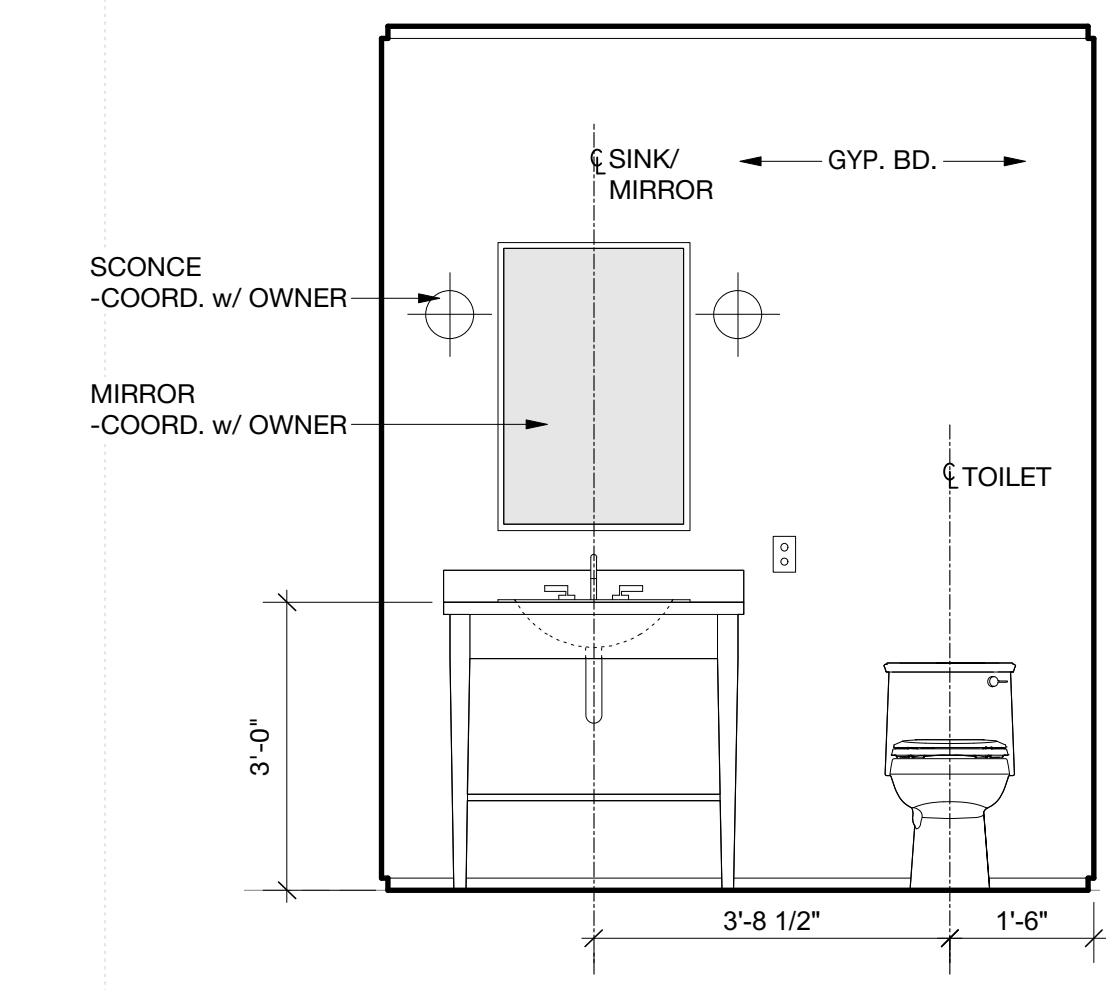


2 CONFERENCE ROOM & OFFICE WEST ELEVATION
1/2" = 1'-0"

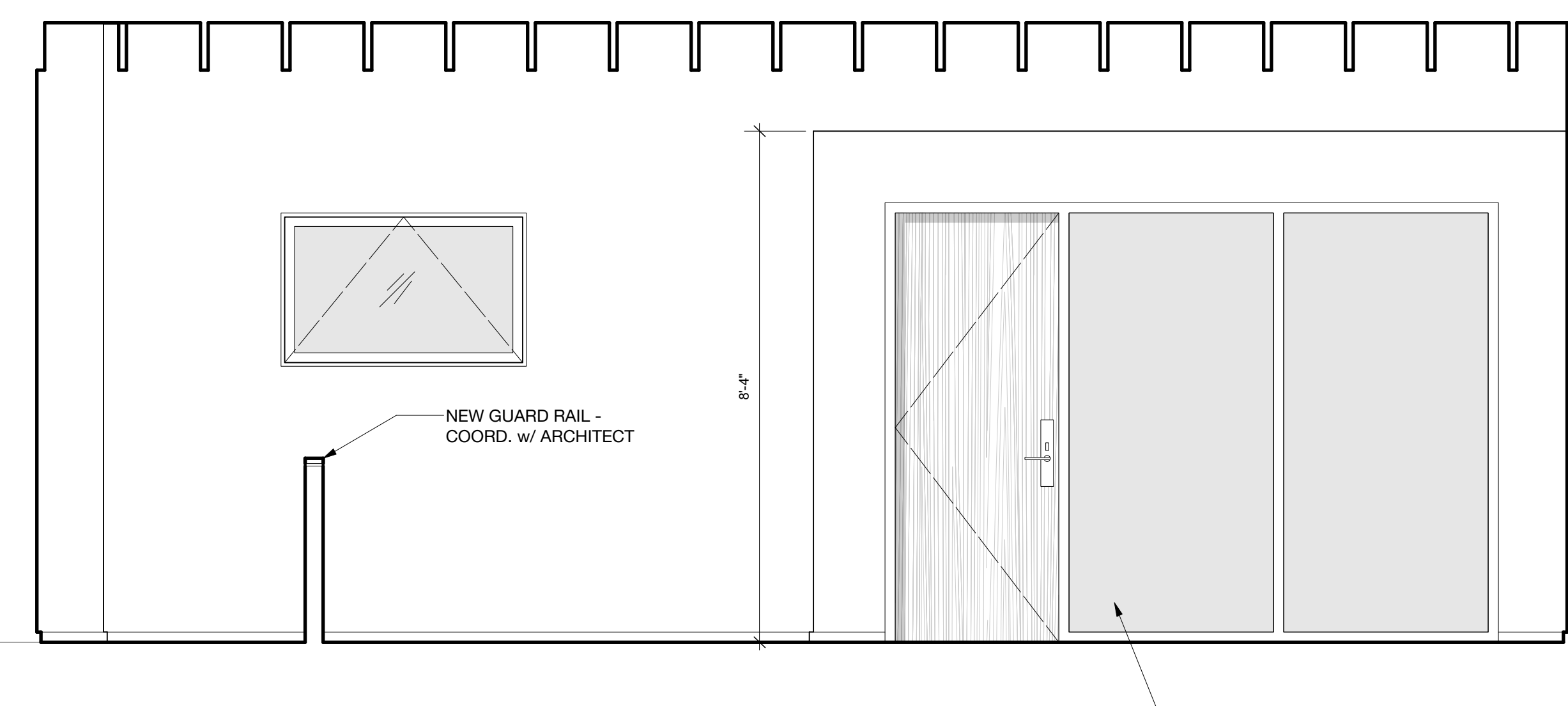


9 WORK ROOM WEST ELEVATION
1/2" = 1'-0"

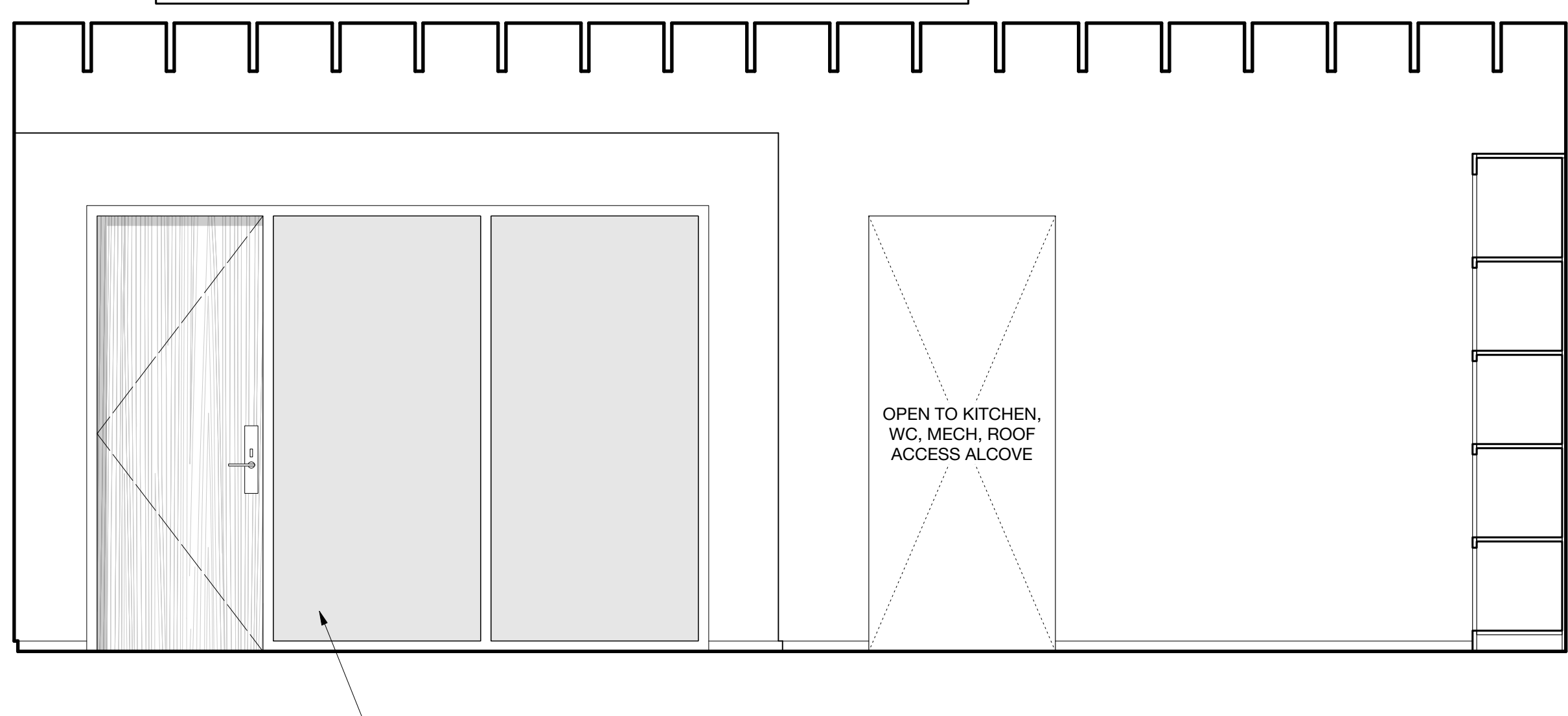
NOTE:
PROVIDE MILLWORK SHOP DRAWINGS TO BE
APPROVED BY OWNER AND ARCHITECT PRIOR
TO CONSTRUCTION



5 UPSTAIRS BATHROOM
1/2" = 1'-0"



8 2ND FLOOR SOUTH ELEVATION
1/2" = 1'-0"



NEW ALUMINUM STOREFRONT SYSTEM w/ STAIN GRADE WOOD DOOR

1/2" = 1'-0"



CONSTRUCTION SET

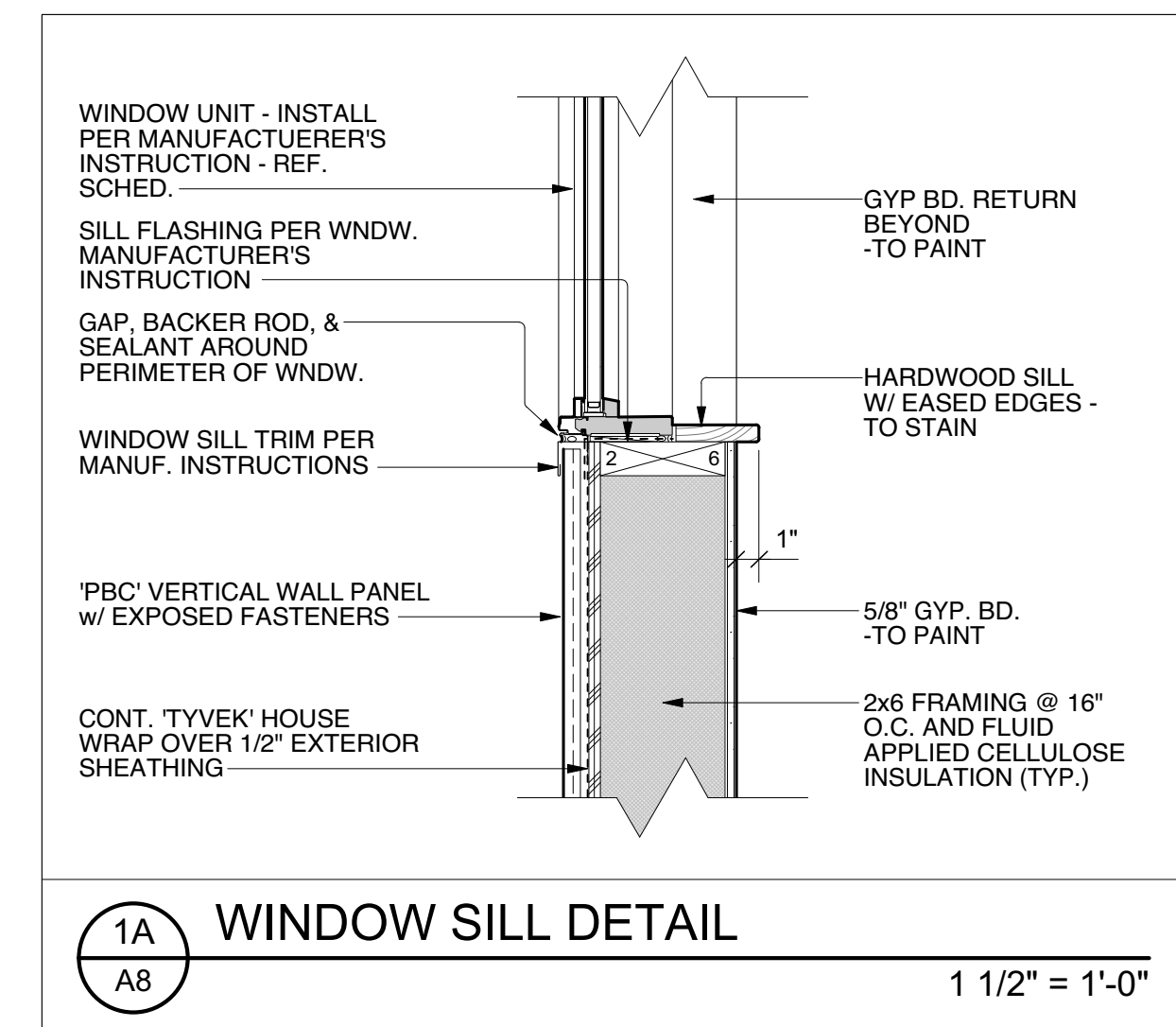
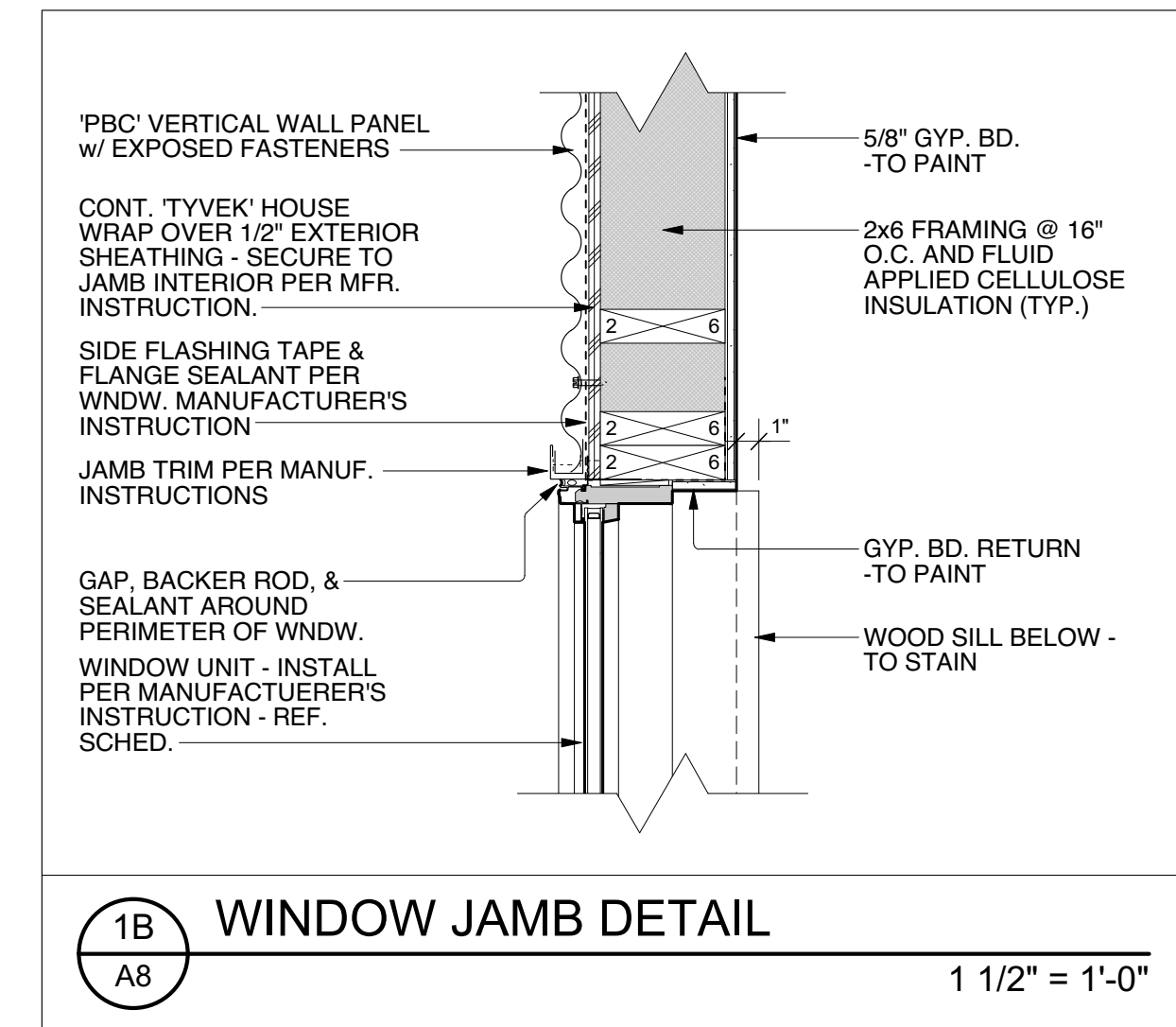
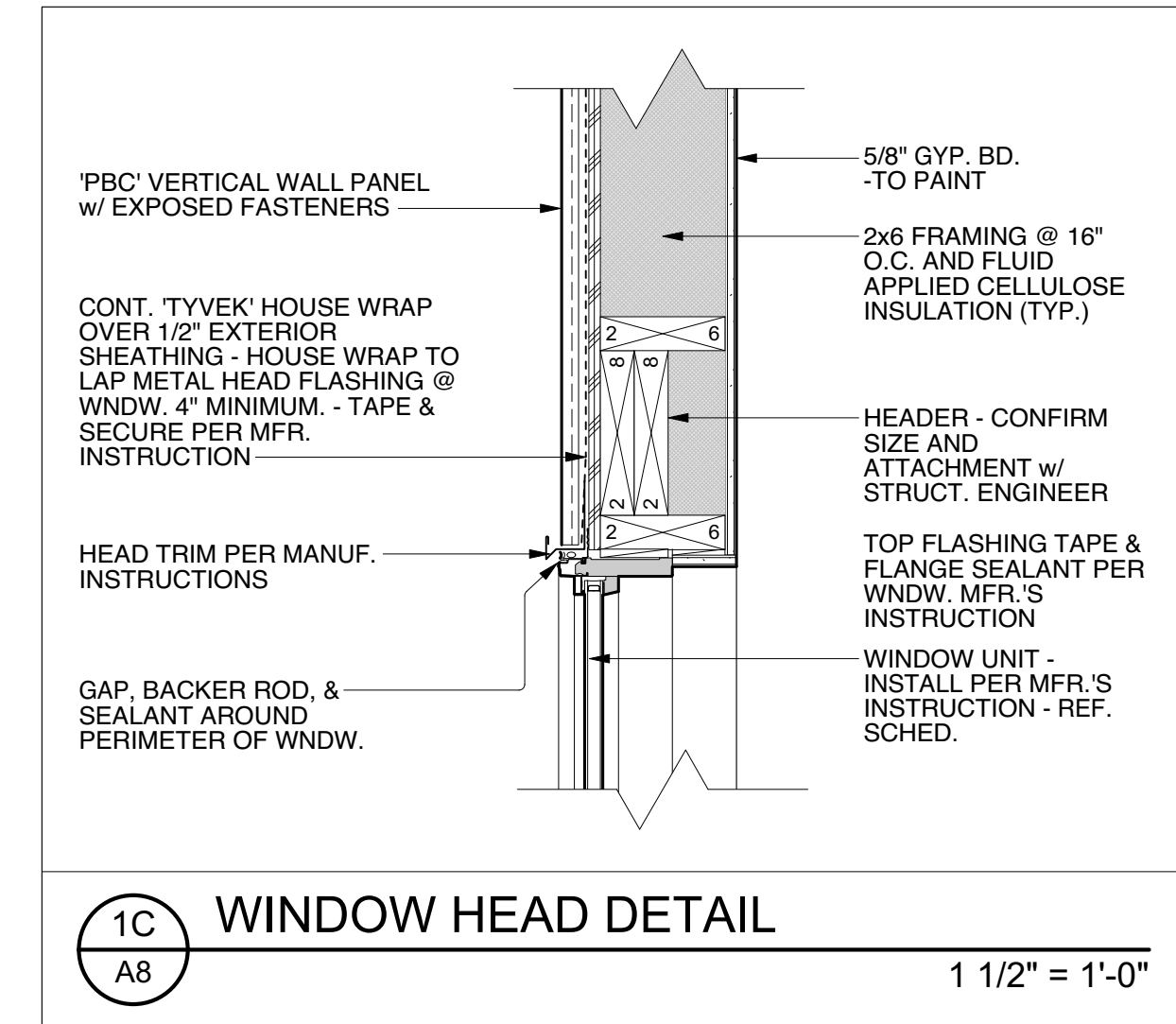
2537 BROAD AVENUE

DATE
JULY 23, 2019

REVISIONS

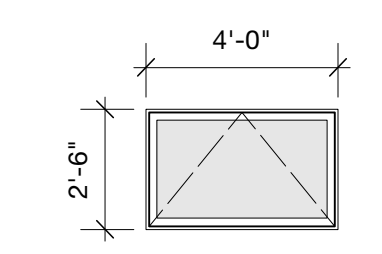
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A8



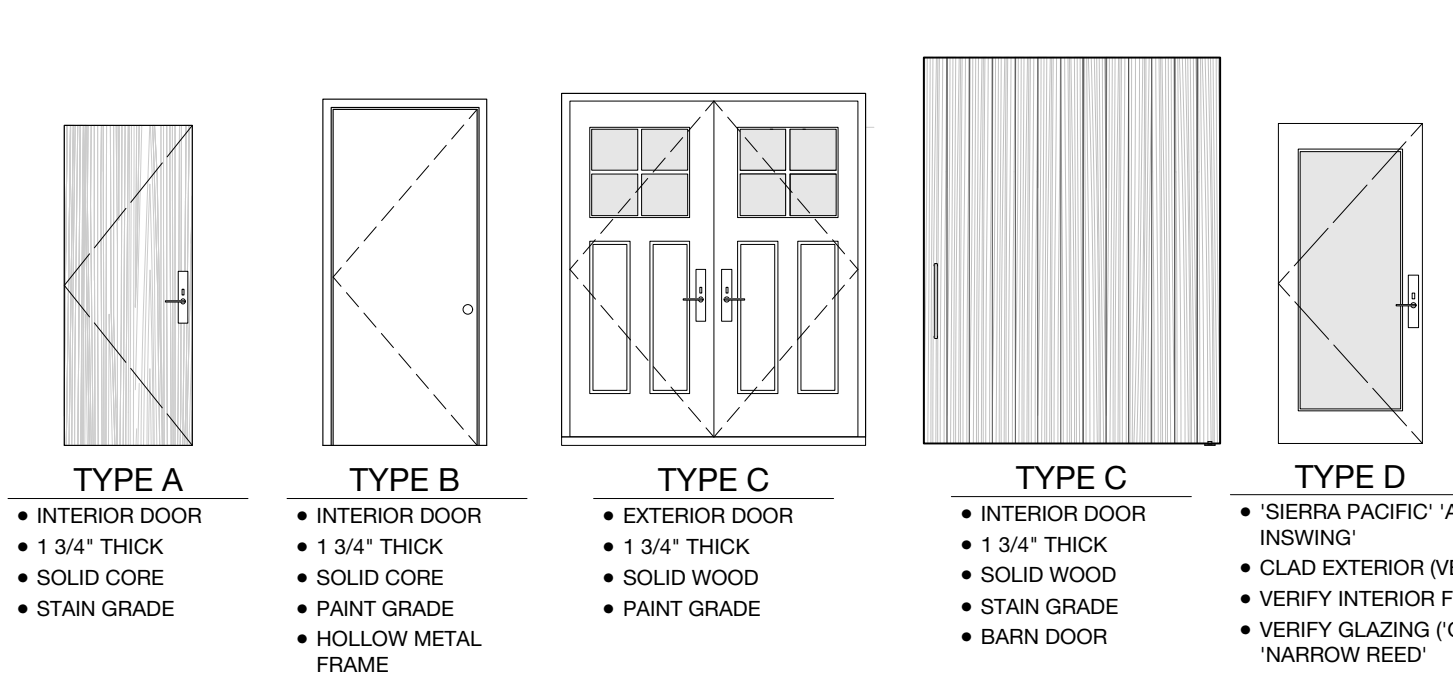
WINDOW SCHEDULE

MARK	TYPE	HEAD	JAMB	SILL	REMARKS	NOTE:
2.7	C	1C/A8	1B/A8	1A/A8	'SIERRA PACIFIC' 'URBAN AWNING' 'NARROW SASH' 'CONTEMPORARY PROFILE'	CONFIRM HEAD HEIGHTS WITH EXTERIOR ELEVATIONS
2.8	C	1C/A8	1B/A8	1A/A8	'SIERRA PACIFIC' 'URBAN AWNING' 'NARROW SASH' 'CONTEMPORARY PROFILE'	PROVIDE SHOP DRAWINGS AND/OR SUBMITTALS FOR ALL WINDOWS, ASSOCIATED HARDWARE, AND ACCESSORIES
2.9	C	1C/A8	1B/A8	1A/A8	'SIERRA PACIFIC' 'URBAN AWNING' 'NARROW SASH' 'CONTEMPORARY PROFILE'	
2.10	C	1C/A8	1B/A8	1A/A8	'SIERRA PACIFIC' 'URBAN AWNING' 'NARROW SASH' 'CONTEMPORARY PROFILE'	VERIFY ALL HARDWARE LOCATIONS IN FIELD FOR PROPER OPERATING CLEARANCES



DOOR SCHEDULE

MARK	TYPE	DIMENSIONS WIDTH x HEIGHT	HARDWARE	REMARKS	NOTES:
100A	-	-	-	EXISTING DOOR	1. VERIFY DIMENSIONS w/ AVAIL. MILLWORK CLEARANCE AND HARDWARE MANUFACTURER'S REQUIREMENTS 2. ACTUAL DIMENSIONS
100B	B	2'-8" x 8'-0"			HARDWARE LEGEND: HW-1 'REAL SLIDING HARDWARE' 'CLASSIC BARN DOOR' HARDWARE, T-GUIDE
102	C	(2) 3'-0" x 7'-0"		VERIFY EXISTING BRICK OPENING	
103	B	3'-0" x 8'-0"			
105	B	3'-0" x 8'-0"			
106	B	3'-0" x 8'-0"			
107	-	-		EXISTING DOOR	
108	C	(2) 3'-0" x 7'-0"		VERIFY EXISTING BRICK OPENING	
109	B	3'-0" x 8'-0"			
200	A	2'-8" x 7'-0"			
202	A	2'-8" x 7'-0"			
203	A	2'-8" x 7'-0"			
204A	B	2'-8" x 7'-0"			
204B	B	2'-8" x 7'-0"			
205	D	6'-0" x 8'-0"	HW-1	12'-0" TRACK LENGTH, UNFINISHED, VERIFY w/ OWNER	
206	D	3'-0" x 6'-8"		VERIFY EXISTING BRICK OPENING	
208	B	2'-8" x 7'-0"			
209	B	2'-8" x 7'-0"			



NOTE:
VERIFY DOOR SWINGS
PROVIDE SHOP DRAWINGS AND/OR SUBMITTALS FOR ALL DOORS, ASSOCIATED HARDWARE, AND ACCESSORIES
VERIFY ALL HARDWARE LOCATIONS IN FIELD FOR PROPER OPERATING CLEARANCES